

# Conceptual Review Agenda

Schedule for 01/09/17 to 01/09/17

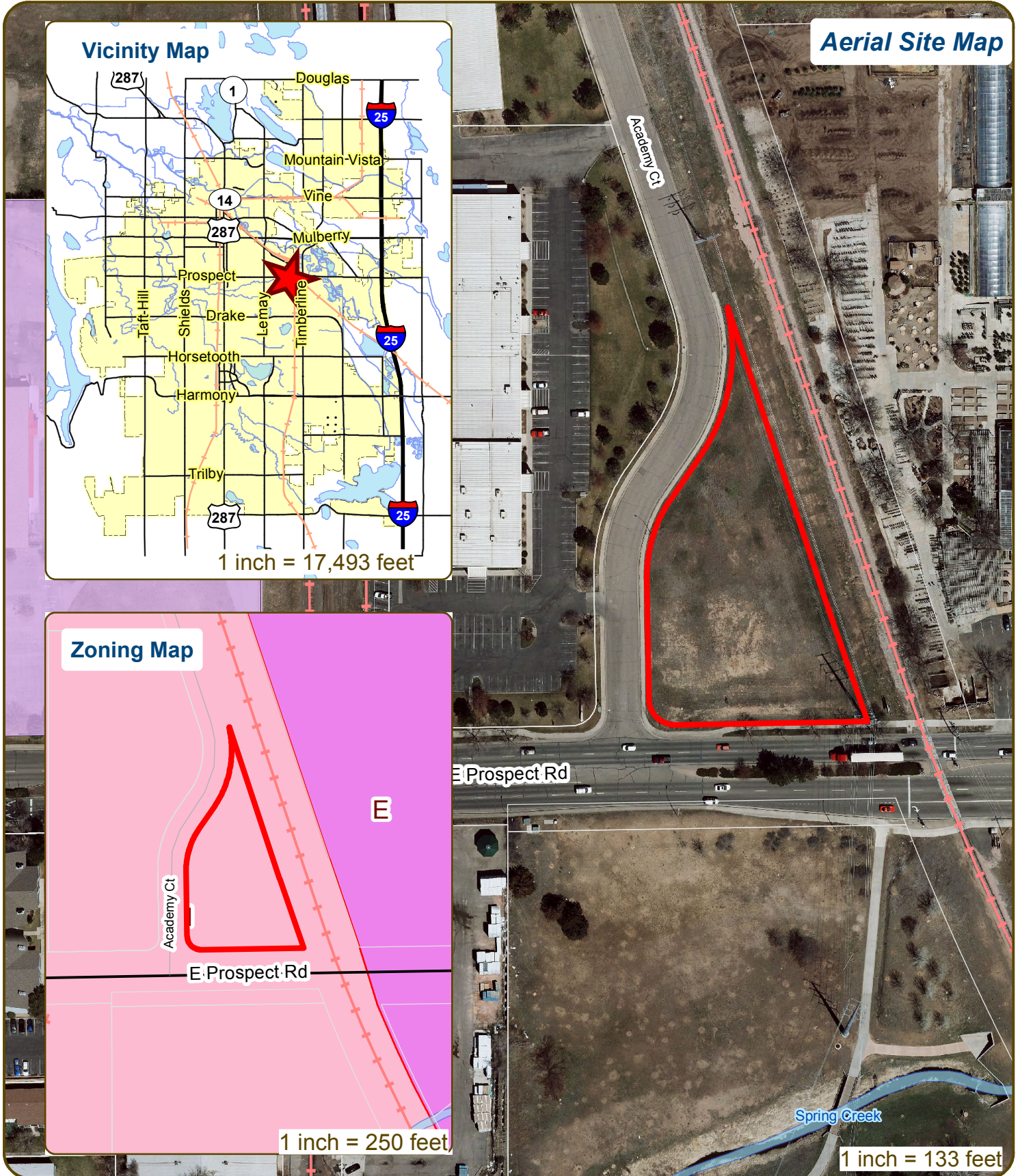
281 Conference Room A

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## Monday, January 9, 2017

Time	Project Name	Applicant Info	Project Description	Planner
10:15	Academy Ct. and Prospect Rd. – Vehicle Minor Repair	Todd Rand (970) 535-7600 <a href="mailto:todd.rand@baselinecorp.com">todd.rand@baselinecorp.com</a>	This is a request to construct a vehicle minor repair facility at the northeast corner of Academy Court and Prospect Road (parcel #8718413001). The building will be one story and contain 4,995 sq. ft. of floor area. The proposed site plan shows 30 parking spaces. The site is located in the Industrial (I) zone district. This proposal will be subject to Administrative (Type I) review.	Clay Frickey
11:00	4700 S Boardwalk Dr., 4625 S Mason St., and 1250 E Magnolia St. - Wireless Telecommunications Equipment	Raymond Taylor (303) 800-4904 <a href="mailto:r.taylor@sure-site.com">r.taylor@sure-site.com</a>	This is a series of requests to place wireless telecommunications equipment on existing structures (parcel #'s 9601117001, 9602107002, and 8707343001). Each installation would be placed on the roof or flush mounted to the building. The equipment would be painted to match the color of the building. 4700 S Boardwalk Dr. is located in the Harmony Corridor (HC) zone district. 4625 S Mason St. and 1250 E Magnolia St. are located in the General Commercial (CG) zone district. Each proposal will be subject to Administrative (Type I) review.	Kai Kleer

# Academy Ct. and Prospect Rd. Vehicle Minor Repair



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Todd Rand, PE Baseline Engineering, Consultant. Jonathan Wakefield, Owner representative

Business Name (if applicable) Christian Brothers Automotive

Your Mailing Address 710 11th Ave., Suite 105, Greeley, CO 80631

Phone Number 970.353.7600 ext 312 Email Address todd.rand@baselinecorp.com

Site Address or Description (parcel # if no address) 87184-13-001

Description of Proposal (attach additional sheets if necessary) \_\_\_\_\_

Automobile Service and Minor Repair Facility

Proposed Use Vehicle Minor Repair Existing Use Vacant

Total Building Square Footage 4,995 S.F. Number of Stories 1 Lot Dimensions 196'x325'

Age of any Existing Structures No existing structures on the lot.

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [ ] Yes [X] No If yes, then at what risk is it? \_\_\_\_\_

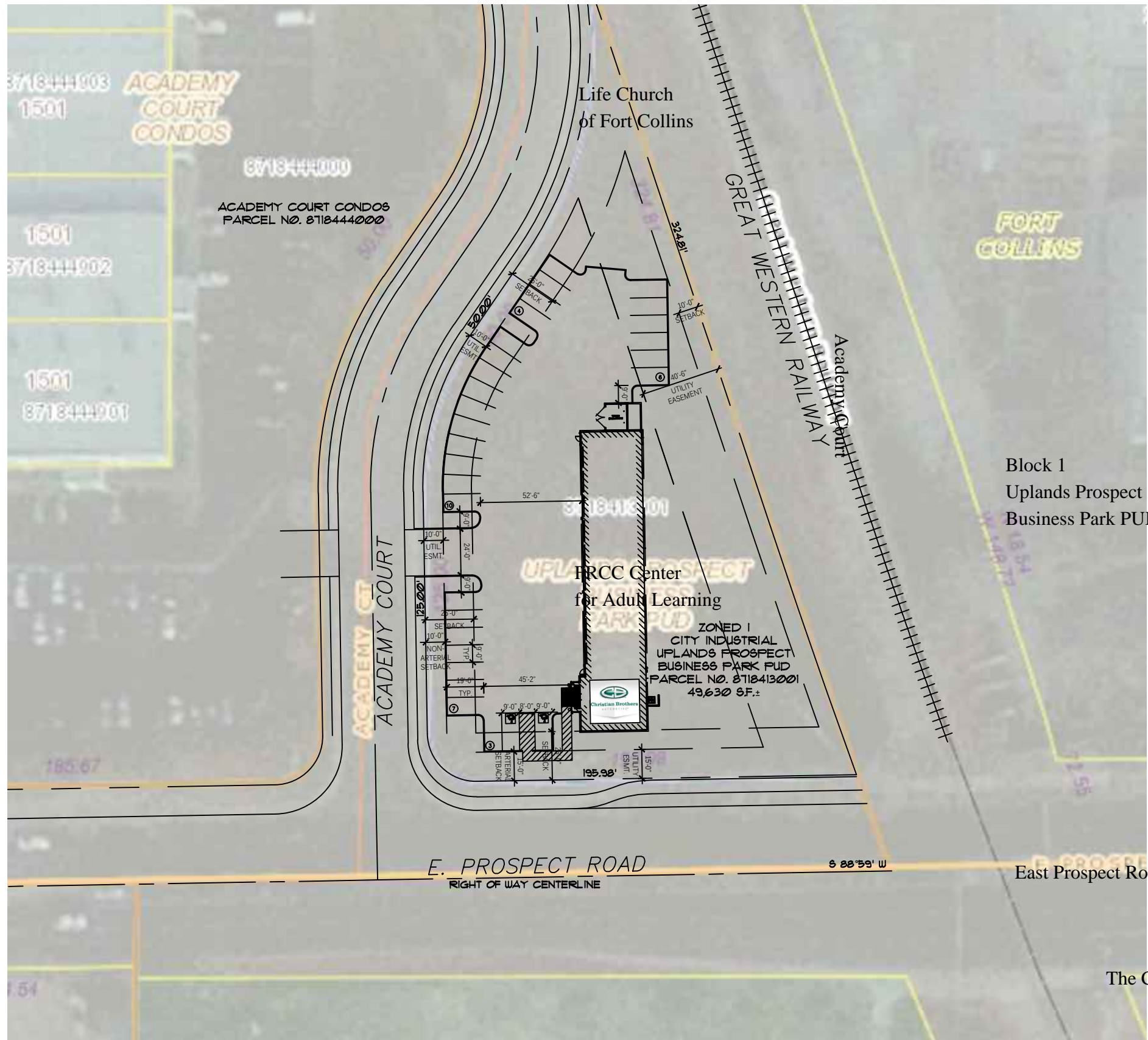
Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 21,700 S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



**SITE SUMMARY:**

TENANT: COMMERCIAL TENANT  
CHRISTIAN BROTHERS AUTOMOTIVE

ADDRESS: NEC ACADEMY CT. & PROSPECT RD.  
FORT COLLINS, COLORADO

OWNER: CHRISTIAN BROTHERS AUTOMOTIVE  
17725 KATY FREEWAY, SUITE 200  
HOUSTON, TX 77074

SCOPE: AUTOMOBILE SERVICING FACILITY

PROJECT DESCRIPTION: NEW 5,051 SQ. FT. AUTOMOTIVE SERVICING

SITE AREA (GROSS): 49,630 SQ. FT. (1.14 ACRES)

PROPOSED USE: AUTOMOTIVE SERVICE STATION (SP)

ZONING: I - CITY INDUSTRIAL

ALLOWABLE BUILDING AREA:  
CONSTRUCTION TYPE VB  
OCCUPANCY GROUP: 9-1, AUTOMOTIVE SERVICING  
B, OFFICE SPACE  
BASIC ALLOWABLE AREA: 3000 SQ. FT.  
IBC 2015, TABLE 506.2

MAXIMUM BUILDING HEIGHT: SECTION 4.1.9.3 40'

BUILDING AREA: TOTAL BUILDING AREA 5,051 SF.  
DUMPSTER FOUNDATION AREA: 116 SF.

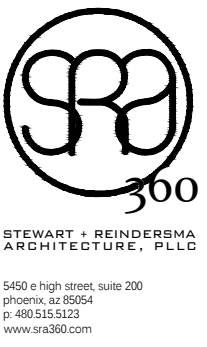
SITE AREA: 49,630 SF.  
LOT COVERAGE: 10.54%

SETBACKS: SECTION 4.9.1.D:  
2. STREET & ROAD SETBACKS ARE STATED IN EACH ZONING DISTRICT:  
INDUSTRIAL: SECTION 4.1.1.9  
B. LOT & BLDG. & STRUCTURE REQUIREMENTS:  
2. MINIMUM REQUIRED SETBACKS:  
STREET & ROAD: 25'  
SIDE 10'  
REAR 10'

OFF-STREET PARKING REQUIRED:  
COUNTY OF LARIMER CO. SECTION 8.6.3  
MOTOR VEHICLE SALES AND SERVICE:  
1 SPACE PER EVERY 450 GROSS FLOOR AREA OF BUILDING AREA  
REQUIRED: 5,051 s.f. / 450 s.f. = 11.2 = 12 SPACES  
PROVIDED: 30, INCLUDES 2 HANDICAPPED SPACES

STALL SIZES: SECTION 8.6.3(b)(1)(V)  
STANDARD - 9' X 19' W/ 2' OVERHANG INCLUDED  
HANDICAPPED - 13' X 19'  
AISLE WIDTH: 24' MINIMUM

CODE SUMMARY & ADOPTING ORDINANCES:  
ALL CONSTRUCTION SHALL COMPLY WITH THE COUNTY OF LARIMER, CO LOCAL ORDINANCES AND CODES.



Bath Garden Center

architect

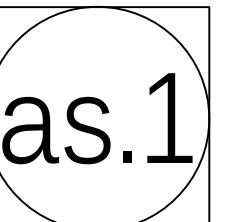
contact:  
Christian Brothers Automotive  
17725 Katy Freeway, Suite 200  
Houston, TX 77074  
Contact: Curtis Cain  
t: (281) 675-6105  
c: (832) 971-1123  
Email: ccain@cbac.com



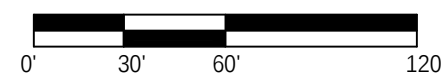
project:  
**Christian Bros. Automotive**  
NEC Academy Ct. & Prospect Rd.  
Fort Collins, CO

The drawing is an instrument of service and the property of Stewart + Reindersma Architecture, PLLC, and shall remain their property. The use of this drawing shall be restricted to the original use for which it is prepared and publication thereof is expressly limited to such use.

date: 12/12/2016  
issued for: owner review  
job no.: 16-000  
sheet title:  
**PRELIMINARY SITE PLAN**  
sheet no.: v2



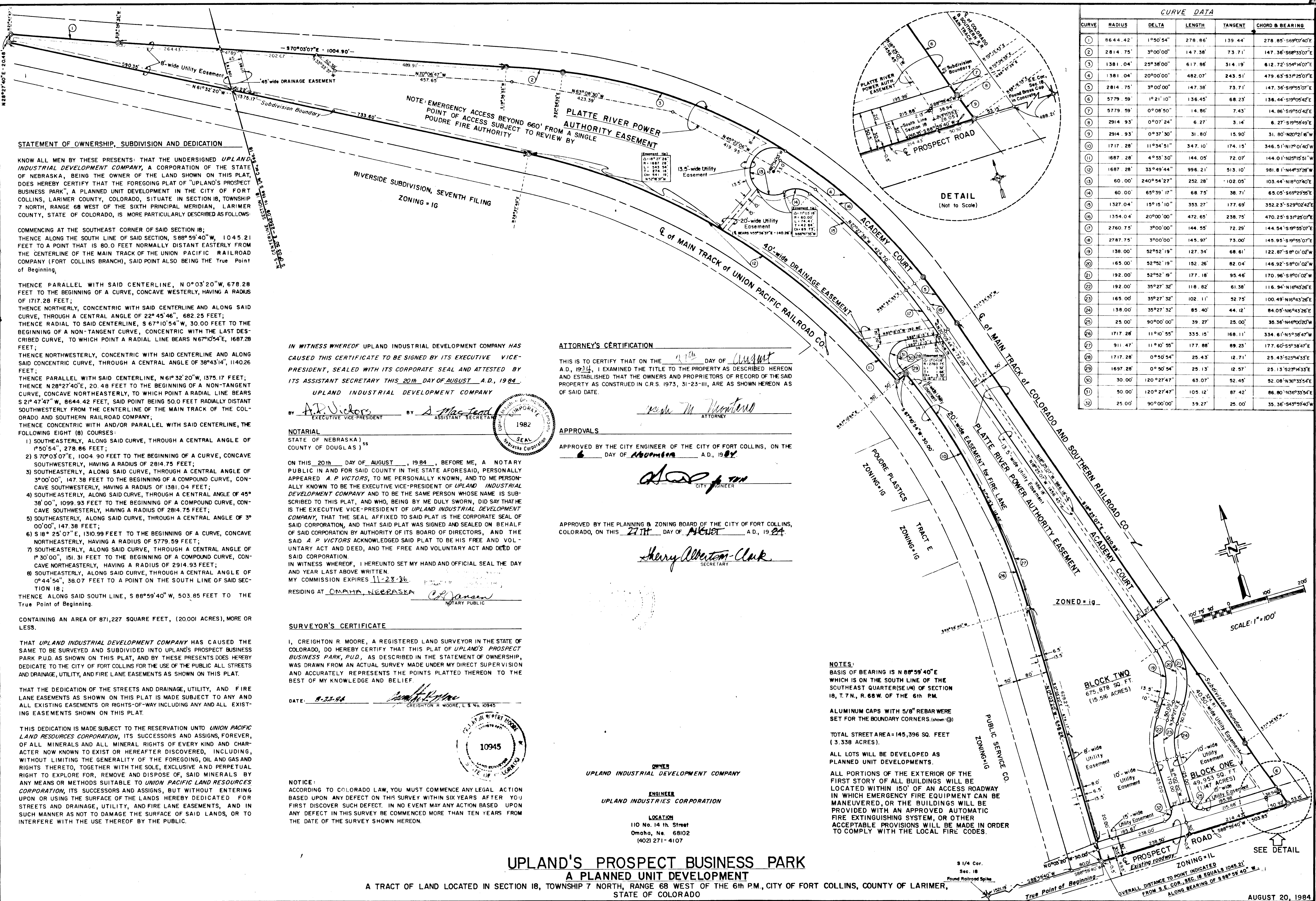
1 preliminary site plan - version 2



1" = 60'-0"







**CURVE DATA**

CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD & BEARING
1	8644.42'	1°50'54"	278.86'	139.44'	278.85°S69°07'40"E
2	2814.75'	3°00'00"	147.38'	73.71'	147.36°S69°33'07"E
3	1381.04'	25°38'00"	617.86'	314.19'	612.72°S59°44'07"E
4	1381.04'	20°00'00"	482.07'	243.51'	479.63°S32°25'07"E
5	2814.75'	3°00'00"	147.38'	73.71'	147.36°S19°55'07"E
6	5779.59'	1°21'10"	136.45'	68.23'	136.44°S19°55'07"E
7	5779.59'	0°08'50"	14.86'	7.43'	14.86°S19°55'07"E
8	2914.93'	0°07'24"	6.27'	3.14'	6.27°S19°55'07"E
9	2914.93'	0°37'30"	31.80'	15.90'	31.80°N20°21'16"W
10	1717.28'	11°34'51"	347.10'	174.15'	346.51°N19°01'40"W
11	1687.28'	4°53'30"	144.05'	72.07'	144.01°N29°15'51"W
12	1687.28'	33°49'44"	996.21'	513.10'	981.81°N44°37'28"W
13	60.00'	240°54'27"	252.28'	102.05'	103.44°N16°07'40"E
14	60.00'	65°39'17"	68.75'	38.71'	65.05°S65°29'55"E
15	1327.04'	15°15'10"	353.27'	177.69'	352.23°S29°02'42"E
16	1354.04'	20°00'00"	472.65'	238.75'	470.25°S31°25'07"E
17	2760.75'	3°00'00"	144.55'	72.29'	144.54°S19°55'07"E
18	2787.75'	3°00'00"	145.97'	73.00'	145.95°S19°55'07"E
19	138.00'	52°52'19"	127.34'	68.61'	122.87°S8°01'02"W
20	165.00'	52°52'19"	152.26'	82.04'	146.92°S8°01'02"W
21	192.00'	52°52'19"	177.18'	95.46'	170.96°S8°01'02"W
22	192.00'	35°27'32"	118.82'	61.38'	116.94°N16°43'26"E
23	165.00'	35°27'32"	102.11'	52.75'	100.49°N16°43'26"E
24	138.00'	35°27'32"	85.40'	44.12'	84.05°N16°43'26"E
25	25.00'	90°00'00"	39.27'	25.00'	35.36°N46°00'20"W
26	1717.28'	11°34'55"	335.15'	168.11'	334.61°N5°38'47"W
27	911.47'	11°34'55"	177.88'	89.23'	177.60°S19°38'47"E
28	1717.28'	0°50'54"	25.43'	12.71'	25.43°S23°43'35"E
29	1697.28'	0°50'54"	25.13'	12.57'	25.13°S23°43'35"E
30	30.00'	120°27'47"	63.07'	52.45'	52.08°N36°33'54"E
31	50.00'	120°27'47"	105.12'	87.42'	86.80°N36°33'54"E
32	25.00'	90°00'00"	39.27'	25.00'	35.36°S43°59'40"W

STATEMENT OF OWNERSHIP, SUBDIVISION AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED UPLAND INDUSTRIAL DEVELOPMENT COMPANY, A CORPORATION OF THE STATE OF NEBRASKA, BEING THE OWNER OF THE LAND SHOWN ON THIS PLAT, DOES HEREBY CERTIFY THAT THE FOREGOING PLAT OF UPLAND'S PROSPECT BUSINESS PARK, A PLANNED UNIT DEVELOPMENT IN THE CITY OF FORT COLLINS, LARIMER COUNTY, COLORADO, SITUATE IN SECTION 18, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, LARIMER COUNTY, STATE OF COLORADO, IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 18; THENCE ALONG THE SOUTH LINE OF SAID SECTION, S 88°59'40"W, 1045.21 FEET TO A POINT THAT IS 80.0 FEET NORMALLY DISTANT EASTERLY FROM THE CENTERLINE OF THE MAIN TRACK OF THE UNION PACIFIC RAILROAD COMPANY (FORT COLLINS BRANCH), SAID POINT ALSO BEING THE True Point of Beginning;

THENCE PARALLEL WITH SAID CENTERLINE, N 0°03'20"W, 678.28 FEET TO THE BEGINNING OF A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 1717.28 FEET; THENCE NORTHERLY, CONCENTRIC WITH SAID CENTERLINE AND ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 22°45'46", 682.25 FEET; THENCE RADIAL TO SAID CENTERLINE, S 67°10'54"W, 30.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCENTRIC WITH THE LAST DESCRIBED CURVE, TO WHICH POINT A RADIAL LINE BEARS N 67°10'54"E, 1687.28 FEET; THENCE NORTHWESTERLY, CONCENTRIC WITH SAID CENTERLINE AND ALONG SAID CONCENTRIC CURVE, THROUGH A CENTRAL ANGLE OF 38°43'14", 1140.26 FEET; THENCE PARALLEL WITH SAID CENTERLINE, N 61°32'20"W, 1375.17 FEET; THENCE N 28°27'40"E, 20.48 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, TO WHICH POINT A RADIAL LINE BEARS S 21°47'47"W, 8644.42 FEET, SAID POINT BEING 50.0 FEET RADIALY DISTANT SOUTHWESTERLY FROM THE CENTERLINE OF THE MAIN TRACK OF THE COLORADO AND SOUTHERN RAILROAD COMPANY; THENCE CONCENTRIC WITH AND/OR PARALLEL WITH SAID CENTERLINE, THE FOLLOWING EIGHT (8) COURSES:

- 1) SOUTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 1°50'54", 278.86 FEET;
  - 2) S 7°03'07"E, 1004.90 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 2814.75 FEET;
  - 3) SOUTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 3°00'00", 147.38 FEET TO THE BEGINNING OF A COMPOUND CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 1381.04 FEET;
  - 4) SOUTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 45°38'00", 1099.93 FEET TO THE BEGINNING OF A COMPOUND CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 2814.75 FEET;
  - 5) SOUTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 3°00'00", 147.38 FEET;
  - 6) S 18°25'07"E, 1310.99 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 5779.59 FEET;
  - 7) SOUTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 1°30'00", 151.31 FEET TO THE BEGINNING OF A COMPOUND CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2914.93 FEET;
  - 8) SOUTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 0°44'54", 38.07 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 18;
- THENCE ALONG SAID SOUTH LINE, S 88°59'40"W, 503.85 FEET TO THE True Point of Beginning.
- CONTAINING AN AREA OF 871,227 SQUARE FEET, (20.001 ACRES), MORE OR LESS.

THAT UPLAND INDUSTRIAL DEVELOPMENT COMPANY HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED INTO UPLAND'S PROSPECT BUSINESS PARK P.U.D. AS SHOWN ON THIS PLAT, AND BY THESE PRESENTS DOES HEREBY DEDICATE TO THE CITY OF FORT COLLINS FOR THE USE OF THE PUBLIC ALL STREETS AND DRAINAGE, UTILITY, AND FIRE LANE EASEMENTS AS SHOWN ON THIS PLAT.

THAT THE DEDICATION OF THE STREETS AND DRAINAGE, UTILITY, AND FIRE LANE EASEMENTS AS SHOWN ON THIS PLAT IS MADE SUBJECT TO ANY AND ALL EXISTING EASEMENTS OR RIGHTS-OF-WAY INCLUDING ANY AND ALL EXISTING EASEMENTS SHOWN ON THIS PLAT.

THIS DEDICATION IS MADE SUBJECT TO THE RESERVATION UNTO UNION PACIFIC LAND RESOURCES CORPORATION, ITS SUCCESSORS AND ASSIGNS, FOREVER, OF ALL MINERALS AND ALL MINERAL RIGHTS OF EVERY KIND AND CHARACTER NOW KNOWN TO EXIST OR HEREAFTER DISCOVERED, INCLUDING, WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, OIL AND GAS AND RIGHTS THERETO, TOGETHER WITH THE SOLE, EXCLUSIVE AND PERPETUAL RIGHT TO EXPLORE FOR, REMOVE AND DISPOSE OF, SAID MINERALS BY ANY MEANS OR METHODS SUITABLE TO UNION PACIFIC LAND RESOURCES CORPORATION, ITS SUCCESSORS AND ASSIGNS, BUT WITHOUT ENTERING UPON OR USING THE SURFACE OF THE LANDS HEREBY DEDICATED FOR STREETS AND DRAINAGE, UTILITY, AND FIRE LANE EASEMENTS, AND IN SUCH MANNER AS NOT TO DAMAGE THE SURFACE OF SAID LANDS, OR TO INTERFERE WITH THE USE THEREOF BY THE PUBLIC.

IN WITNESS WHEREOF UPLAND INDUSTRIAL DEVELOPMENT COMPANY HAS CAUSED THIS CERTIFICATE TO BE SIGNED BY ITS EXECUTIVE VICE-PRESIDENT, SEALED WITH ITS CORPORATE SEAL AND ATTESTED BY ITS ASSISTANT SECRETARY THIS 20th DAY OF AUGUST, A.D., 1984.

UPLAND INDUSTRIAL DEVELOPMENT COMPANY  
 BY A.P. VICTORS EXECUTIVE VICE-PRESIDENT  
 BY A. MacLeod ASSISTANT SECRETARY

NOTARIAL  
 STATE OF NEBRASKA  
 COUNTY OF DOUGLAS

ON THIS 20th DAY OF AUGUST, 1984, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, PERSONALLY APPEARED A.P. VICTORS, TO ME PERSONALLY KNOWN, AND TO ME PERSONALLY KNOWN TO BE THE EXECUTIVE VICE-PRESIDENT OF UPLAND INDUSTRIAL DEVELOPMENT COMPANY AND TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THIS PLAT, AND WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS THE EXECUTIVE VICE-PRESIDENT OF UPLAND INDUSTRIAL DEVELOPMENT COMPANY, THAT THE SEAL AFFIXED TO SAID PLAT IS THE CORPORATE SEAL OF SAID CORPORATION, AND THAT SAID PLAT WAS SIGNED AND SEALED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND THE SAID A.P. VICTORS ACKNOWLEDGED SAID PLAT TO BE HIS FREE AND VOLUNTARY ACT AND DEED, AND THE FREE AND VOLUNTARY ACT AND DEED OF SAID CORPORATION. IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN. MY COMMISSION EXPIRES 11-28-86.

RESIDING AT OMAHA, NEBRASKA

SURVEYOR'S CERTIFICATE  
 I, CREIGHTON R. MOORE, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT OF UPLAND'S PROSPECT BUSINESS PARK, P.U.D., AS DESCRIBED IN THE STATEMENT OF OWNERSHIP, WAS DRAWN FROM AN ACTUAL SURVEY MADE UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: 8-23-84

CREIGHTON R. MOORE, L.S. No. 10945  
 STATE OF COLORADO

NOTICE:  
 ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT ON THIS SURVEY WITHIN SIX YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE SURVEY SHOWN HEREON.

ATTORNEY'S CERTIFICATION  
 THIS IS TO CERTIFY THAT ON THE 20th DAY OF August A.D., 1984, I EXAMINED THE TITLE TO THE PROPERTY AS DESCRIBED HEREON AND ESTABLISHED THAT THE OWNERS AND PROPRIETORS OF RECORD OF THE SAID PROPERTY AS CONSTRUED IN C.R.S. 1973, 31-23-III, ARE AS SHOWN HEREON AS OF SAID DATE.

APPROVALS  
 APPROVED BY THE CITY ENGINEER OF THE CITY OF FORT COLLINS, ON THE 6 DAY OF November A.D., 1984.

APPROVED BY THE PLANNING & ZONING BOARD OF THE CITY OF FORT COLLINS, COLORADO, ON THIS 27th DAY OF August A.D., 1984.

UPLAND INDUSTRIAL DEVELOPMENT COMPANY  
 UPLAND INDUSTRIES CORPORATION  
 LOCATION  
 110 No. 14th Street  
 Omaha, Ne. 68102  
 (402) 271-4107

NOTES:  
 BASIS OF BEARING IS N 88°59'40"E WHICH IS ON THE SOUTH LINE OF THE SOUTHEAST QUARTER(SE1/4) OF SECTION 18, T.7N., R.68W. OF THE 6th PM.

ALUMINUM CAPS WITH 5/8" REBAR WERE SET FOR THE BOUNDARY CORNERS. (shown @)

TOTAL STREET AREA = 145,396 SQ. FEET (3.338 ACRES).

ALL LOTS WILL BE DEVELOPED AS PLANNED UNIT DEVELOPMENTS.

ALL PORTIONS OF THE EXTERIOR OF THE FIRST STORY OF ALL BUILDINGS WILL BE LOCATED WITHIN 150' OF AN ACCESS ROADWAY IN WHICH EMERGENCY FIRE EQUIPMENT CAN BE MANEUVERED, OR THE BUILDINGS WILL BE PROVIDED WITH AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM, OR OTHER ACCEPTABLE PROVISIONS WILL BE MADE IN ORDER TO COMPLY WITH THE LOCAL FIRE CODES.

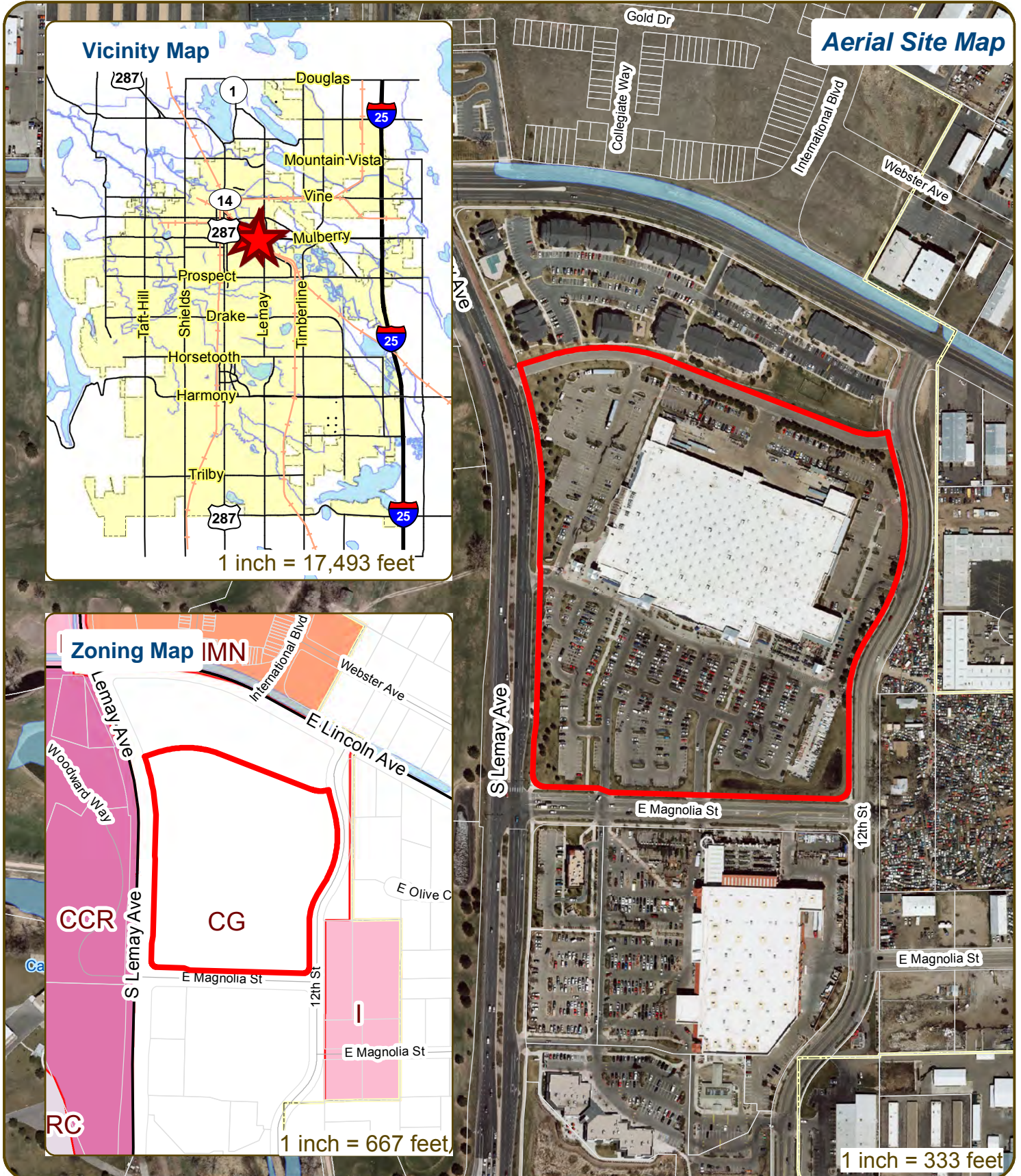
**UPLAND'S PROSPECT BUSINESS PARK**  
 A PLANNED UNIT DEVELOPMENT  
 A TRACT OF LAND LOCATED IN SECTION 18, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6th PM., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO







# 1250 E Magnolia St. Wireless Telecommunications Equipment

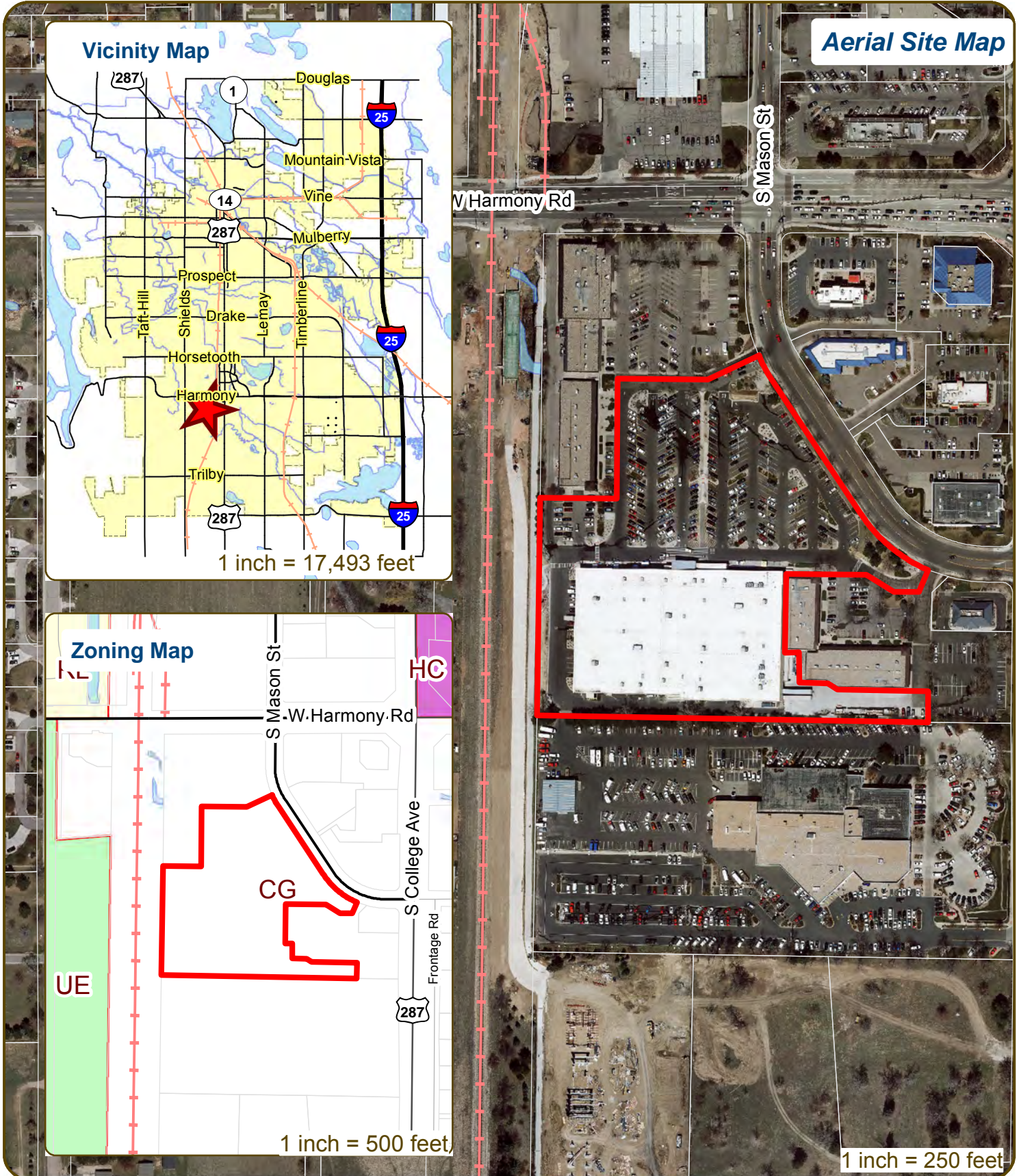


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# 4625 S Mason St. Wireless Telecommunications Equipment

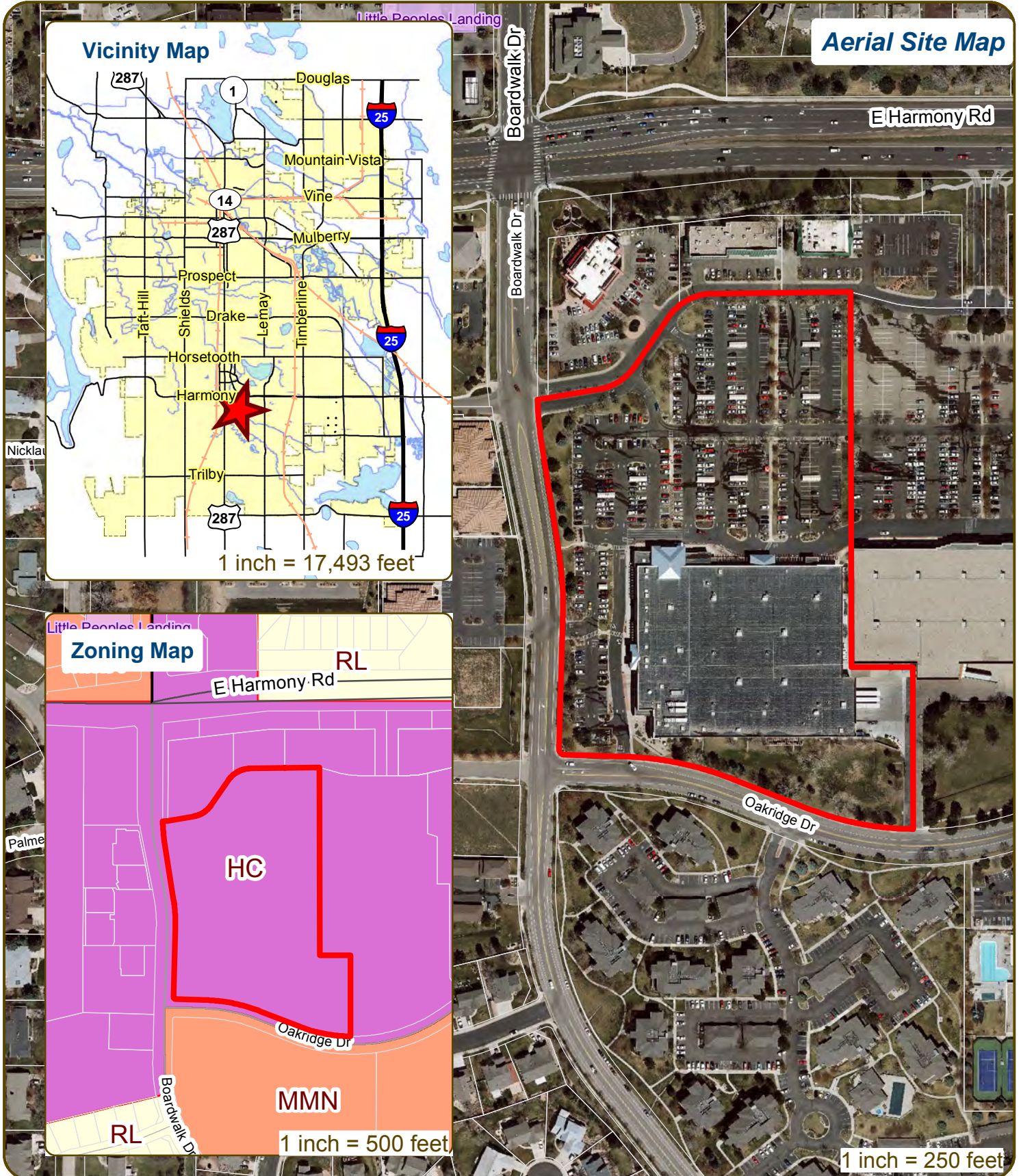


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# 4700 S Boardwalk Dr. Wireless Telecommunications Equipment



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Raymond Taylor

Business Name (if applicable) \_\_\_\_\_ Suresite

Your Mailing Address \_\_\_\_\_ 7535 E Hampden Ave., #400

Phone Number \_\_\_\_\_ 303-800-4904 Email Address \_\_\_\_\_ r.taylor@sure-site.com

Site Address or Description (parcel # if no address) \_\_\_\_\_ 4700 E Boardwalk Dr., 4625 S Mason St., and 1250 E Magnolia St.

Description of Proposal (attach additional sheets if necessary) \_\_\_\_\_

Add wireless antenna to existing retail stores

Proposed Use \_\_\_\_\_ Wireless Telecommunications Existing Use \_\_\_\_\_ Retail

Equipment \_\_\_\_\_ Total Building Square Footage \_\_\_\_\_ S.F. Number of Stories \_\_\_\_\_ Lot Dimensions \_\_\_\_\_

Age of any Existing Structures \_\_\_\_\_

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain?  Yes  No If yes, then at what risk is it? \_\_\_\_\_

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area \_\_\_\_\_ S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?





**2729 FTC WLMRT SC3**  
**VERZION PROJECT # 20161384447**  
**SMALL CELL**  
**1250 E. MAGNOLIA ST.**  
**FORT COLLINS, COLORADO 80524**  
**ZONING DRAWINGS**

**verizon**  
 3131 SOUTH VAUGHN WAY #500  
 AURORA, COLORADO 80014  
 (303) 873-2652

**AeroSolutions LLC**  
 Optimizing Your Tower Infrastructure  
 5555 CENTRAL AVENUE #100  
 BOULDER, COLORADO 80301  
 PH: (720) 304-6882  
 FAX: (720) 304-6883

AERO PROJECT #: 097-16-0024

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTION
0	10-03-16	RPH	FINAL
C	08-24-16	RPH	REVISED
B	08-11-16	MRG	REVISED
A	07-13-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:  
**TITLE SHEET**

DRAWING SHEET:  
**T-1**

SHEET NUMBER:  
**1 OF 8**

SITE INFORMATION:

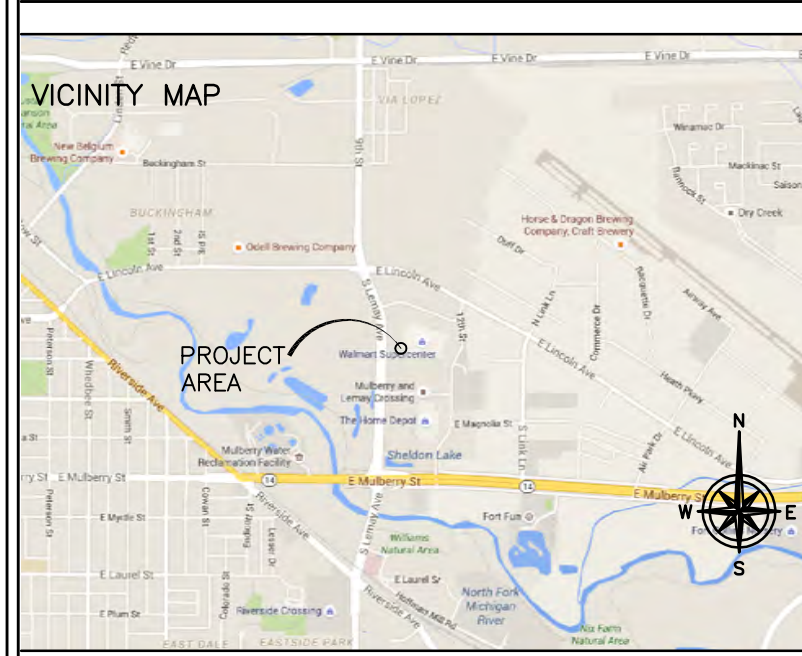
SITE NAME:  
**2729 FTC WLMRT SC3**  
 SITE ADDRESS:  
**1250 E. MAGNOLIA ST.  
 FORT COLLINS, CO 80524**  
 JURISDICTION:  
**CITY OF FORT COLLINS  
 LARIMER COUNTY**



MATTHEW CHASE, P.E.  
 COLORADO PROFESSIONAL ENGINEER  
 LICENSE #47078 (EXP. 10/31/2016)

**SITE DIRECTIONS**

DEPART 3131 S VAUGHN WAY, AURORA, CO 80014:  
 HEAD SOUTH TOWARD S VAUGHN WAY. TURN RIGHT ONTO S VAUGHN WAY. TURN LEFT TO MERGE ONTO CO-83 N TOWARD INTERSTATE 225. MERGE ONTO CO-83 N. USE THE RIGHT 3 LANES TO TAKE THE INTERSTATE 225 N EXIT. MERGE ONTO I-225 N. USE THE LEFT 3 LANES TO TAKE EXIT 12A TO MERGE ONTO I-70 W TOWARD DENVER. KEEP RIGHT AT THE FORK TO CONTINUE ON I-270 W, FOLLOW SIGNS FOR FORT COLLINS/BOULDER. TAKE EXIT 0 TO MERGE ONTO I-25 N TOWARD FT COLLINS. TAKE EXIT 269B TO MERGE ONTO CO-14 W TOWARD FT COLLINS. MERGE ONTO CO-14 W. TURN RIGHT ONTO S LEMAY AVE. TURN RIGHT ONTO E MAGNOLIA ST. THE BUILDING WILL BE ON THE LEFT.



SCALE: 1"=1000'  
FORT COLLINS, COLORADO

**CLIENT**

VERIZON WIRELESS REAL ESTATE  
 3131 S. VAUGHN WAY #550  
 AURORA, CO 80014  
 CONTACT: STACEY BELL-BROWER  
 PHONE: 303-901-3092

**PROPERTY OWNER**

WAL MART REAL ESTATE BUSINESS TRUST  
 PO BOX 8050  
 BENTONVILLE, AR 72712

**CONSTRUCTION MANAGER**

VERIZON WIRELESS  
 3131 S. VAUGHN WAY #550  
 AURORA, CO 80014  
 CONTACT: JASON SHELLEDY  
 PHONE: 303-873-2652

**RF ENGINEER**

VERIZON WIRELESS  
 3131 S. VAUGHN WAY #550  
 AURORA, CO 80014  
 CONTACT: RAM NANDIRAJU  
 EMAIL: Ram.Nandiraju@verizonwireless.com

**SITE ACQUISITION**

SURE SITE  
 8534 NORTHFIELD BLVD., #3700  
 DENVER, CO 80238  
 CONTACT: RAYMOND TAYLOR  
 PHONE: 303-355-8236

**ENGINEER**

AERO SOLUTIONS, LLC  
 5555 CENTRAL AVE #100  
 BOULDER, CO 80301  
 CONTACT: STEVE MUSTARO  
 PHONE: 720-381-2858

**PROJECT DATA**

JURISDICTION: CITY OF FORT COLLINS LARIMER COUNTY

ZONING: C - COMMERCIAL

APN: 8707343001

PARCEL SIZE: 902,920 S.F.

ELEVATION: 4,945' (NAVD 88)

SITE COORDINATES: N 40° 35' 10.49" (NAD 83)  
W 105° 03' 16.86" (NAD 83)

STRUCTURE TYPE: BUILDING

STRUCTURE HEIGHT: 29'-0"± (TOP OF PARAPET)

ANTENNA RAD CENTER: 23'-0" AGL & 18'-0" AGL

APPLICANT: VERIZON WIRELESS

APPLICANT CONTACT: STACEY BELL-BROWER  
3131 SOUTH VAUGHN WAY #550  
AURORA, COLORADO 80014  
PH: (303-901-3092)

ENGINEERING: AERO SOLUTIONS, LLC

ENGINEERING CONTACT: STEVE MUSTARO  
5555 CENTRAL AVENUE #100  
BOULDER, COLORADO 80301  
PH: (720) 304-6882

**CODE ANALYSIS**

BUILDING CODE: IBC 2012

ELECTRICAL CODE: NEC 2014

FIRE SAFETY CODE: NFPA-1 (2006)

USE GROUP: U - UTILITY

CONSTRUCTION TYPE: IIB

**SHEET INDEX**

T-1	TITLE SHEET
LS-1	BOUNDARY DETAIL
LS-2	SURVEY DETAIL
LS-3	SURVEY DETAIL
Z-1	SITE PLAN
Z-2	EQUIPMENT PLAN & ANTENNA LAYOUT
Z-3	ELEVATION
Z-4	CONSTRUCTION DETAILS

**PROJECT DESCRIPTION**

1. INSTALL NEW EQUIPMENT CABINET ON NON-PENETRATING SLED MOUNT.
2. INSTALL (2) NEW ANTENNAS ON EXTERIOR WALL.
3. INSTALL (4) NEW REMOTE RADIO HEADS ON NON-PENETRATING SLED MOUNT.
4. INSTALL (1) NEW OVP SURGE SUPPRESSION BOX ON NON-PENETRATING SLED MOUNT.
5. INSTALL NEW FIBER VAULT FOR PROPOSED FIBER RUN.
6. RUN NEW FIBER AND POWER TO PROPOSED EQUIPMENT.
7. INSTALL NEW 1-5/8" LOW INDUCTANCE HYBRIFLEX CABLE TO PROPOSED OVP.
8. INSTALL NEW COAX CABLES.

**APPROVALS**

VERIZON (RF): \_\_\_\_\_ DATE: \_\_\_\_\_  
 VERIZON (CONST.): \_\_\_\_\_ DATE: \_\_\_\_\_  
 VERIZON (RE): \_\_\_\_\_ DATE: \_\_\_\_\_  
 LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_



**SURVEYOR NOTES**

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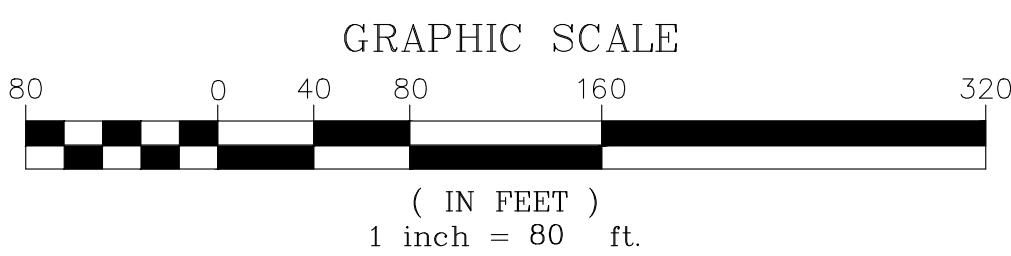
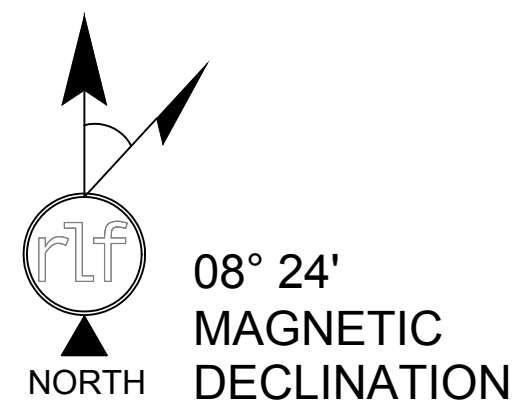
**FLOOD ZONE DESIGNATION**

THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 08069C0983H DATED 05/02/12.

FLOOD ZONE "X" IS DEFINED AS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN; DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.

**LEGEND**

- ALUMINUM CAP IN HANDHOLE
- BLDG TOP OF BUILDING
- CLF CHAIN LINK FENCE
- CMU CONCRETE MASONRY UNIT
- CS CONCRETE
- D/W ACCESS DRIVEWAY
- EL ELEVATION
- FS FINISHED SURFACE
- NG NATURAL GRADE
- PV ASPHALT
- AIR CONDITIONING UNIT
- ELECTRICAL PULL BOX
- ELECTRIC METER
- ELECTRIC CABINET
- ELECTRIC VAULT
- POWER POLE
- LIGHT POST
- VENT
- ROOF DRAIN
- SATELLITE DISH
- FIRE DEPT. CONNECTION
- FIRE HYDRANT
- WATER VALVE
- STORM MANHOLE
- CATCH BASIN
- DECIDUOUS TREE
- BUSH
- SIGN
- DOUBLE SIGN
- BOLLARD
- HANDICAP
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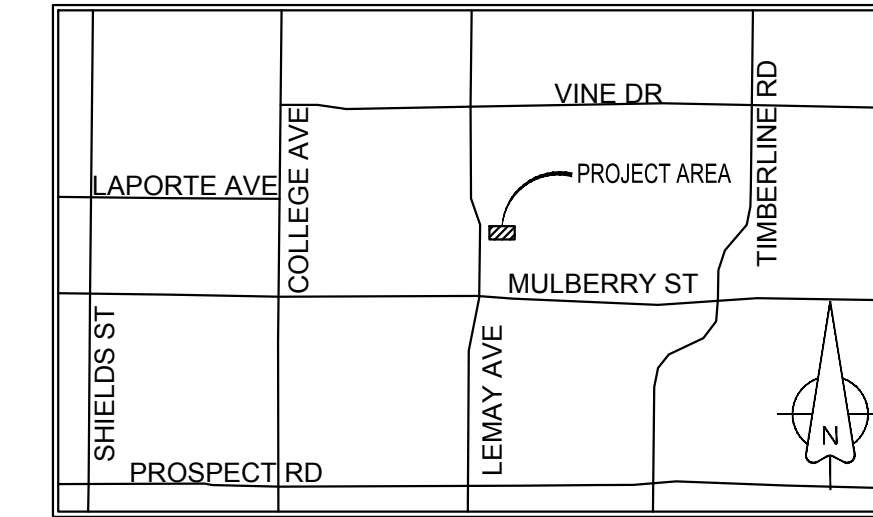


**LESSOR'S LEGAL DESCRIPTION**

LOT 1 AND AN UNDIVIDED 34.15% INTEREST IN TRACT A, MULBERRY AND LEMAY CROSSINGS FILING NO. 1, CITY OF FORT COLLINS, LARIMER COUNTY, STATE OF COLORADO.

**PROJECT META DATA**

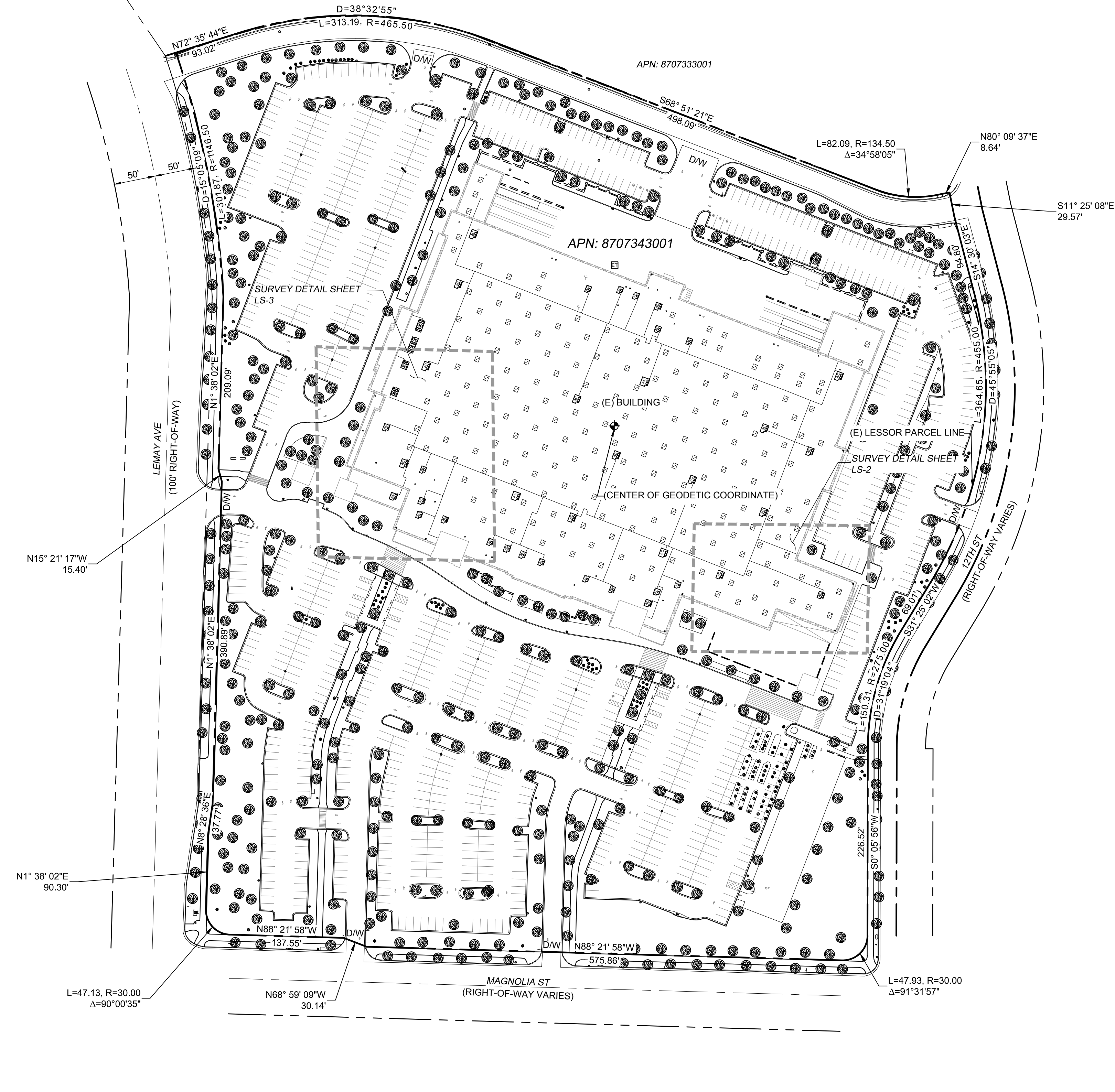
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3. FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 06/08/16.



VICINITY MAP  
N.T.S.

**POSITION OF GEODETIC COORDINATES**

LATITUDE 40° 35' 10.49" NORTH (NAD83)  
LONGITUDE 105° 03' 16.86" WEST (NAD83)  
ELEVATION @ GROUND= 4945' (NAVD88)



5555 CENTRAL AVENUE #100  
BOULDER, COLORADO 80301  
PH: (720) 304-6882  
FAX: (720) 304-6883

AERO PROJECT #: 097-16-0024

**REVISION SCHEDULE**

REV	DATE	BY	DESCRIPTION
1	06-28-16	ERG	PRELIMINARY

DRAWING TITLE:

**BOUNDARY DETAIL**

DRAWING SHEET:

LS-1

SHEET NUMBER:

**2 OF 8**

SITE INFORMATION:

SITE NAME:  
DEN FTC WLMRT SC 3

SITE ADDRESS:  
1250 EAST MAGNOLIA ST  
FORT COLLINS, CO 80524

JURISDICTION:  
CITY OF FORT COLLINS



RLF PROJECT #: 16002026

RYAN L. FIDLER, P.L.S.  
COLORADO PROFESSIONAL SURVEYOR  
LICENSE #38207 (EXP. 10/31/2017)



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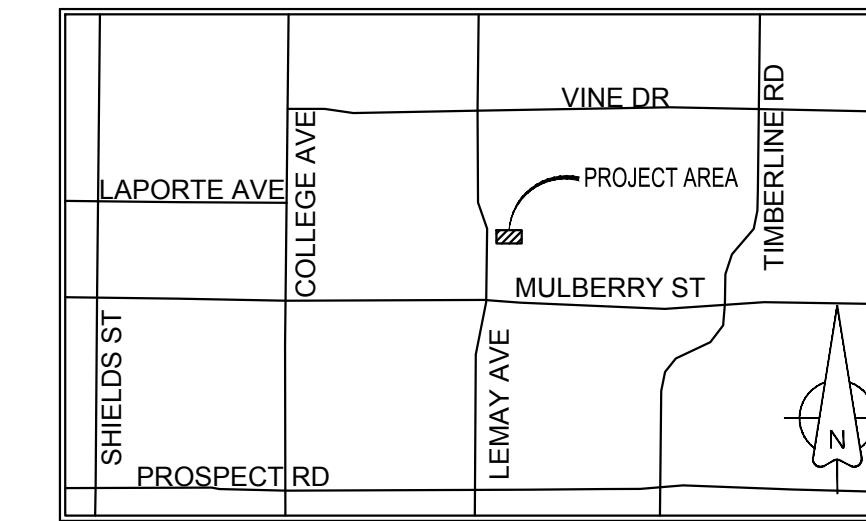
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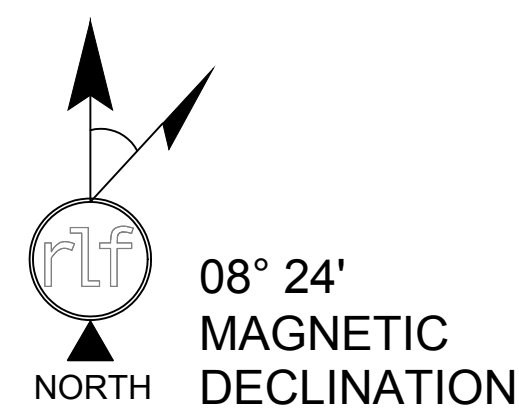


VICINITY MAP  
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POSITION OF GEODETIC COORDINATES  
LATITUDE 40° 35' 10.49" NORTH (NAD83)  
LONGITUDE 105° 03' 16.88" WEST (NAD83)  
ELEVATION @ GROUND= 4945' (NAVD88)

**LEGEND**

- ALUMINUM CAP IN HANDHOLE
- BLDG TOP OF BUILDING
- CLF CHAIN LINK FENCE
- CMU CONCRETE MASONRY UNIT
- CS CONCRETE
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- EL ELEVATION
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AERO PROJECT #: 097-16-0024

REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION
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DRAWING TITLE:

**SURVEY DETAIL**

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LS-2

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**3 OF 8**

SITE INFORMATION:

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DEN FTC WLMRT SC 3

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FORT COLLINS, CO 80524

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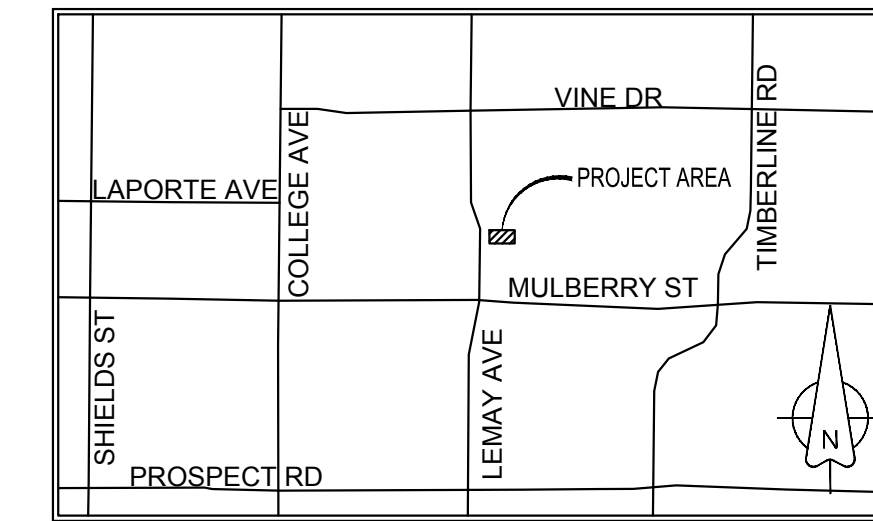
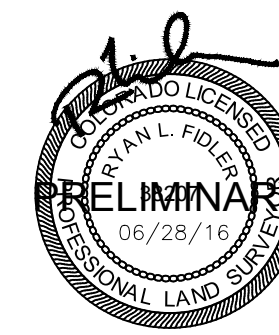
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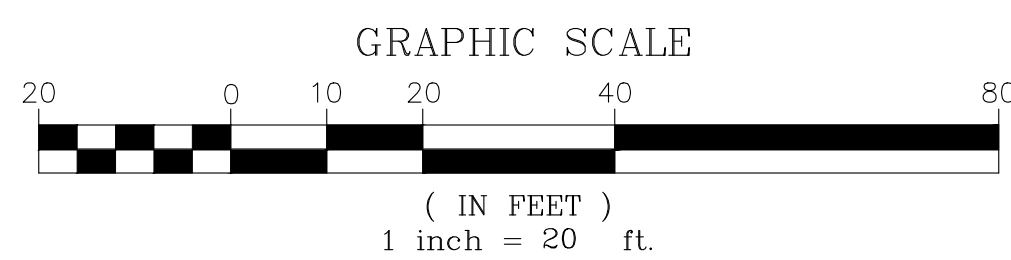
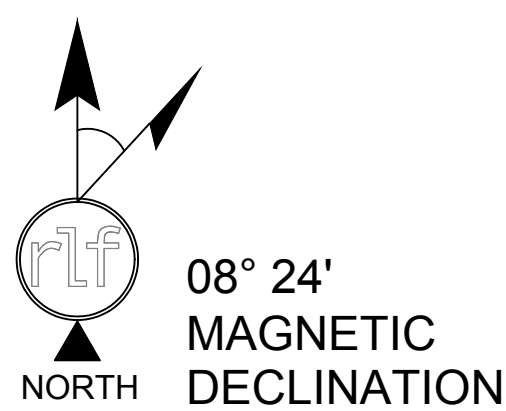
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- CS CONCRETE
- D/W ACCESS DRIVEWAY
- EL ELEVATION
- FS FINISHED SURFACE
- NG NATURAL GRADE
- PV ASPHALT
- AC AIR CONDITIONING UNIT
- ELECTRICAL PULL BOX
- ⊠ ELECTRIC METER
- ⊠ ELECTRIC CABINET
- EV ELECTRIC VAULT
- ⊠ POWER POLE
- ☆ LIGHT POST
- VENT
- ⊠ ROOF DRAIN
- ⊠ SATELLITE DISH
- Y FIRE DEPT. CONNECTION
- ⊠ FIRE HYDRANT
- ⊠ WATER VALVE
- ⊠ STORM MANHOLE
- ⊠ CATCH BASIN
- ⊠ DECIDUOUS TREE
- ⊠ BUSH
- ⊠ SIGN
- ⊠ DOUBLE SIGN
- ⊠ BOLLARD
- ⊠ HANDICAP
- ⊠ BREAKLINE
- ⊠ POSITION OF GEODETIC COORDINATES
- PROPERTY LINE
- PROPERTY LINE (OTHER)
- RIGHT-OF-WAY LINE
- MONUMENT LINE
- CENTERLINE
- EASEMENT LINE
- LEASE LINE
- CHAIN LINK FENCE
- WOOD OR IRON FENCE
- ⊠ WIRE OR BARBED WIRE FENCE
- OHE OVERHEAD ELECTRIC LINE
- UGE U/G ELECTRIC LINE
- T U/G TELECOMMUNICATION LINE
- TV UNDERGROUND TV LINE
- FO U/G FIBER OPTIC LINE
- GAS U/G GAS LINE
- SS SANITARY SEWER LINE
- SD STORM SEWER LINE
- W WATER LINE



AERO PROJECT #: 097-16-0024

**REVISION SCHEDULE**

REV	DATE	BY	DESCRIPTION
1	06-28-16	ERG	PRELIMINARY

DRAWING TITLE:

**SURVEY DETAIL**

DRAWING SHEET:

**LS-3**

SHEET NUMBER:

**4 OF 8**

SITE INFORMATION:

SITE NAME:  
DEN FTC WLMRT SC 3

SITE ADDRESS:  
1250 EAST MAGNOLIA ST  
FORT COLLINS, CO 80524

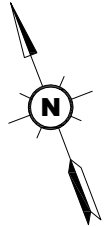
JURISDICTION:  
CITY OF FORT COLLINS



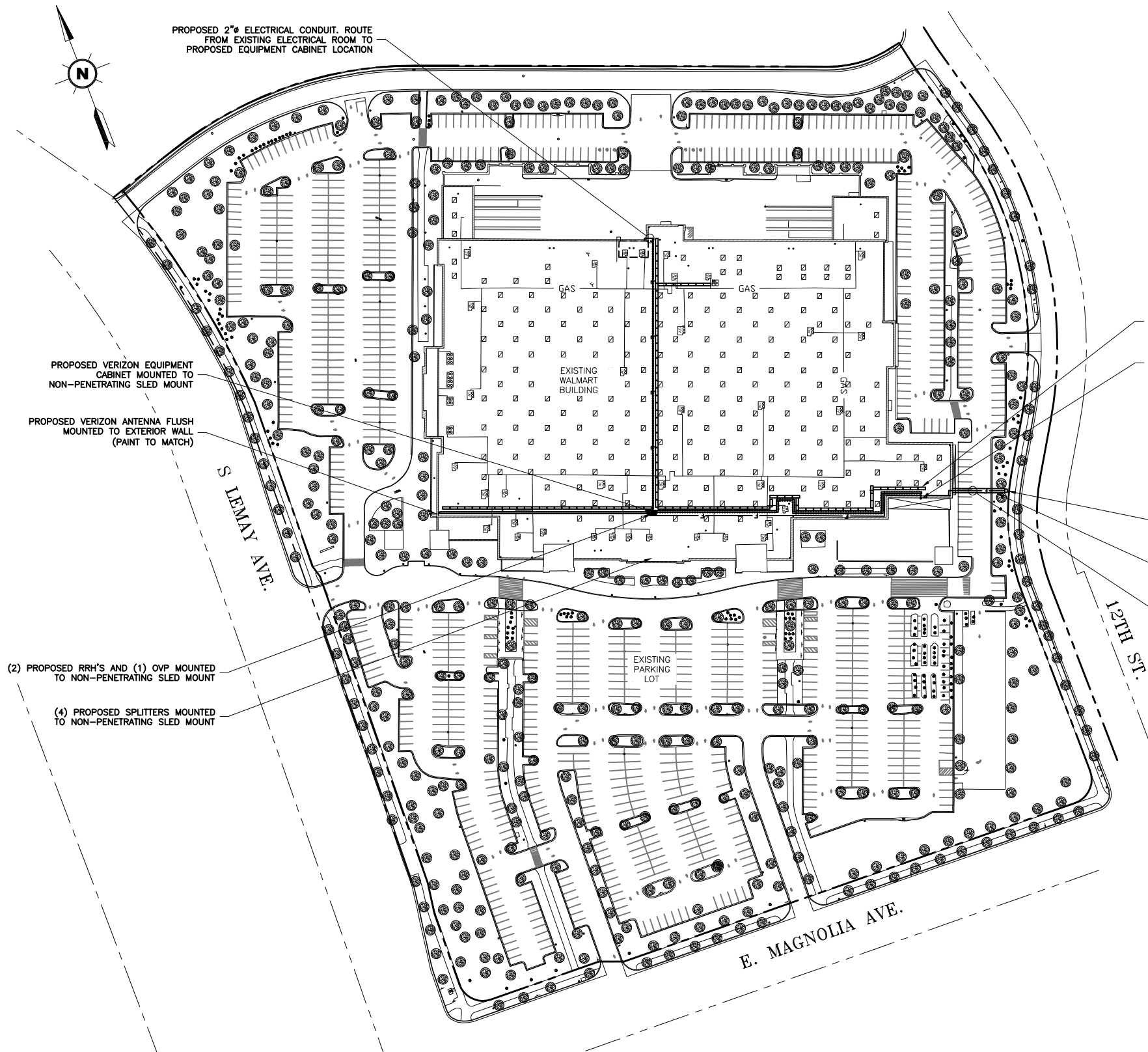
RLF PROJECT #: 16002026

RYAN L. FIDLER, P.L.S.  
COLORADO PROFESSIONAL SURVEYOR  
LICENSE #38207 (EXP. 10/31/2017)





PROPOSED 2" ELECTRICAL CONDUIT ROUTE FROM EXISTING ELECTRICAL ROOM TO PROPOSED EQUIPMENT CABINET LOCATION



PROPOSED VERIZON EQUIPMENT CABINET MOUNTED TO NON-PENETRATING SLED MOUNT

PROPOSED VERIZON ANTENNA FLUSH MOUNTED TO EXTERIOR WALL (PAINT TO MATCH)

S LEMAY AVE.

(2) PROPOSED RRH'S AND (1) OVP MOUNTED TO NON-PENETRATING SLED MOUNT

(4) PROPOSED SPLITTERS MOUNTED TO NON-PENETRATING SLED MOUNT

GAS

EXISTING WALMART BUILDING

EXISTING PARKING LOT

E. MAGNOLIA AVE.

PROPOSED TRAFFICMAT

PROPOSED VERIZON ANTENNA FLUSH MOUNTED TO EXTERIOR WALL (PAINT TO MATCH)

PROPOSED 3'x4' FIBER VAULT

PROPOSED 5'-0" WIDE FIBER EASEMENT

PROPOSED FIBER RUN TO NEW EQUIPMENT CABINET

12TH ST.

1 SITE PLAN SCALE: 1"=70'-0"

GRAPHIC SCALE



( IN FEET )

1 inch = 70ft.

(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY) (DO NOT USE SCALE ON OTHER SIZED DRAWINGS)

**GENERAL NOTES:**

1. THIS PLAN WAS PREPARED USING AN APPROVED SURVEY PLAN ENTITLED "BOUNDARY DETAIL" BY RLF CONSULTING, DATED 06/28/16.
2. THE PROPOSED FACILITY WILL CAUSE "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
3. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
4. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. (THERE IS NO HANDICAP ACCESS REQUIRED).
5. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
6. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
7. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE STREET SIGNS OF ANY TYPE.
8. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES.



3131 SOUTH VAUGHN WAY #500  
AURORA, COLORADO 80014  
(303) 873-2652



5555 CENTRAL AVENUE #100  
BOULDER, COLORADO 80301  
PH: (720) 304-6882  
FAX: (720) 304-6883

AERO PROJECT #: 097-16-0024

REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION
O	10-03-16	RPH	FINAL
C	08-24-16	RPH	REVISED
B	08-11-16	MRG	REVISED
A	07-13-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:

**SITE PLAN**

DRAWING SHEET:

**Z-1**

SHEET NUMBER:

**5 OF 8**

SITE INFORMATION:

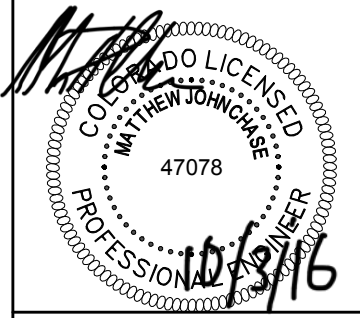
SITE NAME:  
2729 FTC WLMRT  
SC3  
SITE ADDRESS:  
1250 E. MAGNOLIA ST.  
FORT COLLINS, CO 80524

JURISDICTION:  
CITY OF FORT COLLINS  
LARIMER COUNTY



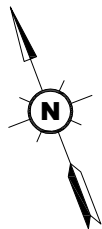
Know what's below.  
Call before you dig.

PROTECT YOURSELF, ONE THREE WORKING DAYS NOTICE  
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPLICABLE.

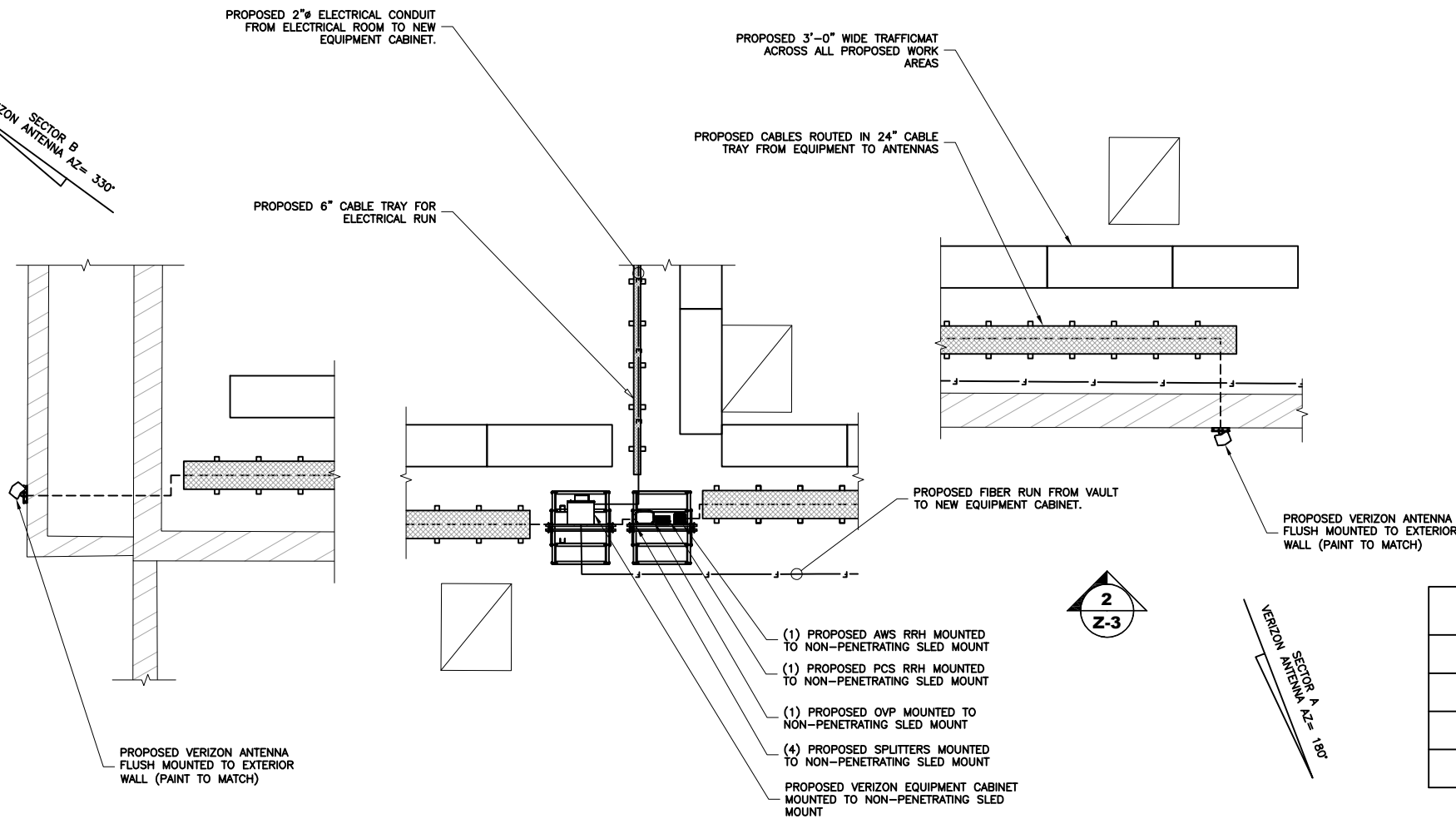


MATTHEW CHASE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE #47078 (EXP. 10/31/2016)

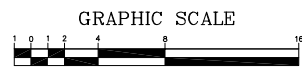




VERIZON ANTENNA  
SECTOR B  
AZ= 330°



**1**  
**Z-2**  
**EQUIPMENT PLAN**  
SCALE: 3/16"=1'-0"



(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)  
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. THIS PLAN WAS PREPARED USING AN APPROVED SURVEY PLAN ENTITLED "BOUNDARY DETAIL" BY RLF CONSULTING, DATED 06/28/16.
8. THE PROPOSED FACILITY WILL CAUSE ONLY A "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
9. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
10. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (THERE IS NO HANDICAP ACCESS REQUIRED).
11. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
12. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
13. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
14. MOUNTS AND ANTENNAS ARE DESIGNED TO MEET EIA/TIA-222-G AS PER IBC 2012 REQUIREMENTS.
15. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
16. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
17. IF ANY PIPING EXISTS BENEATH THE SITE AREA, CONTRACTOR MUST LOCATE IT AND CONTACT OWNERS REPRESENTATIVE.
18. CONSTRUCTION TO COMMENCE UPON COMPLETION OF A PASSING STRUCTURAL ANALYSIS. STRUCTURAL ANALYSIS TO BE PERFORMED BY OTHERS.

**CABLE TABLE**

SECTOR	AZIMUTH	LENGTH	NO.	SIZE	TYPE
A	180°	±400'	4	7/8"	COAX
B	330°	±280'	4	7/8"	COAX
CABINET	N/A	±10'	1	1-5/8"	LOW INDUCTANCE HYBRIFLEX

**NOTES:**

1. LENGTHS ARE ESTIMATES; CONTRACTOR AND/OR CONSTRUCTION MANAGER SHALL FIELD VERIFY ALL LENGTHS PRIOR TO ORDERING.
2. ALL AZIMUTHS SHOWN ARE RELATIVE TO TRUE NORTH, UNLESS NOTED OTHERWISE.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AZIMUTHS DEPICTED HEREIN WITH THE RF DEPARTMENT PRIOR TO INSTALLING ANY ANTENNAS.



3131 SOUTH VAUGHN WAY #500  
AURORA, COLORADO 80014  
(303) 873-2652



5555 CENTRAL AVENUE #100  
BOULDER, COLORADO 80301  
PH: (720) 304-6882  
FAX: (720) 304-6883

AERO PROJECT #: 097-16-0024

**REVISION SCHEDULE**

REV	DATE	BY	DESCRIPTION
O	10-03-16	RPH	FINAL
C	08-24-16	RPH	REVISED
B	08-11-16	MRG	REVISED
A	07-13-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:

**EQUIPMENT PLAN**

DRAWING SHEET:

**Z-2**

SHEET NUMBER:

**6 OF 8**

SITE INFORMATION:

SITE NAME:  
2729 FTC WLMRT  
SC3

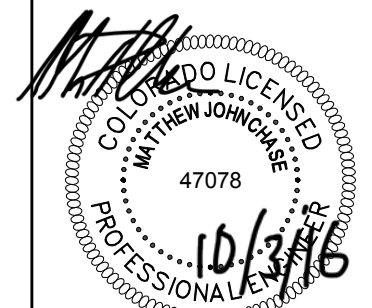
SITE ADDRESS:  
1250 E. MAGNOLIA ST.  
FORT COLLINS, CO 80524

JURISDICTION:  
CITY OF FORT COLLINS  
LARIMER COUNTY



**Know what's below.  
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MATTHEW CHASE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE #47078 (EXP. 10/31/2016)



REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION
0	10-03-16	RPH	FINAL
C	08-24-16	RPH	REVISED
B	08-11-16	MRG	REVISED
A	07-13-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:

**ELEVATION**

DRAWING SHEET:

**Z-3**

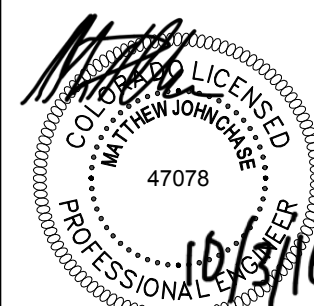
SHEET NUMBER:

**7 OF 8**

SITE INFORMATION:

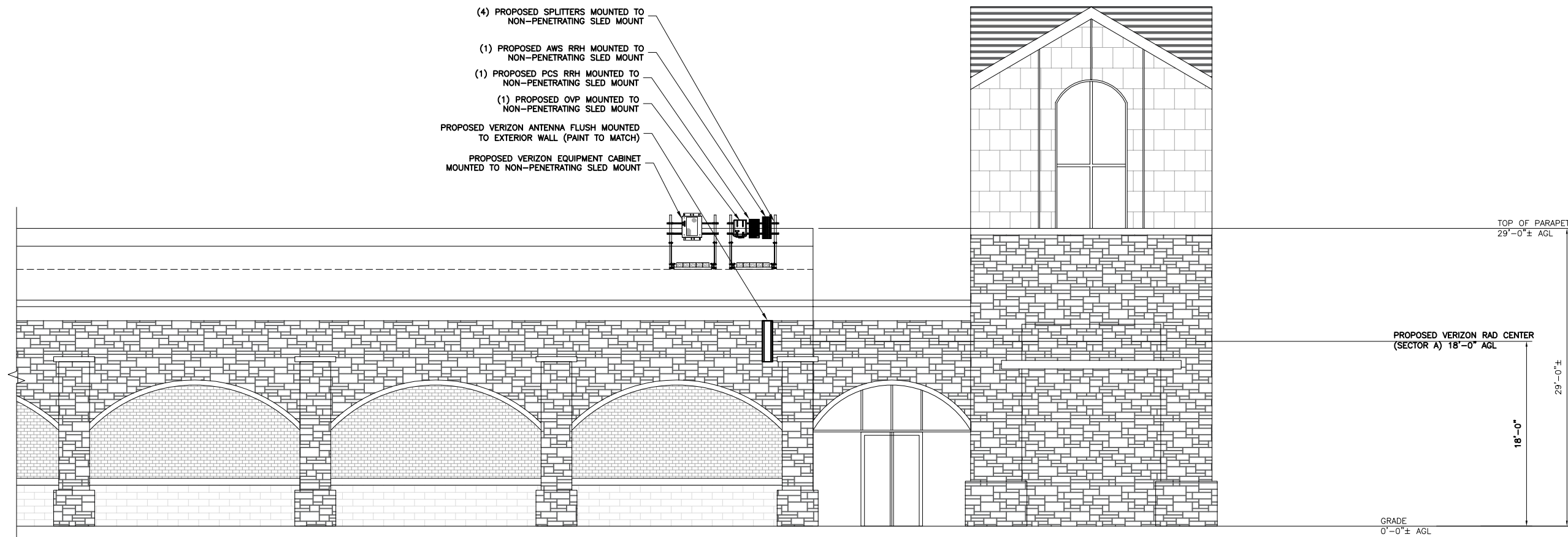
SITE NAME:  
2729 FTC WLMRT  
SC3  
SITE ADDRESS:  
1250 E. MAGNOLIA ST.  
FORT COLLINS, CO 80524

JURISDICTION:  
CITY OF FORT COLLINS  
LARIMER COUNTY



MATTHEW CHASE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE #47078 (EXP. 10/31/2016)

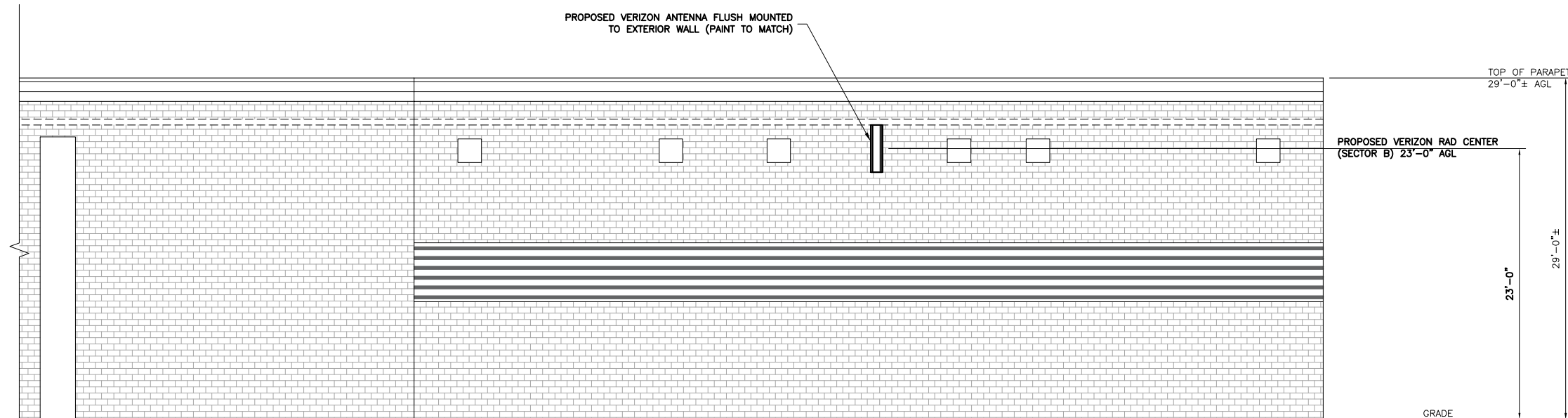
- (4) PROPOSED SPLITTERS MOUNTED TO NON-PENETRATING SLED MOUNT
- (1) PROPOSED AWS RRH MOUNTED TO NON-PENETRATING SLED MOUNT
- (1) PROPOSED PCS RRH MOUNTED TO NON-PENETRATING SLED MOUNT
- (1) PROPOSED OVP MOUNTED TO NON-PENETRATING SLED MOUNT
- PROPOSED VERIZON ANTENNA FLUSH MOUNTED TO EXTERIOR WALL (PAINT TO MATCH)
- PROPOSED VERIZON EQUIPMENT CABINET MOUNTED TO NON-PENETRATING SLED MOUNT



**1 WEST ELEVATION**  
SCALE: 3/16"=1'-0"



( IN FEET )  
3/16 inch = 1 ft.  
(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)  
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)



**2 SOUTH ELEVATION**  
SCALE: 3/16"=1'-0"



( IN FEET )  
3/16 inch = 1 ft.  
(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)  
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)



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REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION
O	10-03-16	RPH	FINAL
C	08-24-16	RPH	REVISED
B	08-11-16	MRG	REVISED
A	07-13-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:

**CONSTRUCTION  
DETAILS**

DRAWING SHEET:

**Z-4**

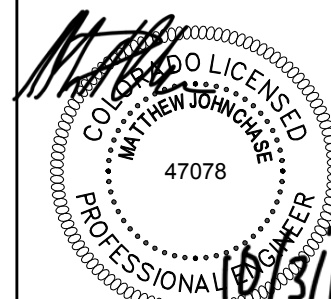
SHEET NUMBER:

**8 OF 8**

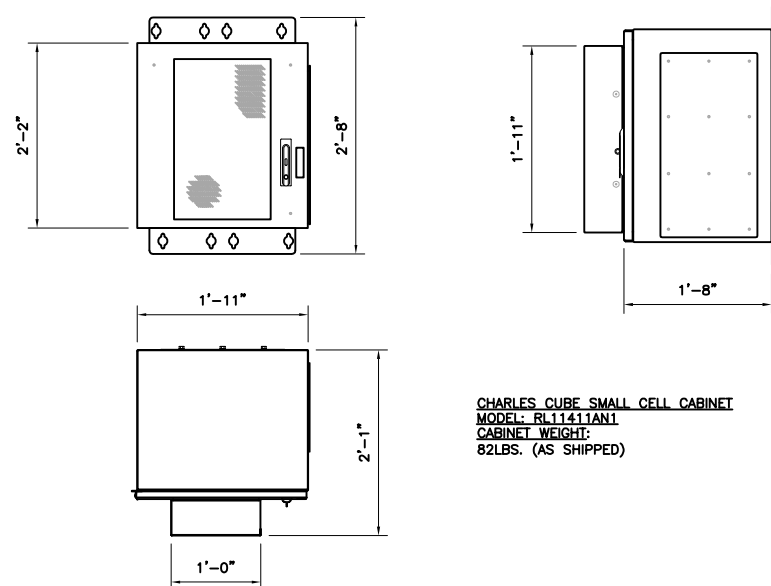
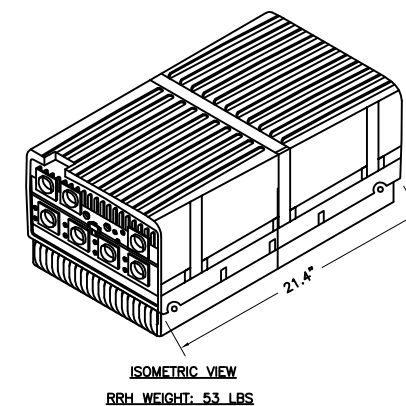
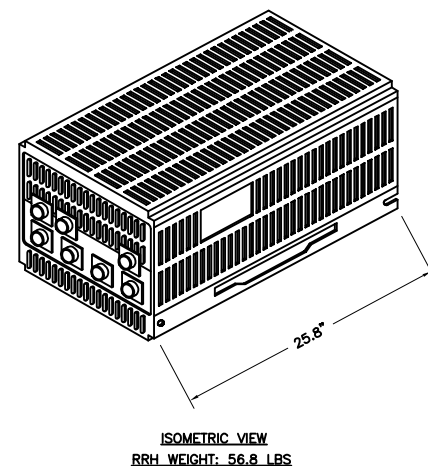
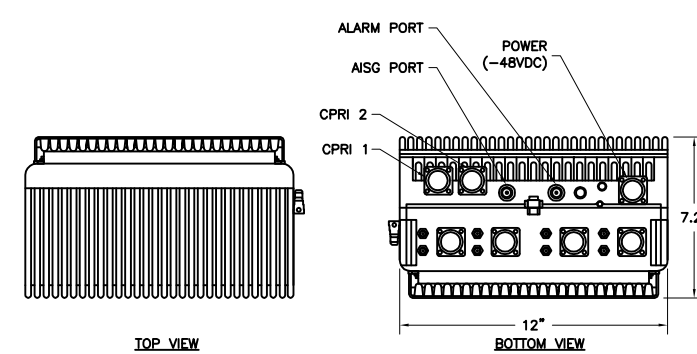
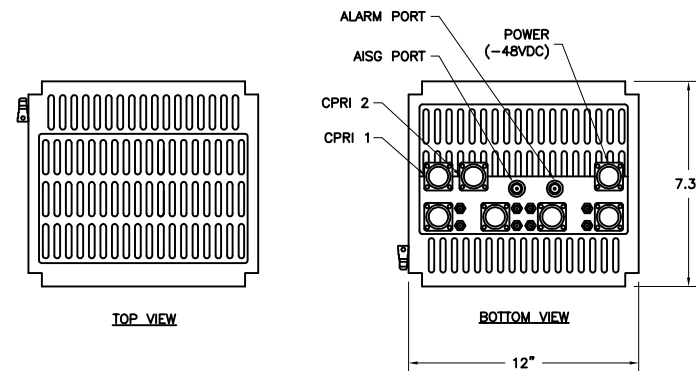
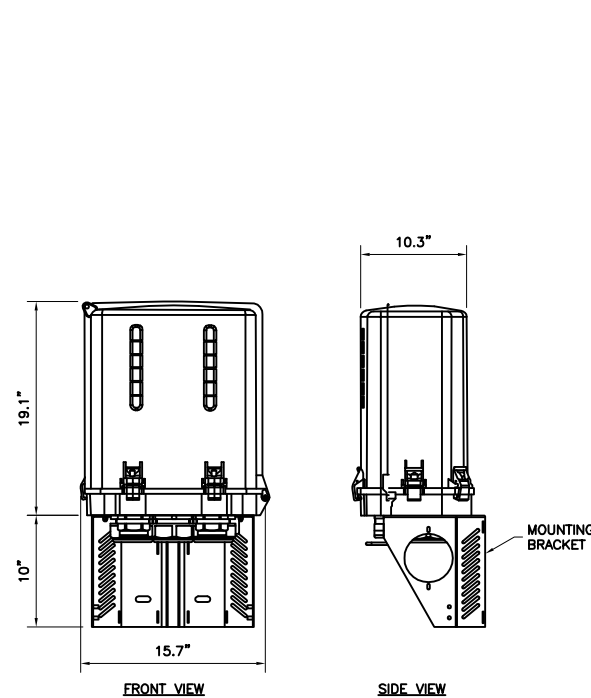
SITE INFORMATION:

SITE NAME:  
2729 FTC WLMRT  
SC3  
SITE ADDRESS:  
1250 E. MAGNOLIA ST.  
FORT COLLINS, CO 80524

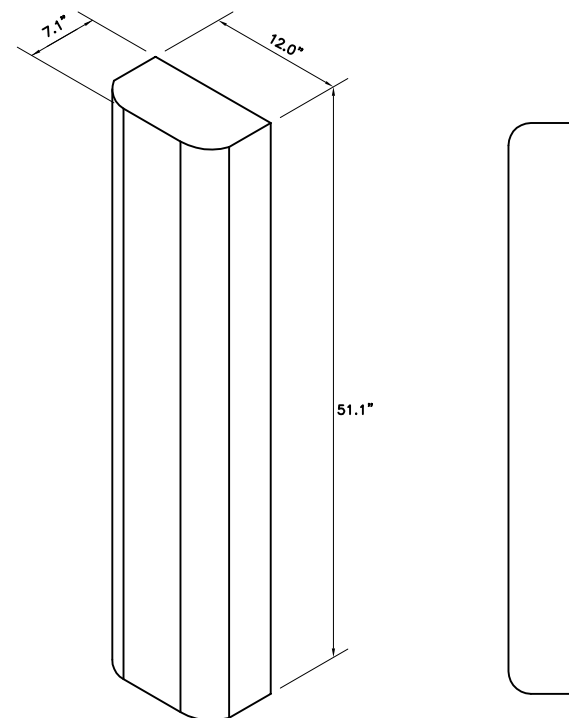
JURISDICTION:  
CITY OF FORT COLLINS  
LARIMER COUNTY



MATTHEW CHASE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE #47078 (EXP. 10/31/2016)



CHARLES CUBE SMALL CELL CABINET  
MODEL: RL11411AN1  
CABINET WEIGHT:  
82LBS. (AS SHIPPED)



ANTENNA MODEL = AMPHENOL HEX654CW0000x  
ANTENNA WEIGHT = 29.8LBS.



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COMPONENTS FOR CONSTRUCTION SAFETY. ALL  
CONSTRUCTION MUST BE DONE IN COMPLIANCE  
WITH THE OCCUPATIONAL SAFETY AND HEALTH  
ACT OF 1970 AND ALL RULES AND REGULATIONS  
THERE TO APPURTENANT.





**verizon**<sup>v</sup>

 **AeroSolutions LLC**  
Optimizing Your Tower Infrastructure

www.aerosolutionsllc.com  
5555 CENTRAL AVE, SUITE 100  
BOULDER CO. 80301  
PH: 720.304.6882  
FAX: 720.304.6883

DESCRIPTION

2729 WLMRT SC3 FTC (1) BEFORE





**verizon**<sup>v</sup>

**AeroSolutions LLC**  
Optimizing Your Tower Infrastructure

www.aerosolutionsllc.com  
5555 CENTRAL AVE, SUITE 100  
BOULDER CO. 80301  
PH: 720.304.6882  
FAX: 720.304.6883

DESCRIPTION

2729 WLMRT SC3 FTC (1) AFTER





**verizon**<sup>v</sup>

 **AeroSolutions LLC**  
*Optimizing Your Tower Infrastructure*

www.aerosolutionsllc.com  
5555 CENTRAL AVE, SUITE 100  
BOULDER CO. 80301  
PH: 720.304.6882  
FAX: 720.304.6883

DESCRIPTION

2729 WLMRT SC3 FTC (2) BEFORE





**verizon**<sup>v</sup>

 **AeroSolutions LLC**  
Optimizing Your Tower Infrastructure

www.aerosolutionsllc.com  
5555 CENTRAL AVE, SUITE 100  
BOULDER CO. 80301  
PH: 720.304.6882  
FAX: 720.304.6883

DESCRIPTION

2729 WLMRT SC3 FTC (2) AFTER





# 3177 FTC WLMRT SC4 VERZION PROJECT # 20161384448 SMALL CELL 4625 S. MASON ST. FORT COLLINS, COLORADO 80525 ZONING DRAWINGS

**verizon**  
3131 SOUTH VAUGHN WAY #500  
AURORA, COLORADO 80014  
(303) 873-2652

**AeroSolutions LLC**  
Optimizing Your Tower Infrastructure  
5555 CENTRAL AVENUE #100  
BOULDER, COLORADO 80301  
PH: (720) 304-6882  
FAX: (720) 304-6883

AERO PROJECT #: 097-16-0025

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTION
O	10-03-16	RPH	FINAL
C	08-24-16	MRG	REVISED
B	08-12-16	MRG	REVISED
A	07-19-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:  
**TITLE SHEET**

DRAWING SHEET:  
**T-1**

SHEET NUMBER:  
**1 OF 7**

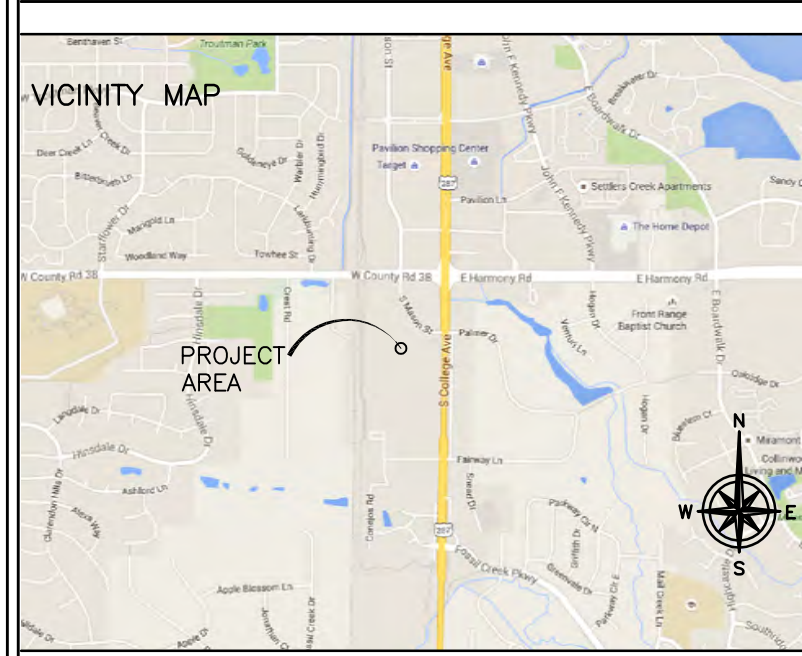
SITE INFORMATION:  
SITE NAME:  
3177 FTC WLMRT  
SC4  
SITE ADDRESS:  
4625 S. MASON ST.  
FORT COLLINS, CO 80525

JURISDICTION:  
CITY OF FORT COLLINS  
LARIMER COUNTY



MATTHEW CHASE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE #47078 (EXP. 10/31/2016)

**SITE DIRECTIONS**  
DEPART 3131 S VAUGHN WAY, AURORA, CO 80014:  
HEAD WEST ON E BETHANY PL TOWARD E CORNELL AVE. TURN RIGHT ONTO E CORNELL AVE. E CORNELL AVE TURNS RIGHT AND BECOMES S URSULA ST. TURN RIGHT ONTO E YALE AVE. TURN LEFT ONTO S VAUGHN WAY. TURN RIGHT ONTO E ILLIFF AVE. USE THE RIGHT LANE TO TAKE THE INTERSTATE 225 N RAMP. MERGE ONTO I-225 N. USE THE LEFT 3 LANES TO TAKE EXIT 12A TO MERGE ONTO I-70 W TOWARD DENVER. KEEP RIGHT AT THE FORK TO CONTINUE ON I-270 W, FOLLOW SIGNS FOR FORT COLLINS/BOULDER. TAKE EXIT 0 TO MERGE ONTO I-25 N TOWARD FT COLLINS. TAKE EXIT 262 FOR CO-392 TOWARD WINDSOR. USE THE LEFT 2 LANES TO TURN LEFT ONTO CO-392/EAST COUNTY ROAD 32 (SIGNS FOR AIRPORT/F). TURN RIGHT ONTO US-287 N/S COLLEGE AVE. TURN LEFT ONTO S MASON ST. THE BUILDING WILL BE ON THE LEFT.



SCALE: 1"=1000'  
FORT COLLINS, COLORADO

**CLIENT**  
VERIZON WIRELESS REAL ESTATE  
3131 S. VAUGHN WAY #550  
AURORA, CO 80014  
CONTACT: STACEY BELL-BROWER  
PHONE: 303-901-3092

**PROPERTY OWNER**  
WAL MART REAL ESTATE BUSINESS TRUST  
PO BOX 8050  
BENTONVILLE, AR 72712

**CONSTRUCTION MANAGER**  
VERIZON WIRELESS  
3131 S. VAUGHN WAY #550  
AURORA, CO 80014  
CONTACT: JASON SHELEDY  
PHONE: 303-873-2652

**RF ENGINEER**  
VERIZON WIRELESS  
3131 S. VAUGHN WAY #550  
AURORA, CO 80014  
CONTACT: RAM NANDIRAJU  
EMAIL: Ram.Nandiraju@verizonwireless.com

**SITE ACQUISITION**  
SURE SITE  
8534 NORTHFIELD BLVD., #3700  
DENVER, CO 80238  
CONTACT: RAYMOND TAYLOR  
PHONE: 303-355-8236

**ENGINEER**  
AERO SOLUTIONS, LLC  
5555 CENTRAL AVE #100  
BOULDER, CO 80301  
CONTACT: STEVE MUSTARO  
PHONE: 720-381-2858

**PROJECT DATA**

JURISDICTION: CITY OF FORT COLLINS  
LARIMER COUNTY

ZONING: C - COMMERCIAL

APN: 9602107002

PARCEL SIZE: 330,464 S.F.

ELEVATION: 5,032' (NAVD 88)

SITE COORDINATES: N 40° 31' 16.71" (NAD 83)  
W 105° 04' 46.70" (NAD 83)

STRUCTURE TYPE: BUILDING

STRUCTURE HEIGHT: 29'-0"± (TOP OF PARAPET)

ANTENNA RAD CENTER: 33'-0" AGL

APPLICANT: VERIZON WIRELESS

APPLICANT CONTACT: STACEY BELL-BROWER  
3131 SOUTH VAUGHN WAY #550  
AURORA, COLORADO 80014  
PH: (303-901-3092)

ENGINEERING: AERO SOLUTIONS, LLC

ENGINEERING CONTACT: STEVE MUSTARO  
5555 CENTRAL AVENUE #100  
BOULDER, COLORADO 80301  
PH: (720) 304-6882

**CODE ANALYSIS**

BUILDING CODE: IBC 2012

ELECTRICAL CODE: NEC 2014

FIRE SAFETY CODE: NFPA-1 (2006)

USE GROUP: U - UTILITY

CONSTRUCTION TYPE: IIB

**SHEET INDEX**

T-1	TITLE SHEET
LS-1	BOUNDARY DETAIL
LS-2	SURVEY DETAIL
Z-1	SITE PLAN
Z-2	EQUIPMENT PLAN & ANTENNA LAYOUT
Z-3	ELEVATION
Z-4	CONSTRUCTION DETAILS

**PROJECT DESCRIPTION**

1. INSTALL NEW EQUIPMENT CABINET ON NON-PENETRATING SLED MOUNT.
2. INSTALL (2) NEW ANTENNAS ON EXTERIOR WALL.
3. INSTALL (2) NEW REMOTE RADIO HEADS ON NON-PENETRATING SLED MOUNT.
4. INSTALL (4) NEW SPLITTERS ON NON-PENETRATING SLED MOUNT.
5. INSTALL (1) NEW OVP SURGE SUPPRESSION BOX ON NON-PENETRATING SLED MOUNT.
6. INSTALL NEW FIBER VAULT FOR PROPOSED FIBER RUN.
7. RUN NEW FIBER AND POWER TO PROPOSED EQUIPMENT.
8. INSTALL NEW 1-5/8" LOW INDUCTANCE HYBRIFLEX CABLE TO PROPOSED OVP.
9. INSTALL NEW COAX CABLES.

**APPROVALS**

VERIZON (RF): \_\_\_\_\_ DATE: \_\_\_\_\_

VERIZON (CONST.): \_\_\_\_\_ DATE: \_\_\_\_\_

VERIZON (RE): \_\_\_\_\_ DATE: \_\_\_\_\_

LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_



**SURVEYOR NOTES**

1. A TITLE REPORT WAS NOT PROVIDED AT THE TIME OF THE SURVEY.
2. SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
3. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
4. SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

**PROJECT META DATA**

1. ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID 09 SEPARATIONS CONSTRAINING TO NGS CORS STATIONS PROVIDED IN THE "ONLINE POSITIONING USER SERVICE" (OPUS) SOLUTION FOR THIS SPECIFIC SITE.
2. BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM COLORADO STATE PLANE COORDINATE ZONE NORTH, DETERMINED BY GPS OBSERVATIONS.
3. FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 06/15/16.

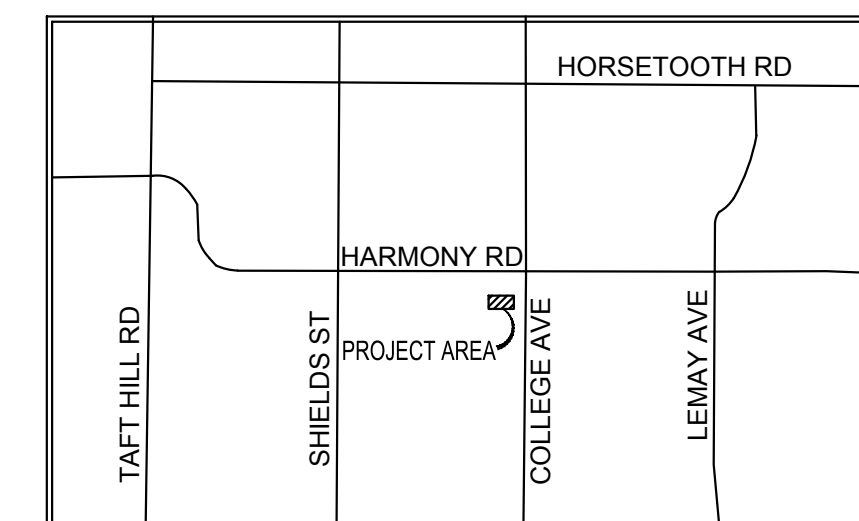
**LESSOR'S LEGAL DESCRIPTION**

LOT 2, ARBOR PLAZA P.U.D., A PLANNED UNIT DEVELOPMENT IN THE CITY OF FORT COLLINS, ACCORDING TO THE PLAT RECORDED MARCH 13, 1986 AT RECEPTION NO. 86012691, COUNTY OF LARIMER, STATE OF COLORADO.

**FLOOD ZONE DESIGNATION**

THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 08069C1000F DATED 12/19/06.

FLOOD ZONE "X" IS DEFINED AS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN; DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.

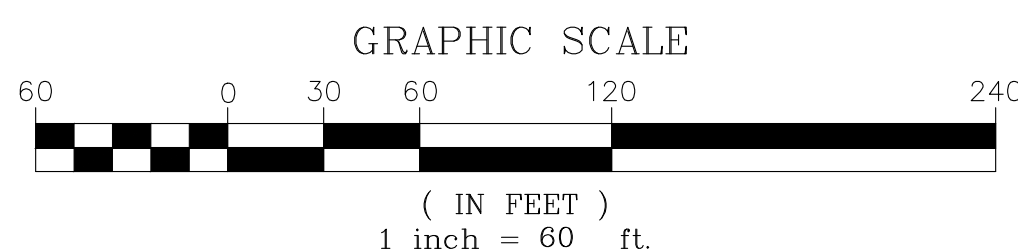
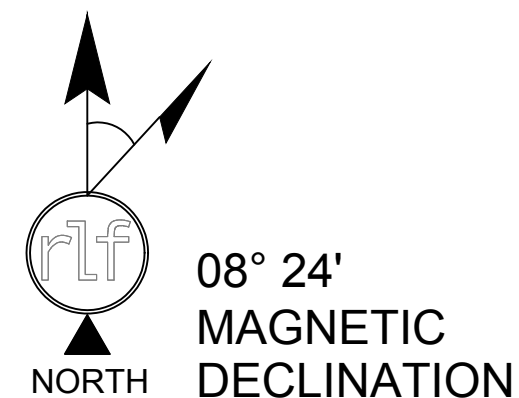
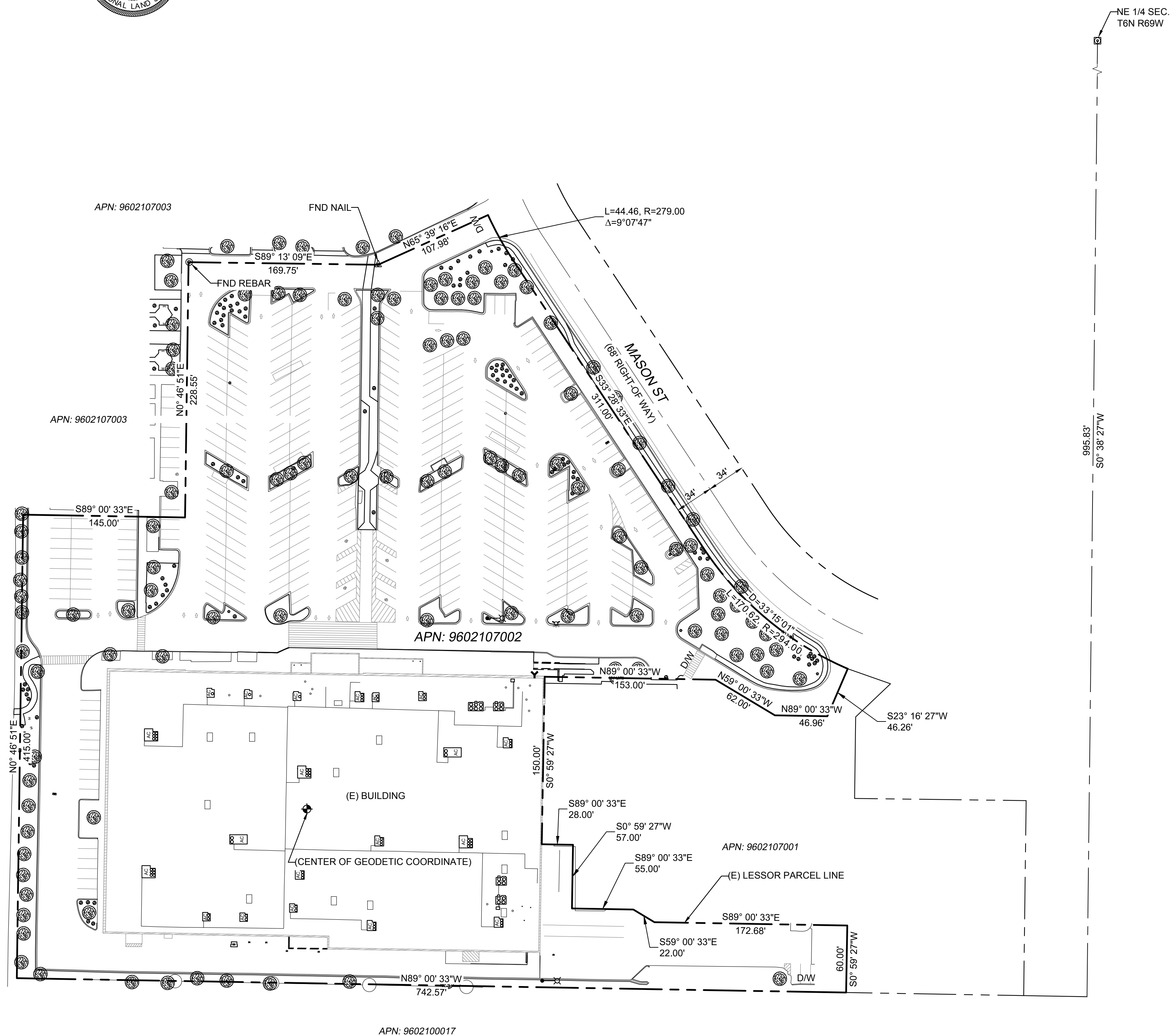


**POSITION OF GEODETIC COORDINATES**  
 LATITUDE 40° 31' 16.71" NORTH (NAD83)  
 LONGITUDE 105° 04' 46.70" WEST (NAD83)  
 ELEVATION @ GROUND= 5032' (NAVD88)



**LEGEND**

- ALUMINUM CAP IN HANDHOLE
- BRASS CAP FLUSH
- COTTON PICKER SPINDLE
- BLDG TOP OF BUILDING
- CLF CHAIN LINK FENCE
- CMU CONCRETE MASONRY UNIT
- CS CONCRETE
- DW ACCESS DRIVEWAY
- NG NATURAL GRADE
- PV ASPHALT
- AC AIR CONDITIONING UNIT
- EB ELECTRICAL PULL BOX
- ECB ELECTRIC CABINET
- EV ELECTRIC VAULT
- FCB FIBER CABINET
- FV FIBER VAULT
- PP POWER POLE
- LP LIGHT POST
- V VENT
- RD ROOF DRAIN
- SD SATellite DISH
- GV GAS VALVE
- FDC FIRE DEPT. CONNECTION
- FH FIRE HYDRANT
- WV WATER VALVE
- WM WATER METER
- SM STORM MANHOLE
- CB CATCH BASIN
- DT DECIDUOUS TREE
- B BUSH
- S SIGN
- DS DOUBLE SIGN
- BOLLARD
- HANDICAP
- BREAKLINE
- POSITION OF GEODETIC COORDINATES
- PROPERTY LINE
- PROPERTY LINE (OTHER)
- RIGHT-OF-WAY LINE
- MONUMENT LINE
- CENTERLINE
- CHAIN LINK FENCE
- WOOD OR IRON FENCE
- WIRE OR BARBED WIRE FENCE
- OHE OVERHEAD ELECTRIC LINE
- UGE U/G ELECTRIC LINE
- T U/G TELECOMMUNICATION LINE
- TV UNDERGROUND TV LINE
- FO U/G FIBER OPTIC LINE
- GAS U/G GAS LINE
- SS SANITARY SEWER LINE
- SD STORM SEWER LINE
- W WATER LINE



AERO PROJECT #: 09-16-0025

**REVISION SCHEDULE**

REV	DATE	BY	DESCRIPTION
1	06-27-16	ERG	PRELIMINARY

DRAWING TITLE:

**BOUNDARY DETAIL**

DRAWING SHEET:

LS-1

SHEET NUMBER:

2 OF 7

SITE INFORMATION:

SITE NAME:  
DEN FTC WLMRT SC 4

SITE ADDRESS:  
4625 S MASON ST  
FORT COLLINS, CO 80525

JURISDICTION:  
CITY OF FORT COLLINS



RLF PROJECT #: 16002023

RYAN L. FIDLER, P.L.S.  
COLORADO PROFESSIONAL SURVEYOR  
LICENSE #38207 (EXP. 10/31/2017)



**SURVEYOR NOTES**

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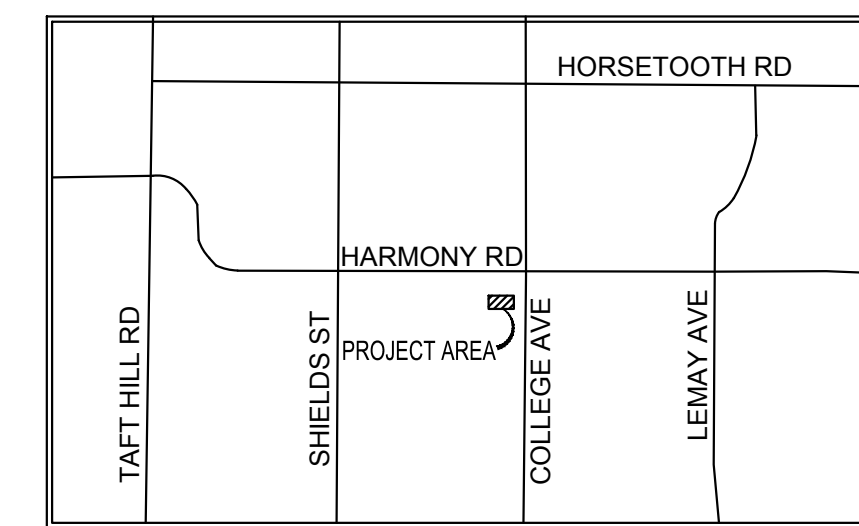
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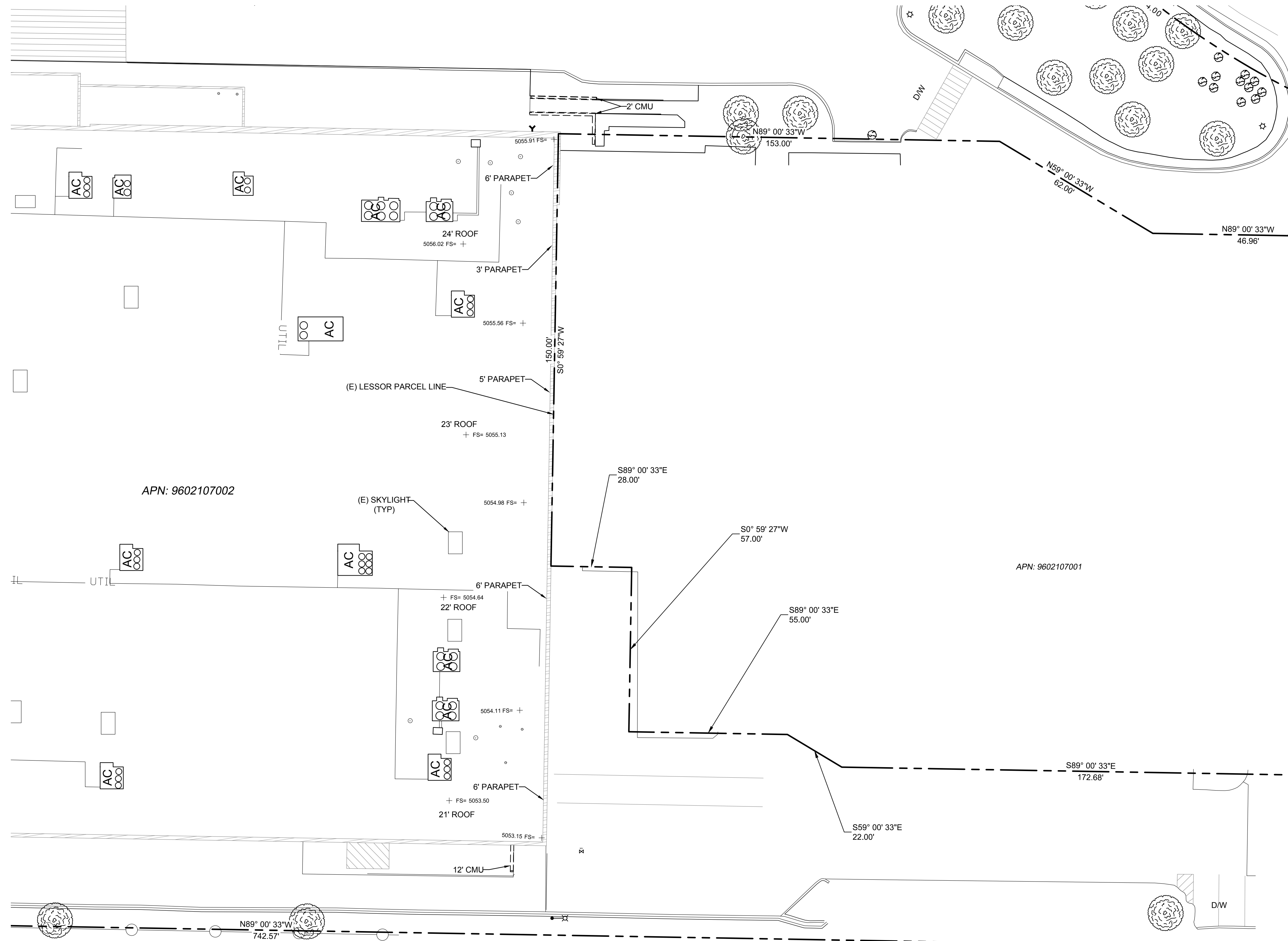


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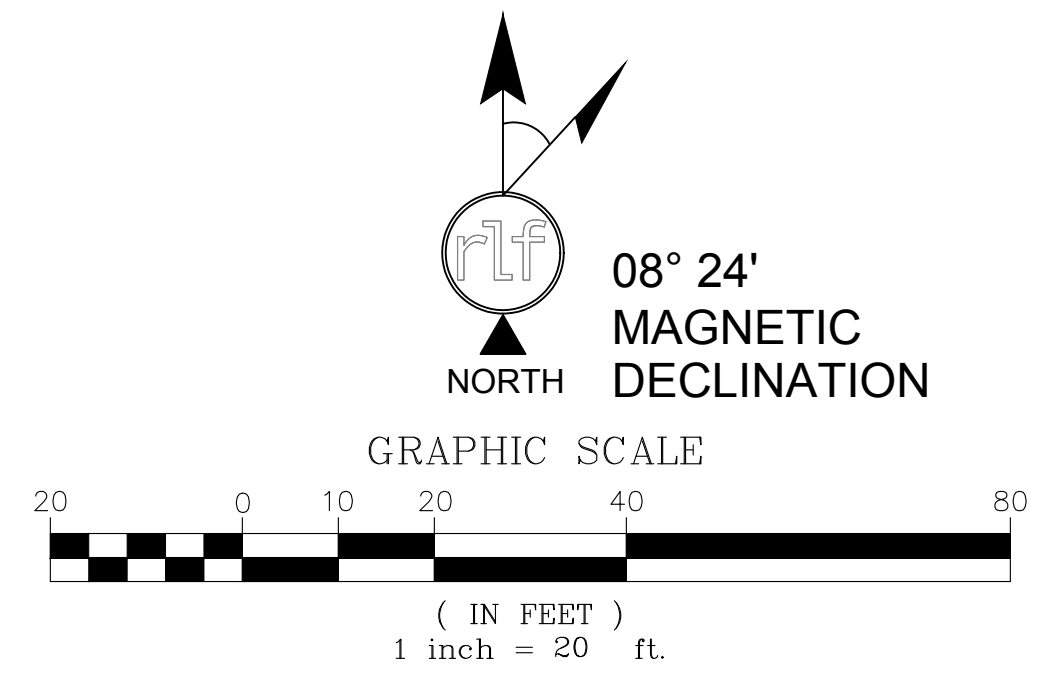
**LEGEND**

- ⊗ ALUMINUM CAP IN HANDHOLE
- ⊙ BRASS CAP FLUSH
- ⊙ COTTON PICKER SPINDLE
- ⊙ TOP OF BUILDING
- BLDG CHAIN LINK FENCE
- CLF CONCRETE MASONRY UNIT
- CMU CONCRETE
- CS CONCRETE
- D/W ACCESS DRIVEWAY
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- ⊙ ROOF DRAIN
- ⊙ SATELLITE DISH
- ⊙ GAS VALVE
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APN: 9602107002

APN: 9602107001



AERO PROJECT #: 097-16-0025

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTION
1	06-27-16	ERG	PRELIMINARY

DRAWING TITLE:  
**SURVEY DETAIL**

DRAWING SHEET:  
**LS-2**

SHEET NUMBER:  
**3 OF 7**

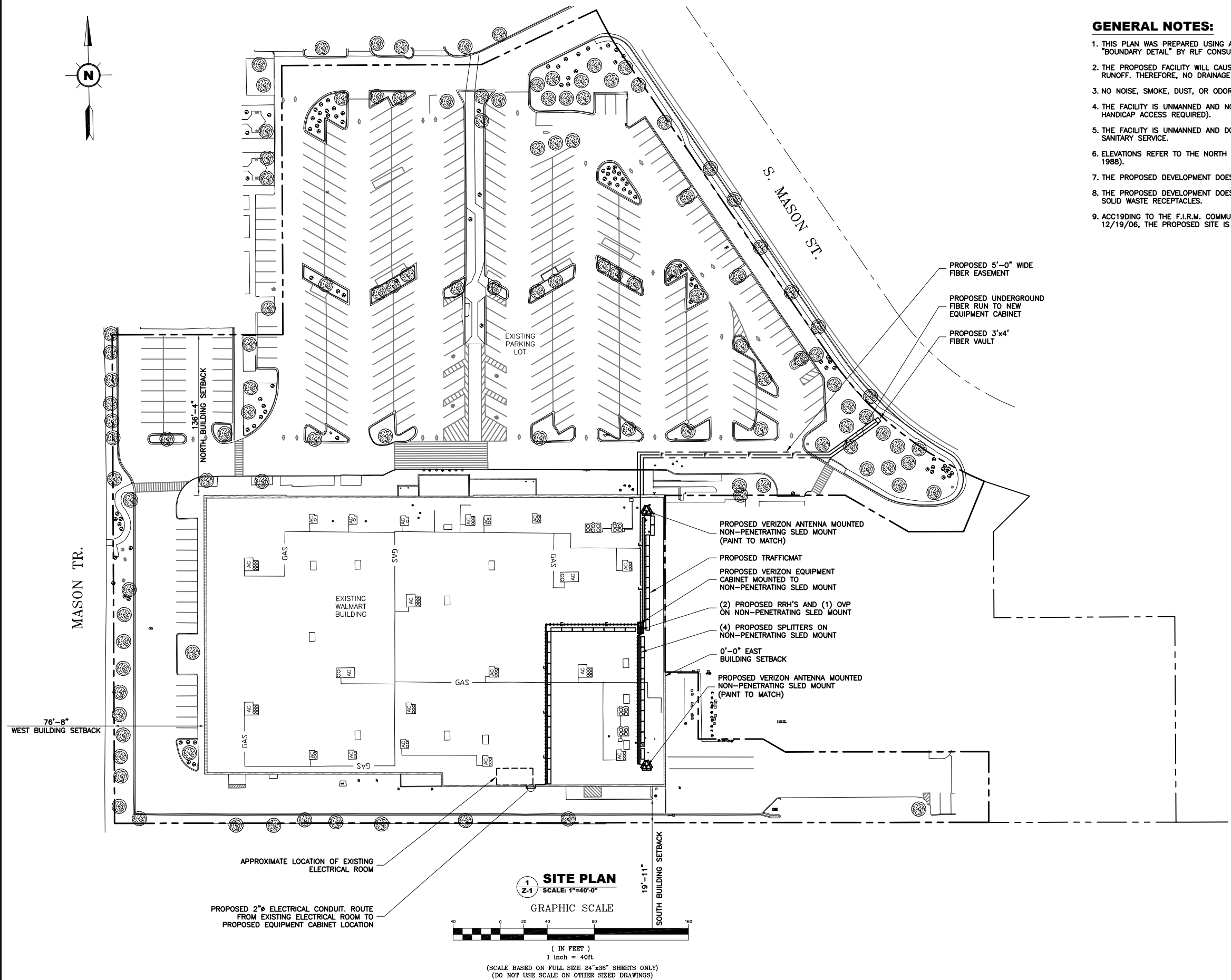
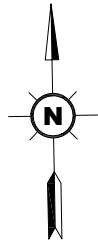
SITE INFORMATION:  
 SITE NAME:  
**DEN FTC WLMRT SC 4**  
 SITE ADDRESS:  
 4625 S MASON ST  
 FORT COLLINS, CO 80525  
 JURISDICTION:  
 CITY OF FORT COLLINS



RLF PROJECT #: 16002023

RYAN L. FIDLER, P.L.S.  
 COLORADO PROFESSIONAL SURVEYOR  
 LICENSE #38207 (EXP. 10/31/2017)





**GENERAL NOTES:**

1. THIS PLAN WAS PREPARED USING AN APPROVED SURVEY PLAN ENTITLED "BOUNDARY DETAIL" BY RLF CONSULTING, DATED 06/27/16.
2. THE PROPOSED FACILITY WILL CAUSE "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
3. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
4. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. (THERE IS NO HANDICAP ACCESS REQUIRED).
5. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
6. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
7. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE STREET SIGNS OF ANY TYPE.
8. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES.
9. ACCORDING TO THE F.I.R.M. COMMUNITY PANEL #08069C1000F, DATED 12/19/06, THE PROPOSED SITE IS NOT IN A FLOOD PLAIN.

**verizon**  
 3131 SOUTH VAUGHN WAY #500  
 AURORA, COLORADO 80014  
 (303) 873-2652

**AeroSolutions LLC**  
*Optimizing Your Tower Infrastructure*  
 5555 CENTRAL AVENUE #100  
 BOULDER, COLORADO 80301  
 PH: (720) 304-6882  
 FAX: (720) 304-6883

AERO PROJECT #: 097-16-0025

REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION
O	10-03-16	RPH	FINAL
C	08-24-16	MRG	REVISED
B	08-12-16	MRG	REVISED
A	07-19-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:

**SITE PLAN**

DRAWING SHEET:

**Z-1**

SHEET NUMBER:

**4 OF 7**

SITE INFORMATION:

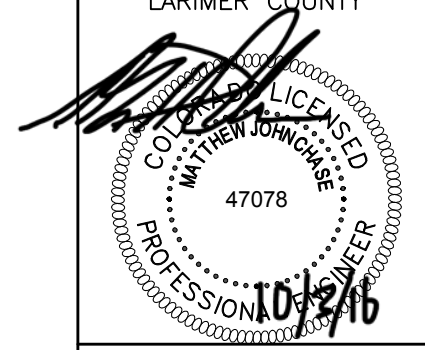
SITE NAME:  
 3177 FTC WLMRT  
 SC4  
 SITE ADDRESS:  
 4625 S. MASON ST.  
 FORT COLLINS, CO 80525

JURISDICTION:  
 CITY OF FORT COLLINS  
 LARIMER COUNTY



**Know what's below.  
 Call before you dig.**

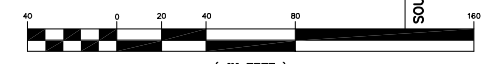
PROTECT YOURSELF, ONE THREE WORKING DAYS NOTICE  
 THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPLICABLE.



MATTHEW CHASE, P.E.  
 COLORADO PROFESSIONAL ENGINEER  
 LICENSE #47078 (EXP. 10/31/2016)

**1 SITE PLAN**  
 Z-1 SCALE: 1"=40'-0"

GRAPHIC SCALE



( IN FEET )  
 1 inch = 40ft.

(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)  
 (DO NOT USE SCALE ON OTHER SIZED DRAWINGS)

APPROXIMATE LOCATION OF EXISTING ELECTRICAL ROOM

PROPOSED 2" ELECTRICAL CONDUIT. ROUTE FROM EXISTING ELECTRICAL ROOM TO PROPOSED EQUIPMENT CABINET LOCATION

19'-11"  
 SOUTH BUILDING SETBACK

76'-8"  
 WEST BUILDING SETBACK

136'-4"  
 NORTH BUILDING SETBACK

PROPOSED 5'-0" WIDE FIBER EASEMENT

PROPOSED UNDERGROUND FIBER RUN TO NEW EQUIPMENT CABINET

PROPOSED 3'x4' FIBER VAULT

PROPOSED VERIZON ANTENNA MOUNTED NON-PENETRATING SLED MOUNT (PAINT TO MATCH)

PROPOSED TRAFFICMAT

PROPOSED VERIZON EQUIPMENT CABINET MOUNTED TO NON-PENETRATING SLED MOUNT

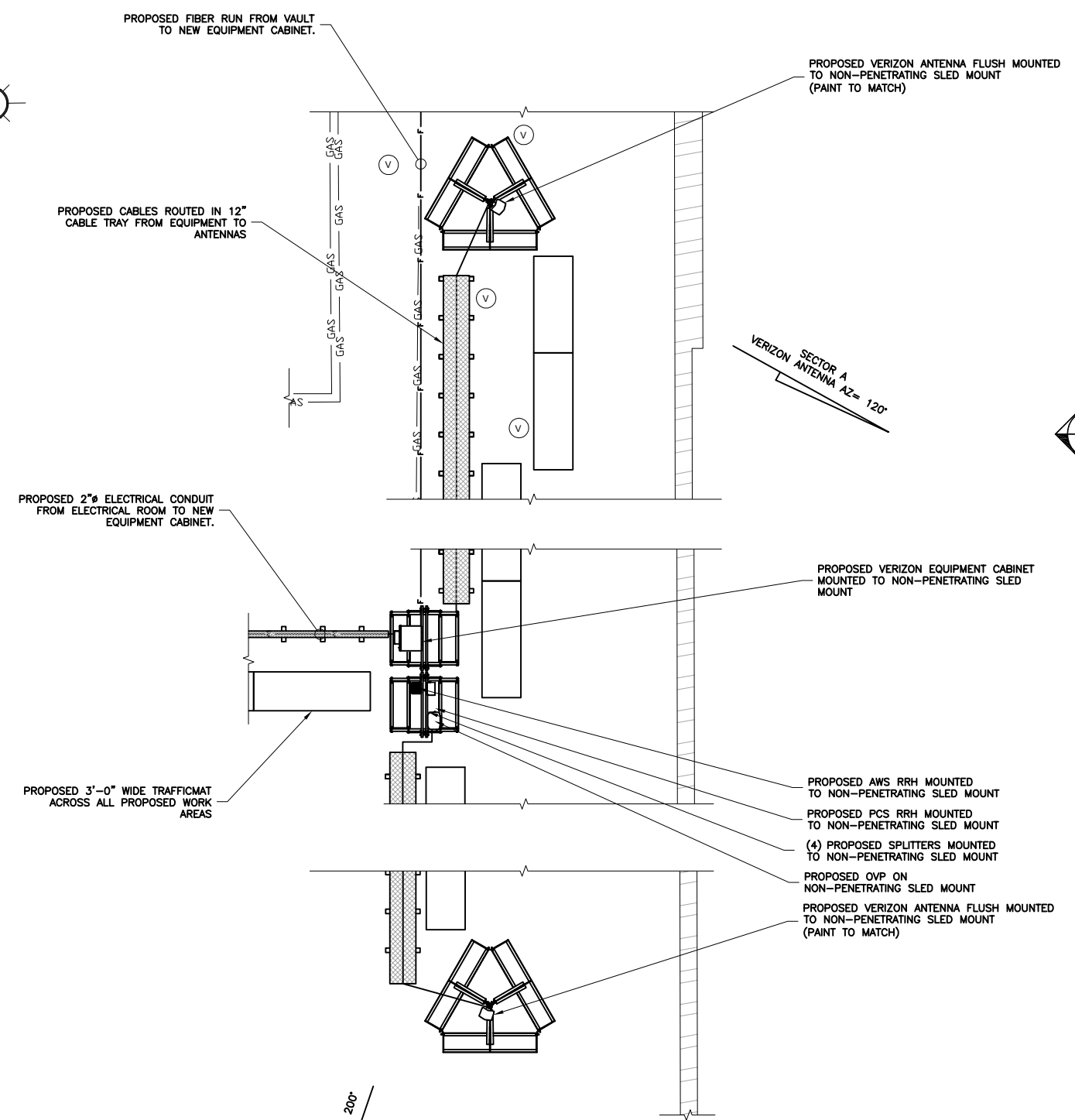
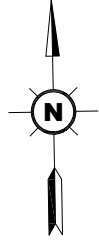
(2) PROPOSED RRH'S AND (1) OVP ON NON-PENETRATING SLED MOUNT

(4) PROPOSED SPLITTERS ON NON-PENETRATING SLED MOUNT

0'-0" EAST BUILDING SETBACK

PROPOSED VERIZON ANTENNA MOUNTED NON-PENETRATING SLED MOUNT (PAINT TO MATCH)





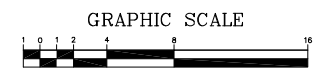
**GENERAL NOTES:**

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. THIS PLAN WAS PREPARED USING AN APPROVED SURVEY PLAN ENTITLED "BOUNDARY DETAIL" BY RLF CONSULTING, DATED 06/27/16.
8. THE PROPOSED FACILITY WILL CAUSE ONLY A "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
9. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
10. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (THERE IS NO HANDICAP ACCESS REQUIRED).
11. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
12. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
13. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
14. MOUNTS AND ANTENNAS ARE DESIGNED TO MEET EIA/TIA-222-G AS PER IBC 2012 REQUIREMENTS.
15. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
16. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
17. IF ANY PIPING EXISTS BENEATH THE SITE AREA, CONTRACTOR MUST LOCATE IT AND CONTACT OWNERS REPRESENTATIVE.
18. CONSTRUCTION TO COMMENCE UPON COMPLETION OF A PASSING STRUCTURAL ANALYSIS. STRUCTURAL ANALYSIS TO BE PERFORMED BY OTHERS.

CABLE TABLE					
SECTOR	AZIMUTH	LENGTH	NO.	SIZE	TYPE
A	120°	±110'	4	7/8"	COAX
B	200°	±140'	4	7/8"	COAX
CABINET	N/A	±10'	1	1-5/8"	LOW INDUCTANCE HYBRIFLEX

- NOTES:**
1. LENGTHS ARE ESTIMATES; CONTRACTOR AND/OR CONSTRUCTION MANAGER SHALL FIELD VERIFY ALL LENGTHS PRIOR TO ORDERING.
  2. ALL AZIMUTHS SHOWN ARE RELATIVE TO TRUE NORTH, UNLESS NOTED OTHERWISE.
  3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AZIMUTHS DEPICTED HEREIN WITH THE RF DEPARTMENT PRIOR TO INSTALLING ANY ANTENNAS.

**EQUIPMENT PLAN**  
SCALE: 3/16"=1'-0"



(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)  
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)



AERO PROJECT #: 097-16-0025

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTION
O	10-03-16	RPH	FINAL
C	08-24-16	MRG	REVISED
B	08-12-16	MRG	REVISED
A	07-19-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:  
**EQUIPMENT PLAN**

DRAWING SHEET:  
**Z-2**

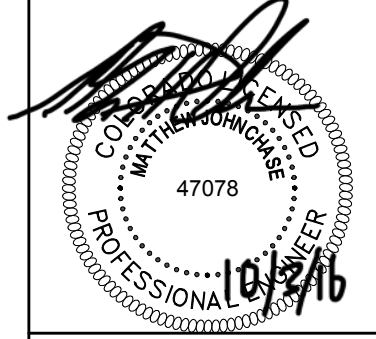
SHEET NUMBER:  
**5 OF 7**

SITE INFORMATION:  
SITE NAME:  
3177 FTC WLMRT SC4  
SITE ADDRESS:  
4625 S. MASON ST.  
FORT COLLINS, CO 80525

JURISDICTION:  
CITY OF FORT COLLINS  
LARIMER COUNTY



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MATTHEW CHASE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE #47078 (EXP. 10/31/2016)



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DRAWING TITLE:

**ELEVATION**

DRAWING SHEET:

**Z-3**

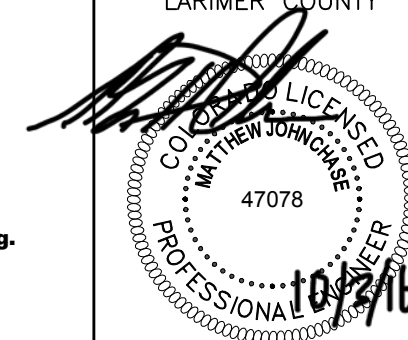
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**6 OF 7**

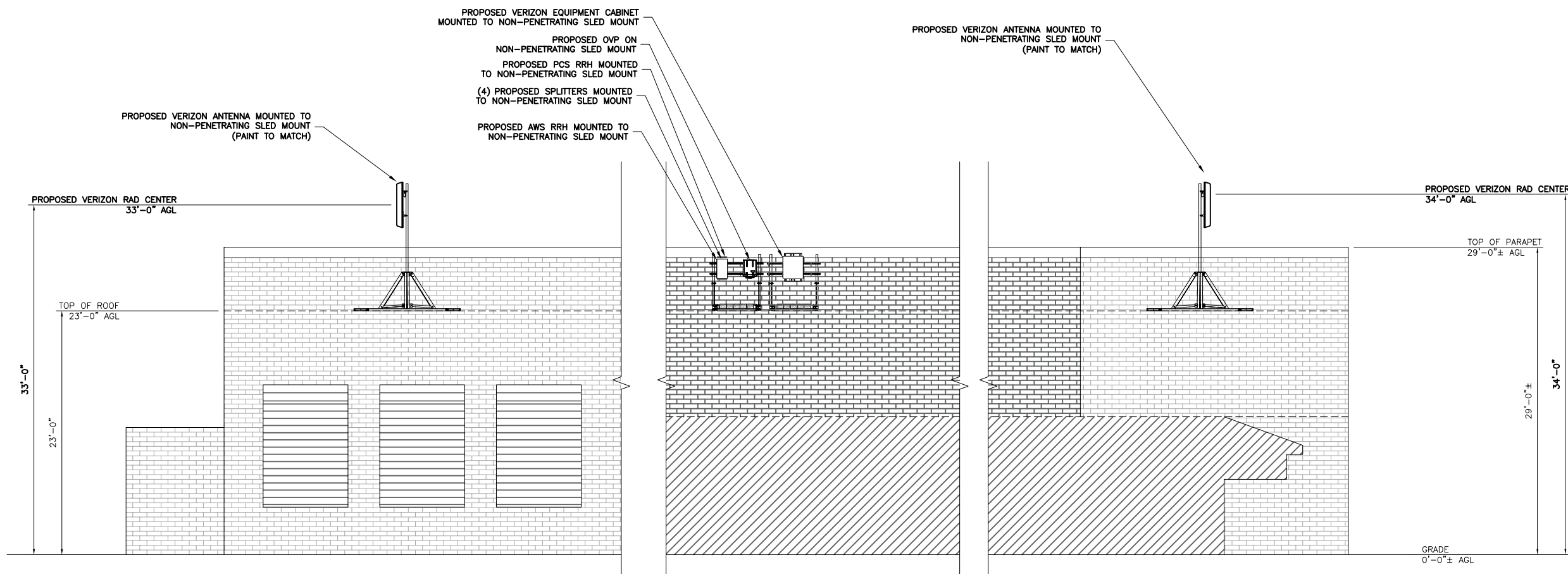
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CITY OF FORT COLLINS  
LARIMER COUNTY



MATTHEW CHASE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE #47078 (EXP. 10/31/2016)



**EAST ELEVATION**

SCALE: 3/16"=1'-0"

GRAPHIC SCALE



( IN FEET )

3/16 inch = 1 ft.

(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)  
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)



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DRAWING TITLE:

**CONSTRUCTION  
DETAILS**

DRAWING SHEET:

**Z-4**

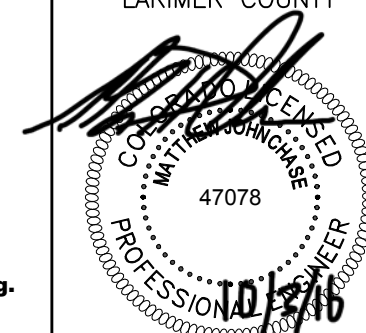
SHEET NUMBER:

**7 OF 7**

SITE INFORMATION:

SITE NAME:  
3177 FTC WLMRT  
SC4  
SITE ADDRESS:  
4625 S. MASON ST.  
FORT COLLINS, CO 80525

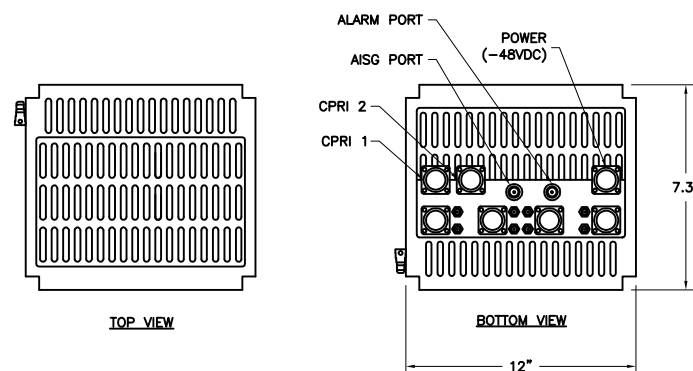
JURISDICTION:  
CITY OF FORT COLLINS  
LARIMER COUNTY



Know what's below.  
Call before you dig.

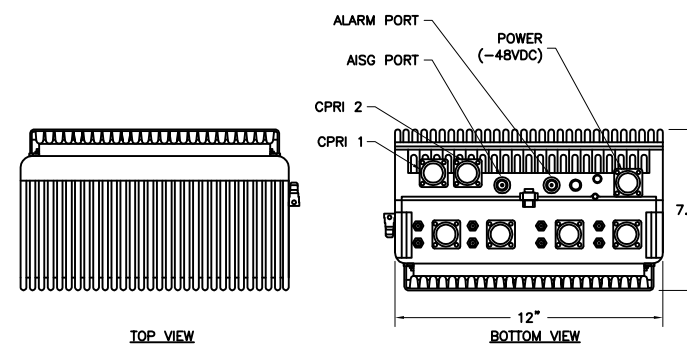
PROTECT YOURSELF, GIVE THREE  
WORKING DAYS NOTICE  
THIS DRAWING DOES NOT INCLUDE NECESSARY  
COMPONENTS FOR CONSTRUCTION SAFETY. ALL  
CONSTRUCTION MUST BE DONE IN COMPLIANCE  
WITH THE OCCUPATIONAL SAFETY AND HEALTH  
ACT OF 1970 AND ALL RULES AND REGULATIONS  
THERE TO APPURTENANT.

MATTHEW CHASE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE #47078 (EXP. 10/31/2016)



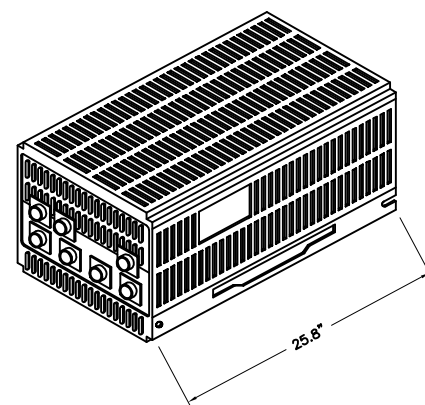
TOP VIEW

BOTTOM VIEW

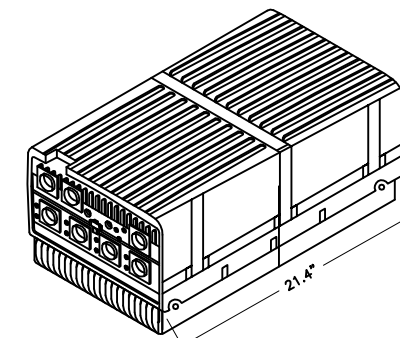


TOP VIEW

BOTTOM VIEW



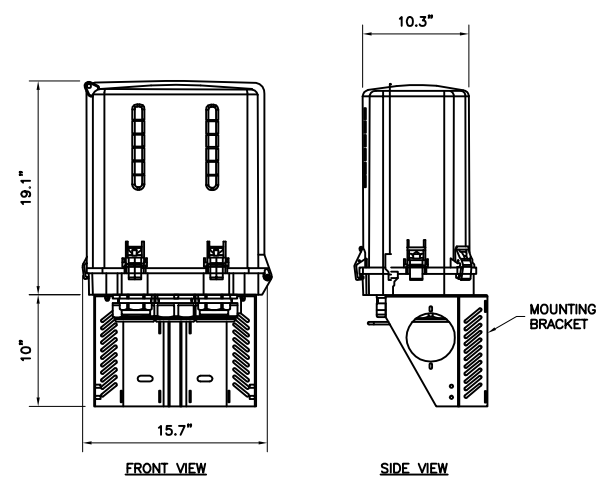
ISOMETRIC VIEW  
RRH WEIGHT: 56.8 LBS



ISOMETRIC VIEW  
RRH WEIGHT: 53 LBS

**1 OVP DETAIL**

Z-4 N.T.S.

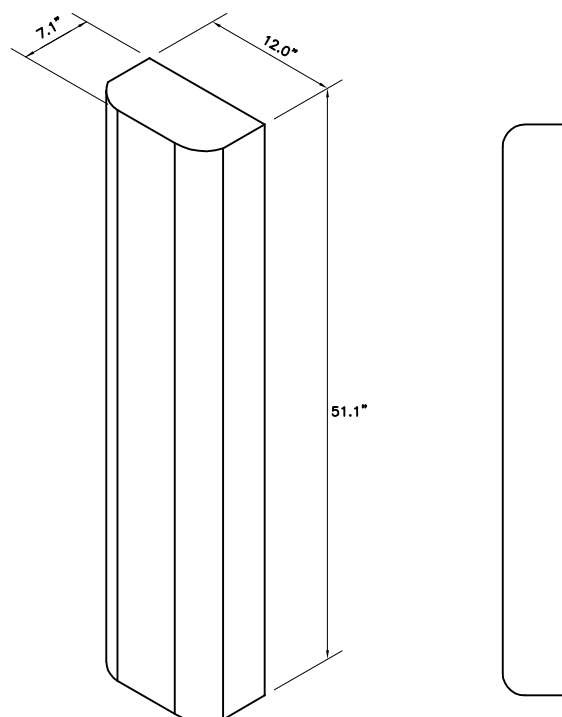


FRONT VIEW

SIDE VIEW

**2 AWS RRH DETAIL**

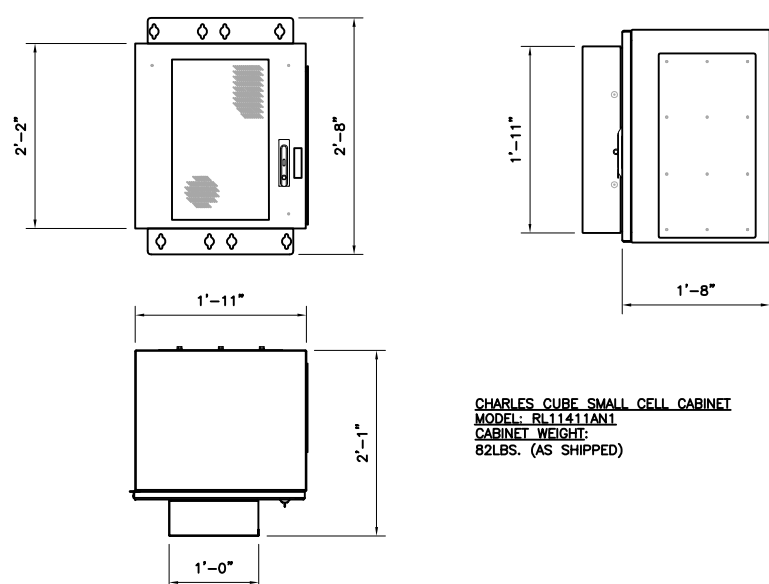
Z-4 N.T.S.



ANTENNA MODEL = AMPHENOL HEX654CW0000x  
ANTENNA WEIGHT = 29.8LBS.

**4 CHARLES SMALL CELL CABINET**

Z-4 N.T.S.



CHARLES CUBE SMALL CELL CABINET  
MODEL: RL11411AN1  
CABINET WEIGHT:  
82LBS. (AS SHIPPED)

**5 PROPOSED ANTENNA DETAIL**

Z-4 N.T.S.





**verizon**<sup>v</sup>

 **AeroSolutions LLC**  
*Optimizing Your Tower Infrastructure*

www.aerosolutionsllc.com  
5555 CENTRAL AVE, SUITE 100  
BOULDER CO. 80301  
PH: 720.304.6882  
FAX: 720.304.6883

DESCRIPTION

3177 WLMRT SC4 FTC (1) BEFORE





**verizon**<sup>v</sup>

 **AeroSolutions LLC**  
*Optimizing Your Tower Infrastructure*

www.aerosolutionsllc.com  
5555 CENTRAL AVE, SUITE 100  
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PH: 720.304.6882  
FAX: 720.304.6883

DESCRIPTION

3177 WLMRT SC4 FTC (1) AFTER





**verizon**<sup>v</sup>

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5555 CENTRAL AVE, SUITE 100  
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PH: 720.304.6882  
FAX: 720.304.6883

DESCRIPTION

3177 WLMRT SC4 FTC (2) BEFORE





www.aerosolutionsllc.com  
5555 CENTRAL AVE, SUITE 100  
BOULDER CO. 80301  
PH: 720.304.6882  
FAX: 720.304.6883

DESCRIPTION
3177 WLMRT SC4 FTC (2) AFTER





**6633 FTC SAMCLUB SC1**  
**VERZION PROJECT # 20161379592**  
**SMALL CELL**  
**4700 E. BOARDWALK DR.**  
**FORT COLLINS, COLORADO 80525**  
**ZONING DRAWINGS**

**verizon**  
 3131 SOUTH VAUGHN WAY #500  
 AURORA, COLORADO 80014  
 (303) 873-2652

**AeroSolutions LLC**  
 Optimizing Your Tower Infrastructure  
 5555 CENTRAL AVENUE #100  
 BOULDER, COLORADO 80301  
 PH: (720) 304-6882  
 FAX: (720) 304-6883

AERO PROJECT #: 097-16-0030

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTION
O	10-03-16	RPH	FINAL
C	08-24-16	MRG	REVISED
B	08-12-16	MRG	REVISED
A	07-22-16	RPH	90% ZONING DRAWINGS

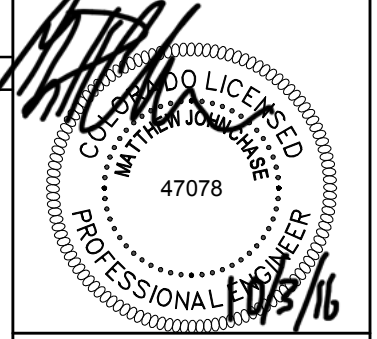
DRAWING TITLE:  
**TITLE SHEET**

DRAWING SHEET:  
**T-1**

SHEET NUMBER:  
**1 OF 7**

SITE INFORMATION:

SITE NAME:  
 6633 FTC SAMCLUB SC1  
 SITE ADDRESS:  
 4700 E. BOARDWALK DR.  
 FORT COLLINS, CO  
 80525  
 JURISDICTION:  
 CITY OF FORT COLLINS  
 LARIMER COUNTY



MATTHEW CHASE, P.E.  
 COLORADO PROFESSIONAL ENGINEER  
 LICENSE #47078 (EXP. 10/31/2016)

**SITE DIRECTIONS**

DEPART 3131 S VAUGHN WAY, AURORA, CO 80014:  
 HEAD WEST ON E BETHANY PL TOWARD E CORNELL AVE. TURN RIGHT ONTO E CORNELL AVE. E CORNELL AVE TURNS RIGHT AND BECOMES S URSULA ST. TURN RIGHT ONTO E YALE AVE. TURN LEFT ONTO S VAUGHN WAY. TURN RIGHT ONTO E ILLIFF AVE. USE THE RIGHT LANE TO TAKE THE INTERSTATE 225 N RAMP. MERGE ONTO I-225 N. MERGE ONTO I-225 N. USE THE RIGHT 2 LANES TO TAKE EXIT 12B TO MERGE ONTO I-70 E TOWARD LIMON. KEEP RIGHT AT THE FORK TO CONTINUE ON PEÑA BLVD, FOLLOW SIGNS FOR PEÑA BOULEVARD/DENVER INTERNATIONAL AIRPORT. TAKE EXIT 6 TOWARD I-70/FORT COLLINS. KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR FT COLLINS. KEEP RIGHT AT THE FORK TO CONTINUE ON EXIT 6B, FOLLOW SIGNS FOR FORT COLLINS N AND MERGE ONTO E-470 N. TAKE EXIT 47 TO MERGE ONTO I-25 N TOWARD FT COLLINS. TAKE EXIT 265 FOR HARMONY RD. USE THE LEFT 2 LANES TO TURN LEFT ONTO E HARMONY RD. TURN LEFT ONTO E BOARDWALK DR.

**CLIENT**

VERIZON WIRELESS REAL ESTATE  
 3131 S. VAUGHN WAY #550  
 AURORA, CO 80014  
 CONTACT: STACEY BELL-BROWER  
 PHONE: 303-901-3092

**PROPERTY OWNER**

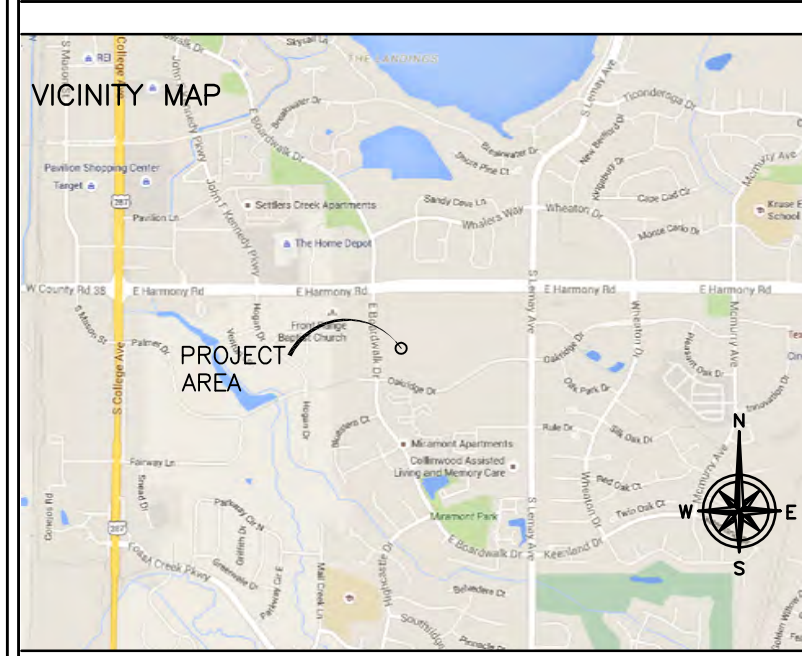
WAL MART REAL ESTATE BUSINESS TRUST  
 PO BOX 8050  
 BENTONVILLE, AR 72712

**PROJECT DATA**

JURISDICTION: CITY OF FORT COLLINS  
 LARIMER COUNTY  
 ZONING: C - COMMERCIAL  
 APN: 9601117001  
 PARCEL SIZE: 520,532 S.F.  
 ELEVATION: 4,999' (NAVD 88)  
 SITE COORDINATES: N 40° 31' 15.52" (NAD 83)  
 W 105° 03' 50.03" (NAD 83)  
 STRUCTURE TYPE: BUILDING  
 STRUCTURE HEIGHT: 33'-0"± (TOP OF PARAPET)  
 ANTENNA RAD CENTER: 31'-0" AGL  
 APPLICANT: VERIZON WIRELESS  
 APPLICANT CONTACT: STACEY BELL-BROWER  
 3131 SOUTH VAUGHN WAY #550  
 AURORA, COLORADO 80014  
 PH: (303-901-3092)

**SHEET INDEX**

T-1	TITLE SHEET
LS-1	BOUNDARY DETAIL
LS-2	SURVEY DETAIL
Z-1	SITE PLAN
Z-2	EQUIPMENT PLAN & ANTENNA LAYOUT
Z-3	ELEVATION
Z-4	CONSTRUCTION DETAILS



**CONSTRUCTION MANAGER**

VERIZON WIRELESS  
 3131 S. VAUGHN WAY #550  
 AURORA, CO 80014  
 CONTACT: JASON SHELEDY  
 PHONE: 303-873-2652

**RF ENGINEER**

VERIZON WIRELESS  
 3131 S. VAUGHN WAY #550  
 AURORA, CO 80014  
 CONTACT: RAM NANDIRAJU  
 EMAIL: Ram.Nandiraju@verizonwireless.com

**ENGINEERING:** AERO SOLUTIONS, LLC  
**ENGINEERING CONTACT:** STEVE MUSTARO  
 5555 CENTRAL AVENUE #100  
 BOULDER, COLORADO 80301  
 PH: (720) 304-6882

- PROJECT DESCRIPTION**
1. INSTALL NEW EQUIPMENT CABINET ON NON-PENETRATING SLED MOUNT.
  2. INSTALL (2) NEW ANTENNAS ON NON-PENETRATING SLED MOUNT.
  3. INSTALL (2) NEW REMOTE RADIO HEADS ON NON-PENETRATING SLED MOUNT.
  4. INSTALL (4) NEW SPLITTERS ON NON-PENETRATING SLED MOUNT.
  5. INSTALL (1) NEW OVP SURGE SUPPRESSION BOX ON NON-PENETRATING SLED MOUNT.
  6. INSTALL NEW FIBER VAULT FOR PROPOSED FIBER RUN.
  7. RUN NEW FIBER AND POWER TO PROPOSED EQUIPMENT.
  8. INSTALL NEW 1-5/8" LOW INDUCTANCE HYBRIFLEX CABLE TO PROPOSED OVP.
  9. INSTALL NEW COAX CABLES.

**SITE ACQUISITION**

SURE SITE  
 8534 NORTHFIELD BLVD., #3700  
 DENVER, CO 80238  
 CONTACT: RAYMOND TAYLOR  
 PHONE: 303-355-8236

**CODE ANALYSIS**

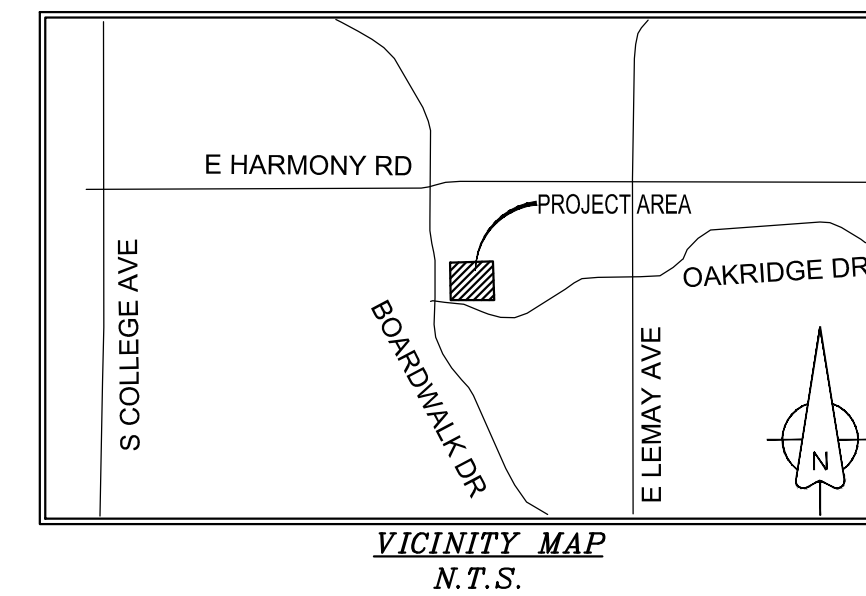
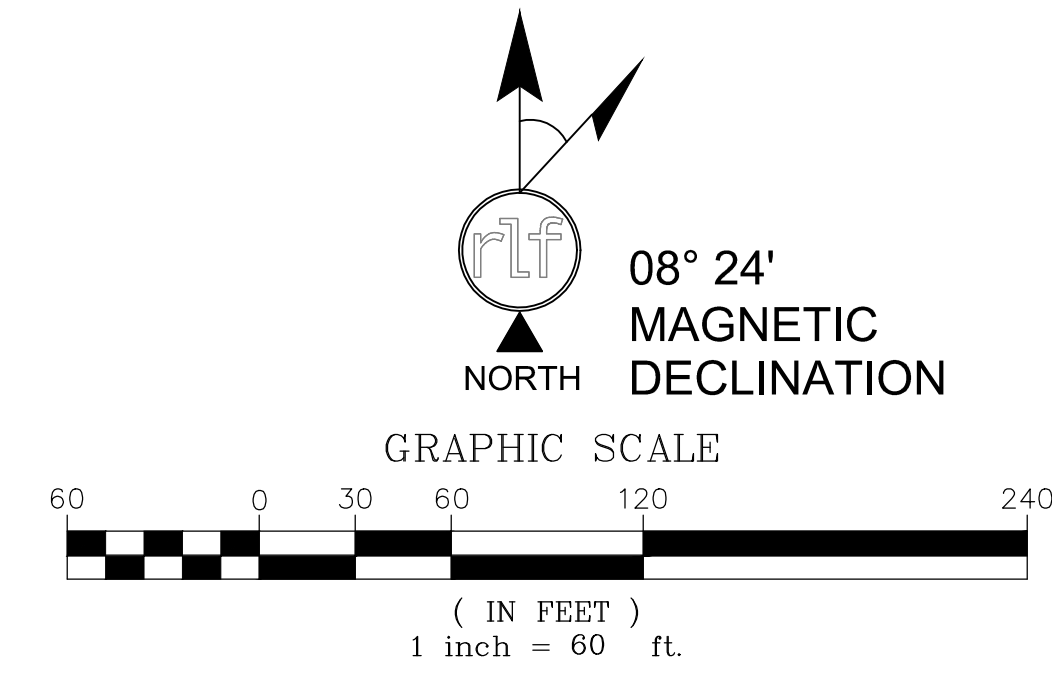
BUILDING CODE: IBC 2012  
 ELECTRICAL CODE: NEC 2014  
 FIRE SAFETY CODE: NFPA-1 (2006)  
 USE GROUP: U - UTILITY  
 CONSTRUCTION TYPE: IIB

**APPROVALS**

VERIZON (RF): \_\_\_\_\_ DATE: \_\_\_\_\_  
 VERIZON (CONST.): \_\_\_\_\_ DATE: \_\_\_\_\_  
 VERIZON (RE): \_\_\_\_\_ DATE: \_\_\_\_\_  
 LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_

SCALE: 1"=1000'  
FORT COLLINS, COLORADO





POSITION OF GEODETIC COORDINATES  
 LATITUDE 40° 31' 15.52" NORTH (NAD83)  
 LONGITUDE 105° 03' 50.03" WEST (NAD83)  
 ELEVATION @ GROUND= 4999' (NAVD88)

**SURVEYOR NOTES**

1. A TITLE REPORT WAS NOT PROVIDED AT THE TIME OF THE SURVEY.
2. SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
3. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
4. SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

**PROJECT META DATA**

1. ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID 09 SEPARATIONS CONSTRAINING TO NGS CORS STATIONS PROVIDED IN THE "ONLINE POSITIONING USER SERVICE" (OPUS) SOLUTION FOR THIS SPECIFIC SITE.
2. BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM COLORADO STATE PLANE COORDINATE ZONE NORTH, DETERMINED BY GPS OBSERVATIONS.
3. FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 06/24/16.

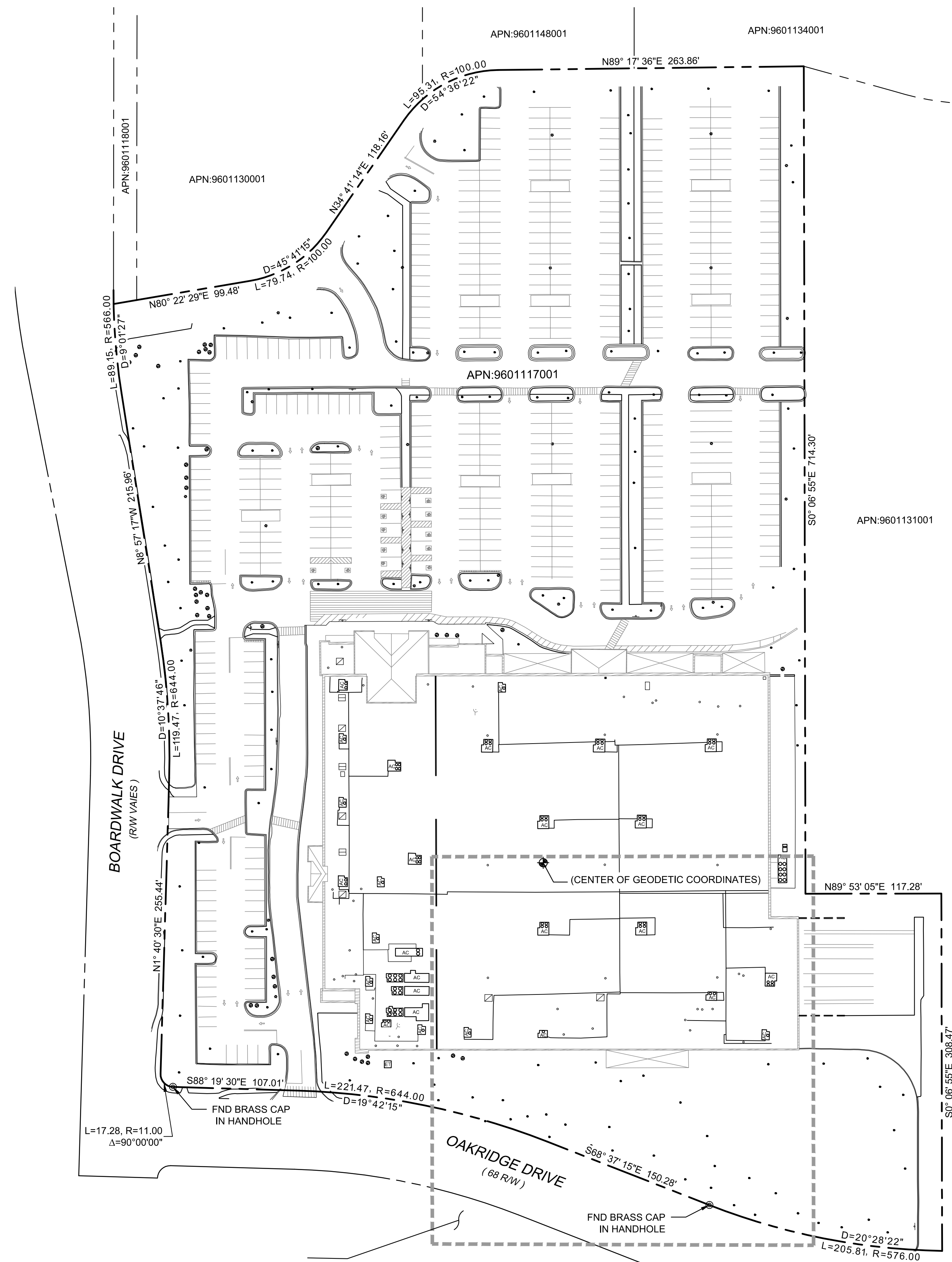
**FLOOD ZONE DESIGNATION**

THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 08096C1000F DATED 12/19/2006.

FLOOD ZONE "X" IS DEFINED AS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN; DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.

**LESSOR'S LEGAL DESCRIPTION**

LOT 1, HARMONY MARKET P.U.D., FIRST FILING, COUNTY OF LARIMER, STATE OF COLORADO.



SURVEY DETAIL  
SHEET LS-2

**LEGEND**

- ⊗ ALUMINUM CAP IN HANDHOLE
- ⊙ BRASS CAP FLUSH
- ✕ CHISELED X
- TAG LS24966
- ⊙ ALUMINUM CAP FLUSH
- FG FINISHED GRADE
- ⊠ AIR CONDITIONING UNIT
- VENT
- ⊙ ROOF DRAIN
- ☆ LIGHT POST
- ⊠ ELECTRIC CABINET
- ⊠ ELECTRICAL TRANSFORMER
- ⊠ ELECTRIC METER
- ⊙ TELEPHONE PEDESTAL
- ⊠ STREET LIGHT W/ MAST ARM
- ⊙ STORM MANHOLE
- ⊠ CATCH BASIN
- ⊠ STORM DRAIN GRATE
- ⊠ SIGN
- ⊠ FIRE HYDRANT
- ⊠ WATER VALVE
- ⊠ WATER METER
- ⊠ DECIDUOUS TREE
- ⊙ BUSH
- ⊠ FIBER VAULT
- ⊙ SANITARY SEWER MANHOLE
- ⊠ FIRE DEPT. CONNECTION
- ⊠ SATELLITE DISH
- ⊙ GAS METER
- ⊠ FLAG POLE
- ⊠ SKYLIGHT
- ⊠ FUEL MANHOLE
- ⊠ MONITORING WELL
- ⊠ IRRIGATION CONTROL VALVE
- — — — — PROPERTY LINE
- — — — — PROPERTY LINE (OTHER)
- — — — — RIGHT-OF-WAY LINE
- — — — — MONUMENT LINE
- — — — — EASEMENT LINE
- — — — — LEASE LINE
- — — — — CHAIN LINK FENCE
- — — — — WOOD OR IRON FENCE
- — — — — WIRE OR BARBED WIRE FENCE
- — — — — OVERHEAD ELECTRIC LINE
- — — — — U/G ELECTRIC LINE
- — — — — U/G TELECOMMUNICATION LINE
- — — — — UNDERGROUND TV LINE
- — — — — UNDERGROUND FIBER OPTIC LINE
- — — — — GAS LINE



**verizon**  
 3131 SOUTH VAUGHN WAY #500  
 AURORA, COLORADO 80014  
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**AeroSolutions LLC**  
 Optimizing Your Tower Infrastructure

5555 CENTRAL AVENUE #100  
 BOULDER, COLORADO 80301  
 PH: (720) 304-6882  
 FAX: (720) 304-6883

AERO PROJECT #: 097-16-0030

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTION
01	07/11/16	BAB	PRELIMINARY/REVISION
00	06-27-16	AJL	PRELIMINARY

DRAWING TITLE:  
**BOUNDARY DETAIL**

DRAWING SHEET:  
**LS-1**

SHEET NUMBER:  
**2 OF 7**

SITE INFORMATION:  
 SITE NAME:  
 FTC SAMCLUB SC 1  
 SITE ADDRESS:  
 4700 BOARDWALK DR  
 GFORT COLLINS, CO  
 80525  
 JURISDICTION:  
 CITY OF FORT COLLINS

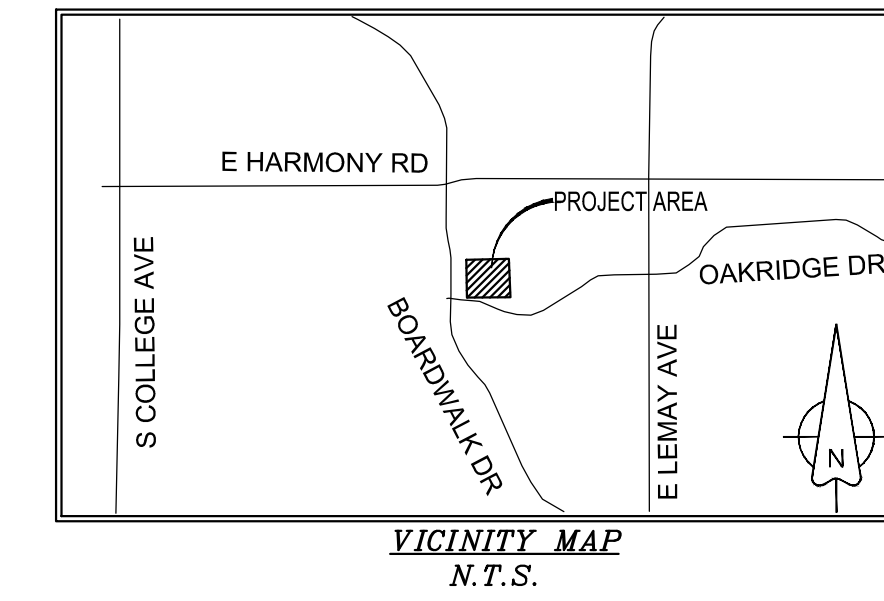
**RLF CONSULTING**  
 LAND SURVEY • MAPPING SOLUTIONS  
 124 N. STADIUM DR. • TEMPE AZ 85281  
 WWW.RLFCONSULTING.COM • 480-449-9169

RLF PROJECT #: 16002024

RYAN L. FIDLER, P.L.S.  
 COLORADO PROFESSIONAL SURVEYOR  
 LICENSE #38207 (EXP. 10/31/2017)



POSITION OF GEODETIC COORDINATES  
 LATITUDE 40° 31' 15.52" NORTH (NAD83)  
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 BOULDER, COLORADO 80301  
 PH: (720) 304-6882  
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AERO PROJECT #: 097-16-0030

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTION
01	07/11/16	BAB	PRELIMINARY/REVISION
00	06-27-16	AJL	PRELIMINARY

DRAWING TITLE:

**SURVEY DETAIL**

DRAWING SHEET:

**LS-2**

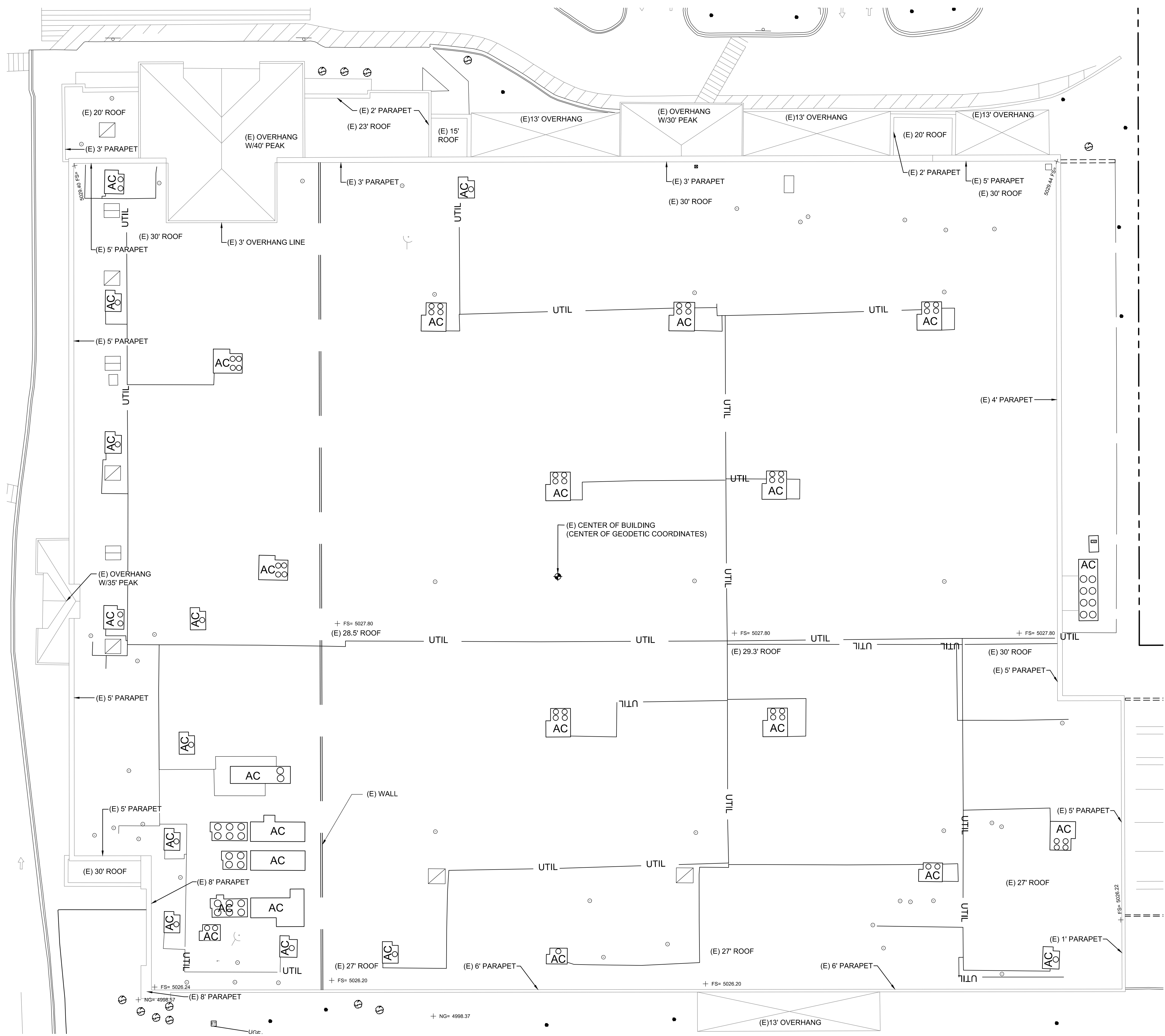
SHEET NUMBER:  
**3 OF 7**

SITE INFORMATION:  
 SITE NAME:  
 FTC SAMCLUB SC 1  
 SITE ADDRESS:  
 4700 BOARDWALK DR  
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 80525  
 JURISDICTION:  
 CITY OF FORT COLLINS

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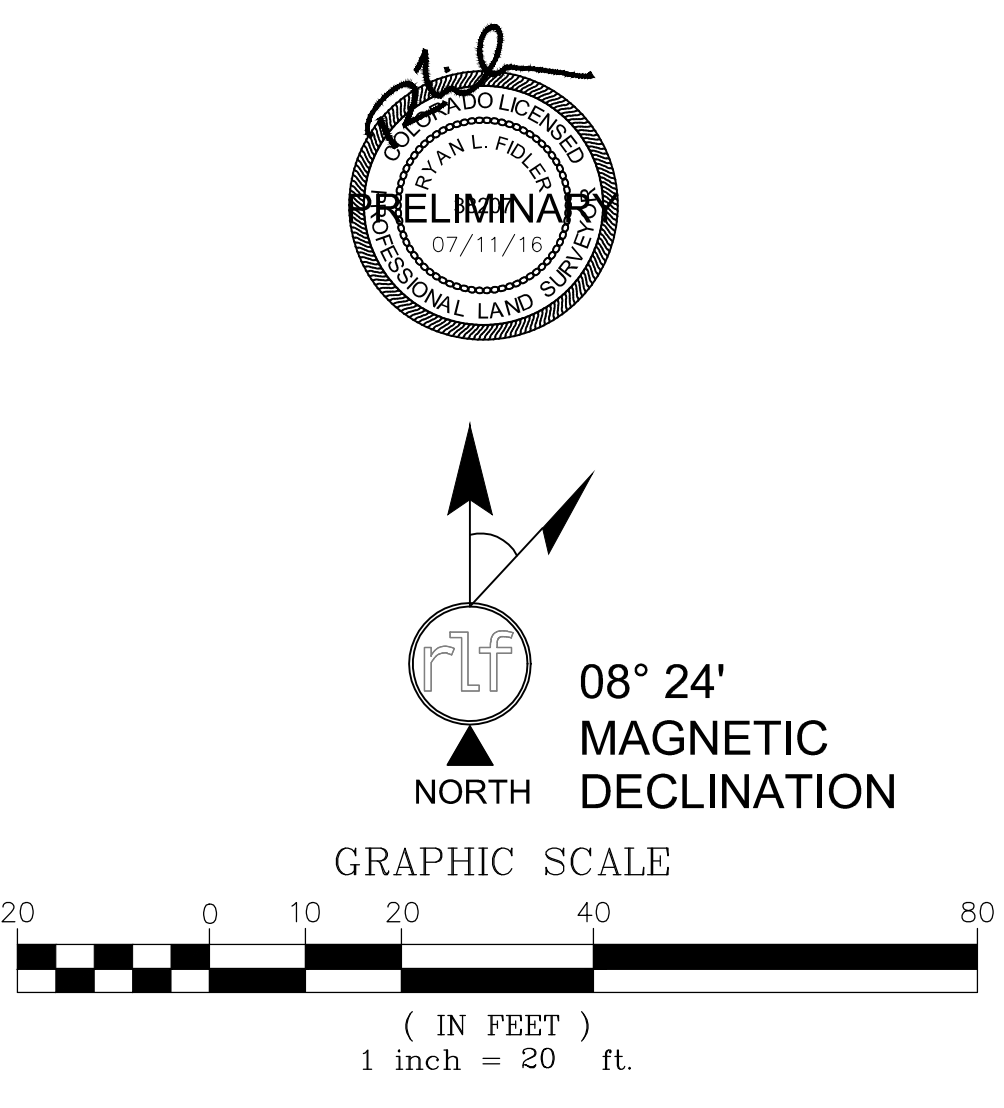
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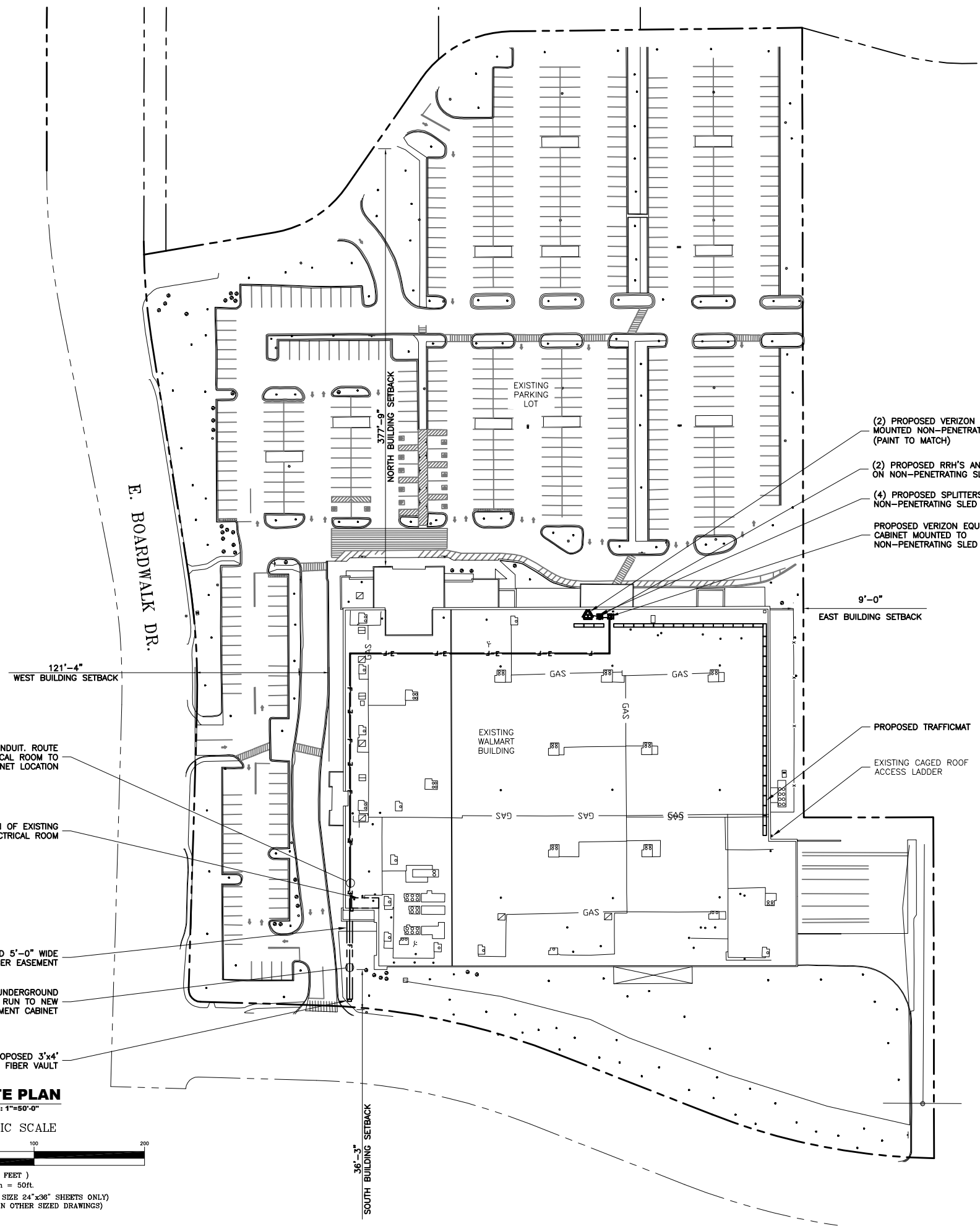
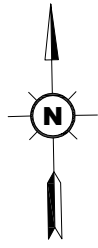


**LEGEND**

- ⊙ ALUMINUM CAP IN HANDHOLE
- ⊙ BRASS CAP FLUSH
- ✕ CHISELED X
- TAG LS24966
- ALUMINUM CAP FLUSH
- FG FINISHED GRADE
- AC AIR CONDITIONING UNIT
- VENT
- ROOF DRAIN
- ☆ LIGHT POST
- ECB ELECTRIC CABINET
- ET ELECTRICAL TRANSFORMER
- EM ELECTRIC METER
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- SDG STORM DRAIN GRATE
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- WV WATER VALVE
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- BUSH
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- FC FIRE DEPT. CONNECTION
- SD SATELLITE DISH
- GM GAS METER
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- UGE U/G ELECTRIC LINE
- UTG U/G TELECOMMUNICATION LINE
- UTV UNDERGROUND TV LINE
- UFG UNDERGROUND FIBER OPTIC LINE
- GL GAS LINE







**GENERAL NOTES:**

1. THIS PLAN WAS PREPARED USING AN APPROVED SURVEY PLAN ENTITLED "BOUNDARY DETAIL" BY RLF CONSULTING, DATED 07/11/16.
2. THE PROPOSED FACILITY WILL CAUSE "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
3. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
4. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. (THERE IS NO HANDICAP ACCESS REQUIRED).
5. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
6. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
7. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE STREET SIGNS OF ANY TYPE.
8. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES.



3131 SOUTH VAUGHN WAY #500  
AURORA, COLORADO 80014  
(303) 873-2652



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BOULDER, COLORADO 80301  
PH: (720) 304-6882  
FAX: (720) 304-6883

AERO PROJECT #: 097-16-0030

**REVISION SCHEDULE**

REV	DATE	BY	DESCRIPTION
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C	08-24-16	MRG	REVISED
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A	07-22-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:

**SITE PLAN**

DRAWING SHEET:

**Z-1**

SHEET NUMBER:

**4 OF 7**

SITE INFORMATION:

SITE NAME:  
6633 FTC SAMCLUB  
SC1

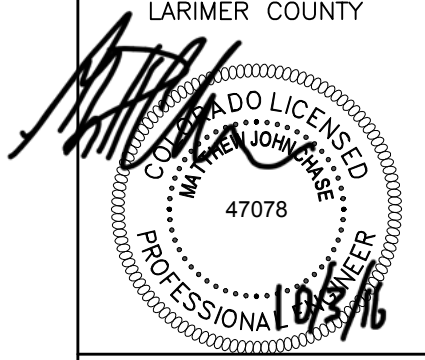
SITE ADDRESS:  
4700 E. BOARDWALK DR.  
FORT COLLINS, CO  
80525

JURISDICTION:  
CITY OF FORT COLLINS  
LARIMER COUNTY



**Know what's below.  
Call before you dig.**

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MATTHEW CHASE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE #47078 (EXP. 10/31/2016)

**1 SITE PLAN**  
SCALE: 1"=50'-0"

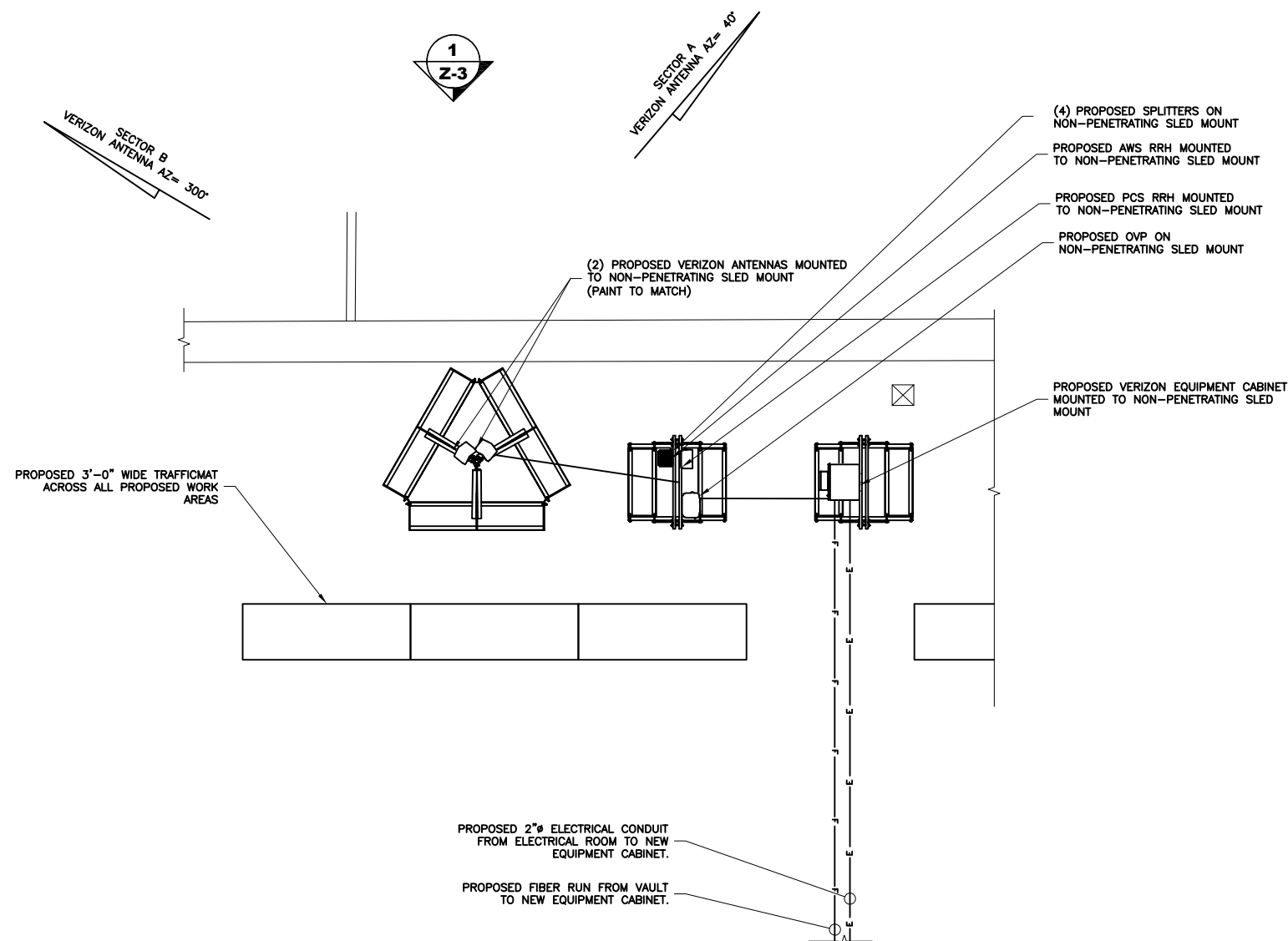
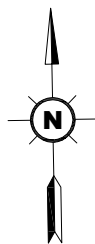
GRAPHIC SCALE



( IN FEET )  
1 inch = 50ft.

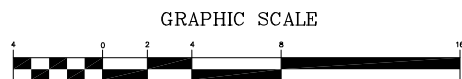
(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)  
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)





**1**  
**Z-2**  
**EQUIPMENT PLAN**

SCALE: 1/4"=1'-0"



(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)  
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. THIS PLAN WAS PREPARED USING AN APPROVED SURVEY PLAN ENTITLED "BOUNDARY DETAIL" BY RLF CONSULTING, DATED 07/11/16.
8. THE PROPOSED FACILITY WILL CAUSE ONLY A "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
9. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
10. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (THERE IS NO HANDICAP ACCESS REQUIRED).
11. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
12. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
13. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
14. MOUNTS AND ANTENNAS ARE DESIGNED TO MEET EIA/TIA-222-G AS PER IBC 2015 REQUIREMENTS.
15. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
16. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
17. IF ANY PIPING EXISTS BENEATH THE SITE AREA, CONTRACTOR MUST LOCATE IT AND CONTACT OWNERS REPRESENTATIVE.
18. CONSTRUCTION TO COMMENCE UPON COMPLETION OF A PASSING STRUCTURAL ANALYSIS. STRUCTURAL ANALYSIS TO BE PERFORMED BY OTHERS.

**CABLE TABLE**

SECTOR	AZIMUTH	LENGTH	NO.	SIZE	TYPE
A	40°	±10'	4	7/8"	COAX
B	300°	±10'	4	7/8"	COAX
CABINET	N/A	±10'	1	1-5/8"	LOW INDUCTANCE HYBRIFLEX

**NOTES:**

1. LENGTHS ARE ESTIMATES; CONTRACTOR AND/OR CONSTRUCTION MANAGER SHALL FIELD VERIFY ALL LENGTHS PRIOR TO ORDERING.
2. ALL AZIMUTHS SHOWN ARE RELATIVE TO TRUE NORTH, UNLESS NOTED OTHERWISE.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AZIMUTHS DEPICTED HEREIN WITH THE RF DEPARTMENT PRIOR TO INSTALLING ANY ANTENNAS.



**Know what's below.  
Call before you dig.**

PROTECT YOURSELF, ONE THREE WORKING DAYS NOTICE  
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.



3131 SOUTH VAUGHN WAY #500  
AURORA, COLORADO 80014  
(303) 873-2652



5555 CENTRAL AVENUE #100  
BOULDER, COLORADO 80301  
PH: (720) 304-6882  
FAX: (720) 304-6883

AERO PROJECT #: 097-16-0030

**REVISION SCHEDULE**

REV	DATE	BY	DESCRIPTION
O	10-03-16	RPH	FINAL
C	08-24-16	MRG	REVISED
B	08-12-16	MRG	REVISED
A	07-22-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:

**EQUIPMENT PLAN**

DRAWING SHEET:

**Z-2**

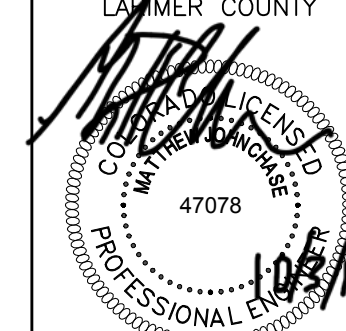
SHEET NUMBER:

**5 OF 7**

SITE INFORMATION:

SITE NAME:  
6633 FTC SAMCLUB  
SC1  
SITE ADDRESS:  
4700 E. BOARDWALK DR.  
FORT COLLINS, CO  
80525

JURISDICTION:  
CITY OF FORT COLLINS  
LARAMIE COUNTY



MATTHEW CHASE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE #47078 (EXP. 10/31/2016)



REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION
0	10-03-16	RPH	FINAL
C	08-24-16	MRG	REVISED
B	08-12-16	MRG	REVISED
A	07-22-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:

**ELEVATION**

DRAWING SHEET:

**Z-3**

SHEET NUMBER:

**6 OF 7**

SITE INFORMATION:

SITE NAME:  
6633 FTC SAMCLUB  
SC1

SITE ADDRESS:  
4700 E. BOARDWALK DR.  
FORT COLLINS, CO  
80525

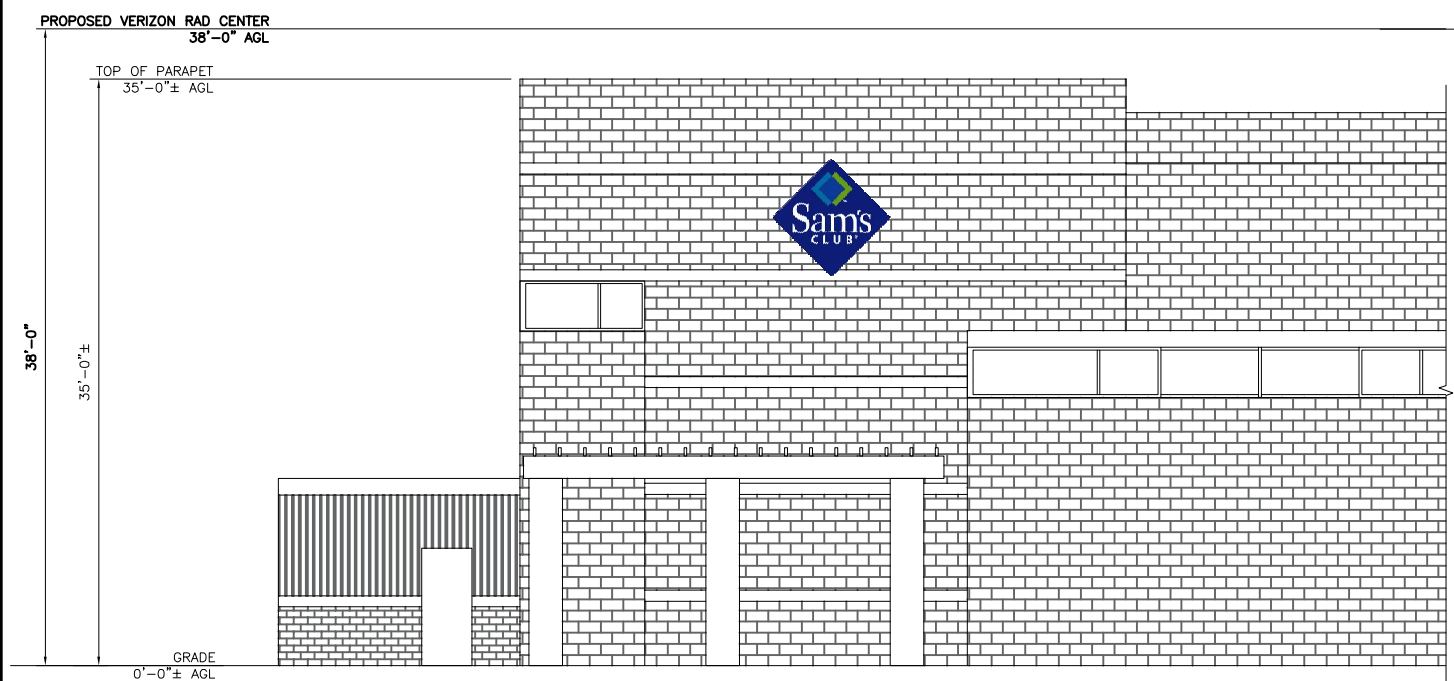
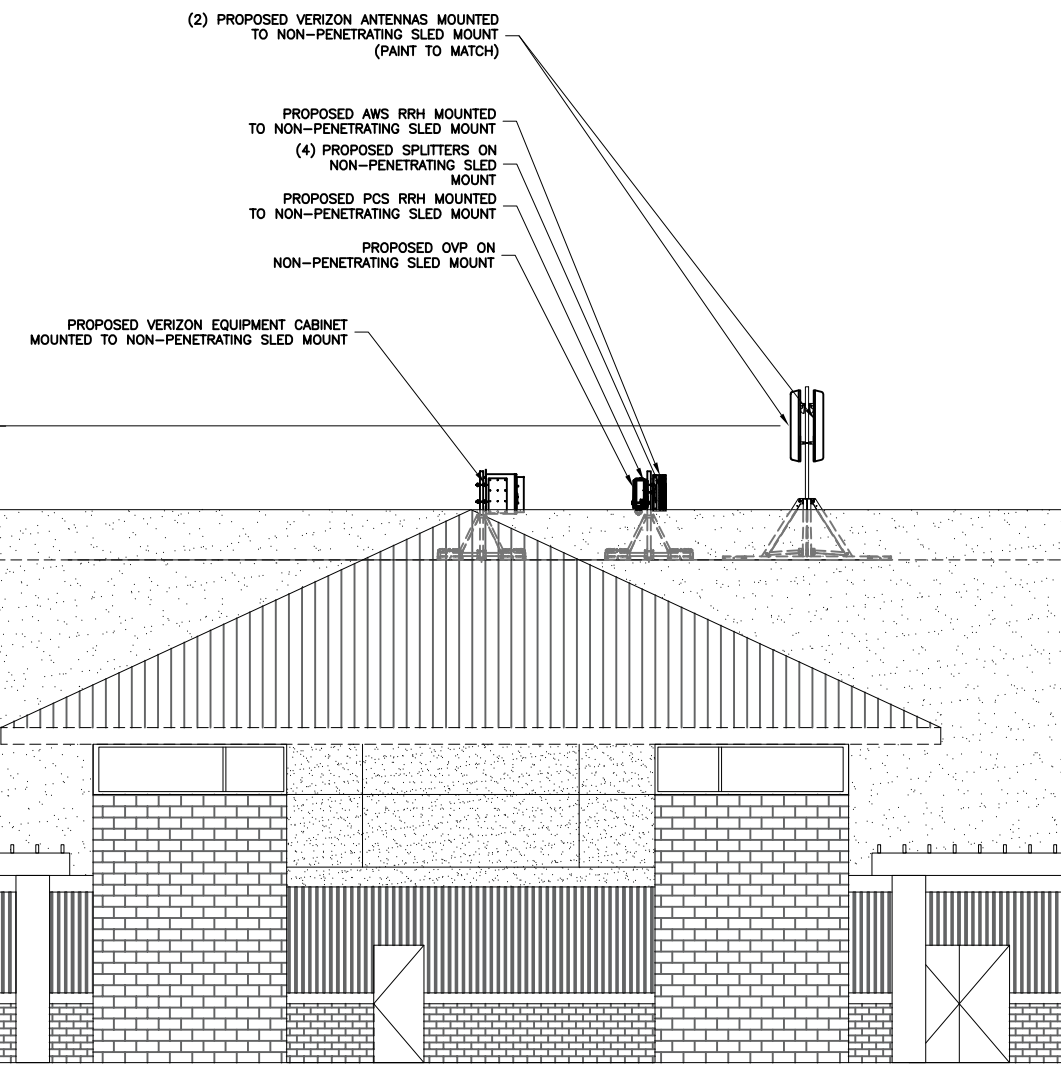
JURISDICTION:  
CITY OF FORT COLLINS  
LARIMER COUNTY



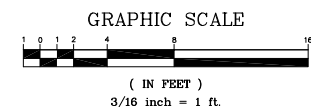
**Know what's below.  
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COMPONENTS FOR CONSTRUCTION SAFETY. ALL  
CONSTRUCTION MUST BE DONE IN COMPLIANCE  
WITH THE OCCUPATIONAL SAFETY AND HEALTH  
ACT OF 1970 AND ALL RULES AND REGULATIONS  
THERE TO APPURTENANT.

MATTHEW CHASE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE #47078 (EXP. 10/31/2016)



**1 NORTH ELEVATION**  
**Z-3** SCALE: 3/16"=1'-0"



(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)  
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)



REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION
O	10-03-16	RPH	FINAL
C	08-24-16	MRG	REVISED
B	08-12-16	MRG	REVISED
A	07-22-16	RPH	90% ZONING DRAWINGS

DRAWING TITLE:

**CONSTRUCTION  
DETAILS**

DRAWING SHEET:

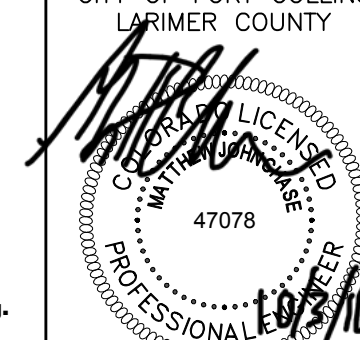
**Z-4**

SHEET NUMBER:

**7 OF 7**

SITE INFORMATION:

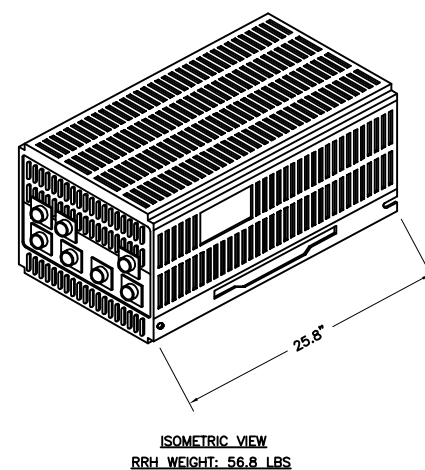
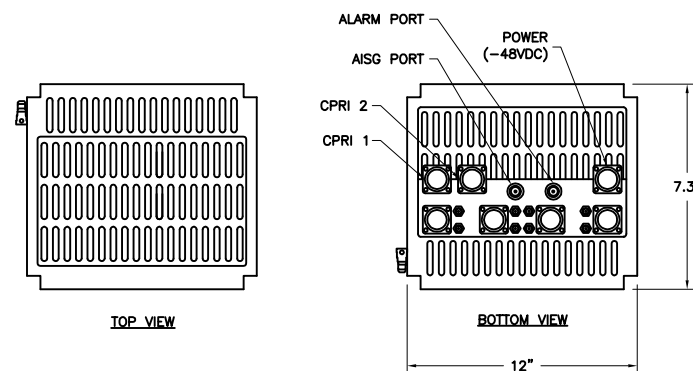
SITE NAME:  
6633 FTC SAMCLUB  
SC1  
SITE ADDRESS:  
4700 E. BOARDWALK DR.  
FORT COLLINS, CO  
80525  
JURISDICTION:  
CITY OF FORT COLLINS  
LARIMER COUNTY



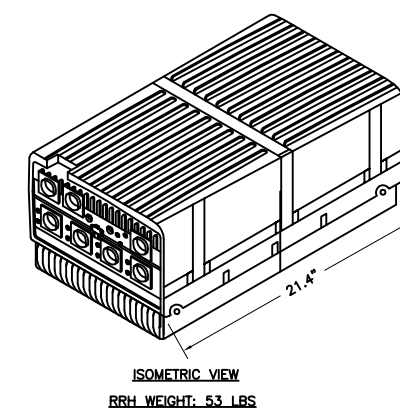
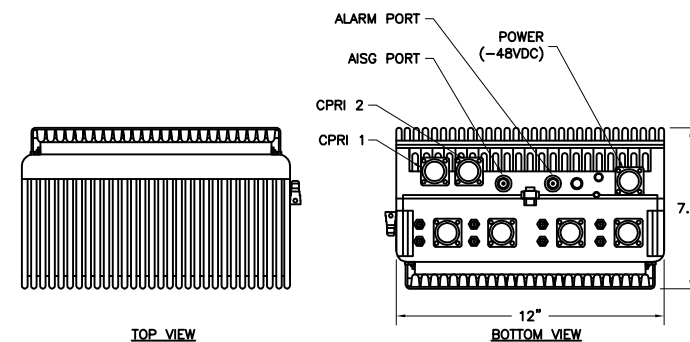
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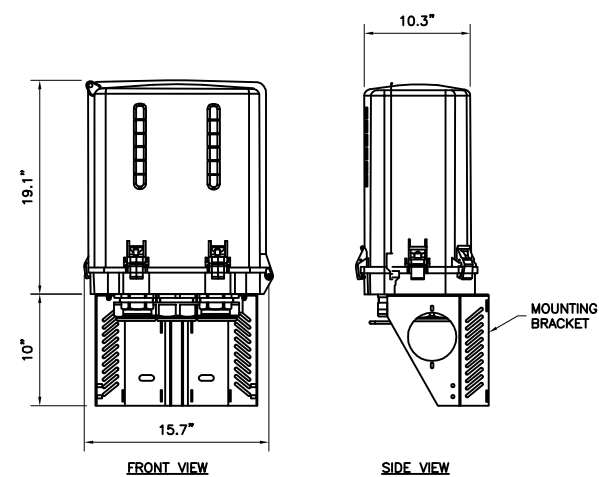
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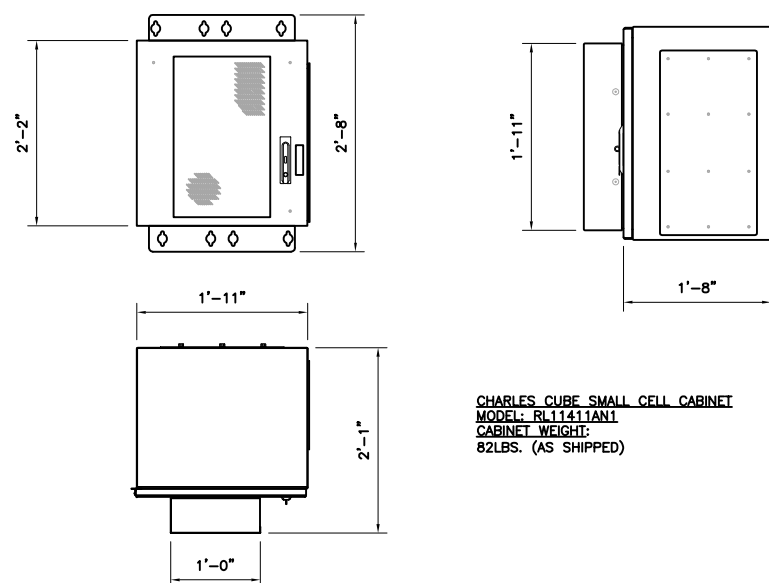
**2**  
Z-4 N.T.S. **AWS RRH DETAIL**



**3**  
Z-4 N.T.S. **PCS RRH DETAIL**

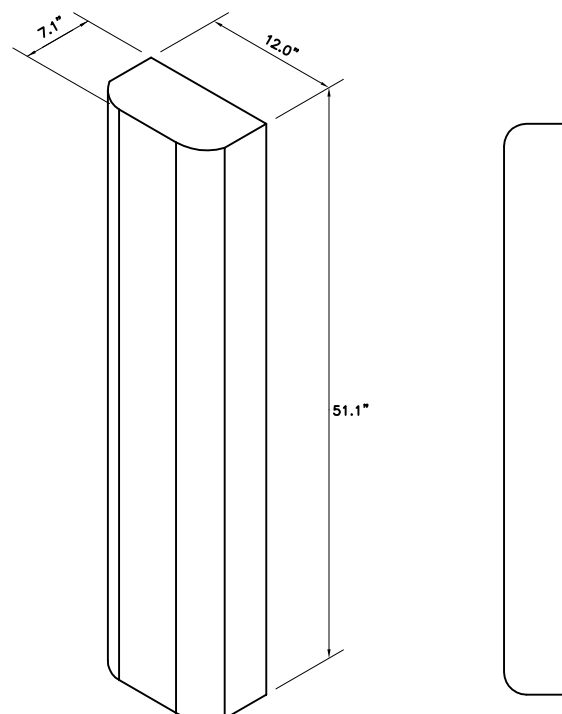


**1**  
Z-4 N.T.S. **OVP DETAIL**



CHARLES CUBE SMALL CELL CABINET  
MODEL: RL11411AN1  
CABINET WEIGHT:  
82LBS. (AS SHIPPED)

**4**  
Z-4 N.T.S. **CHARLES SMALL CELL CABINET**



ANTENNA MODEL = AMPHENOL HFX654CW0000x  
ANTENNA WEIGHT = 29.8LBS.

**5**  
Z-4 N.T.S. **PROPOSED ANTENNA DETAIL**





**verizon**<sup>v</sup>

 **AeroSolutions LLC**  
*Optimizing Your Tower Infrastructure*

www.aerosolutionsllc.com  
5555 CENTRAL AVE, SUITE 100  
BOULDER CO. 80301  
PH: 720.304.6882  
FAX: 720.304.6883

DESCRIPTION

6633 SAMCLUB SC1 FTC (1) BEFORE





**verizon**<sup>v</sup>

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DESCRIPTION

6633 SAMCLUB SC1 FTC (1) AFTER