

Conceptual Review Agenda

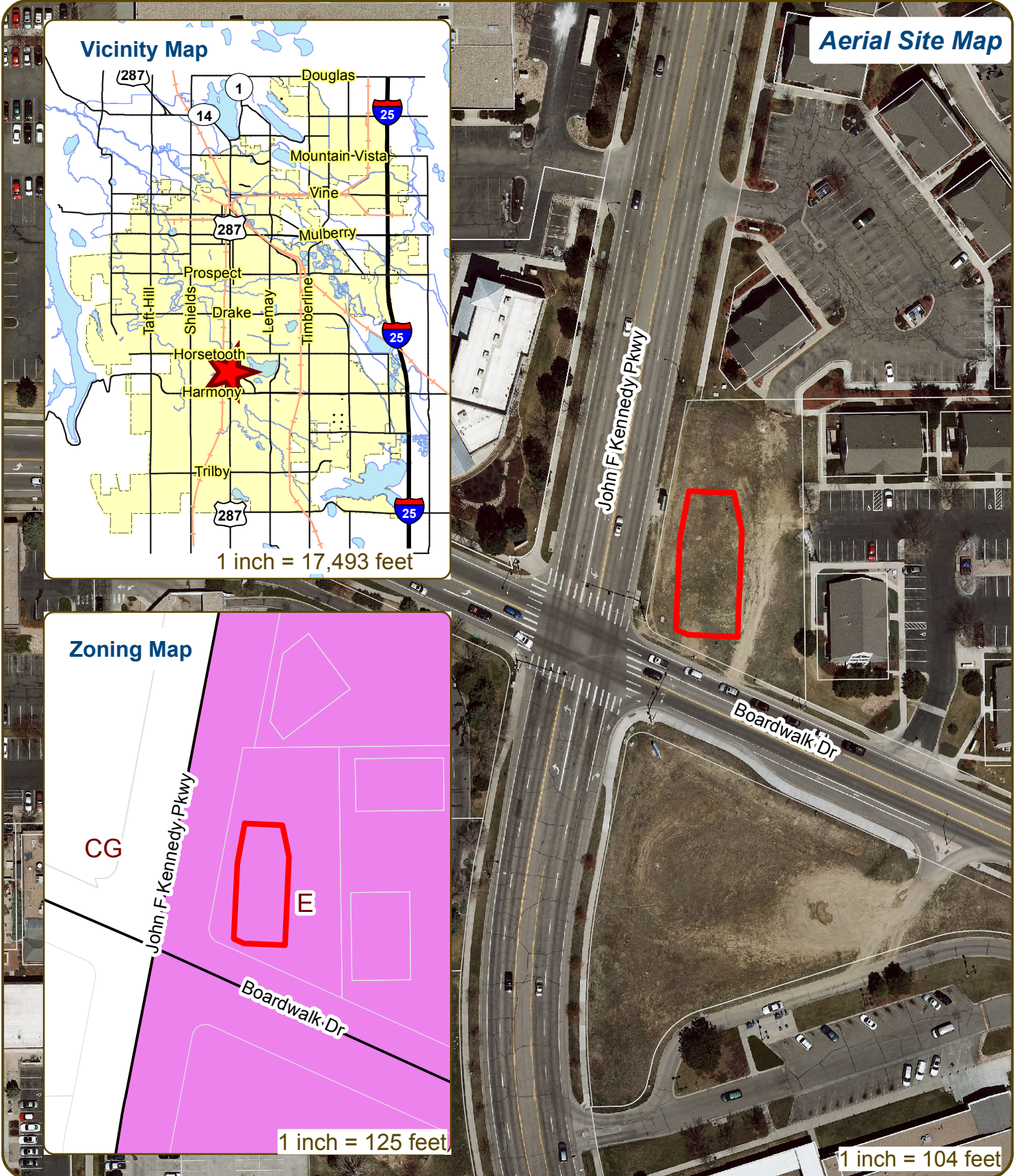
Schedule for 11/16/15 to 11/16/15

281 Conference Room A

Monday, November 16, 2015

Time	Project Name	Applicant Info	Project Description	Planner
9:45	300 Boardwalk Dr - Office CDR150078	Stan Arnett (970) 224-0630 stan@r4architects.com	This is a request to construct an office building at 300 Boardwalk Dr. (parcel #9736252008). The proposed building will be 6,300 sq. ft. and will occupy the building envelope identified in the Landings Office Park PUD for Block 2, Tract 8. The project will be served by 24 parking spaces. The site is located in the Employment (E) zone district. This proposal will be subject to Administrative (Type I) review.	Clay Frickey
10:30	2000 S Lemay Ave. - Addition CDR150079	Todd VandenBurg (303) 861-1600 tvandenburg@cunningham.com	This is a request to build a large addition to Our Saviour's Lutheran Church at 2000 S Lemay (parcel #8719309901). The addition will be 5,500 sq. ft. and will be used for additional administrative, meeting, and fellowship space. The site is located in the Low Density Residential (RL) zone district. This proposal will be subject to a Minor Amendment.	Seth Lorson
11:15	2601 Canton Ct & 2025 Sharp Point Dr - Light Industrial CDR150080	Dan Bernth (970) 221-1965 dan@dlcco.com	This is a request to build a new building at 2601 Canton Ct and build an addition to the existing building at 2025 Sharp Point Dr (parcel #'s 8720105011 and 8720105013). The parcels are adjacent to one another and might be replatted as part of this proposal. The new building on Canton Ct will be 9,000 sq. ft. and the addition on Sharp Point Dr will be 16,000 sq. ft. Both parcels are located in the Industrial (I) zone district. This proposal will be subject to Administrative (Type I) review.	Ryan Mounce

300 Boardwalk Dr Office



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Stan Arnett - Architect (Consultant)

Business Name (if applicable) r4 Architects, Inc.

Your Mailing Address 226 Remington Street Unit #3, Fort Collins, CO 80524

Phone Number (970)224-0630 Email Address stan@r4architects.com

Site Address or Description (parcel # if no address) _____

Landings Office Park P.U.D. - Block 2, Tracks 8 & 10

Description of Proposal (attach additional sheets if necessary) _____

New construction of an office building (for lease) within the recorded building envelope (identified as Tract 8). The proposed building will have a main floor plus a walkout basement.

Proposed Use B - Office for lease Existing Use N/A

Total Building Square Footage ±6,300 S.F. Number of Stories 2 Lot Dimensions 115' x 50'

Age of any Existing Structures Vacant lot currently

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

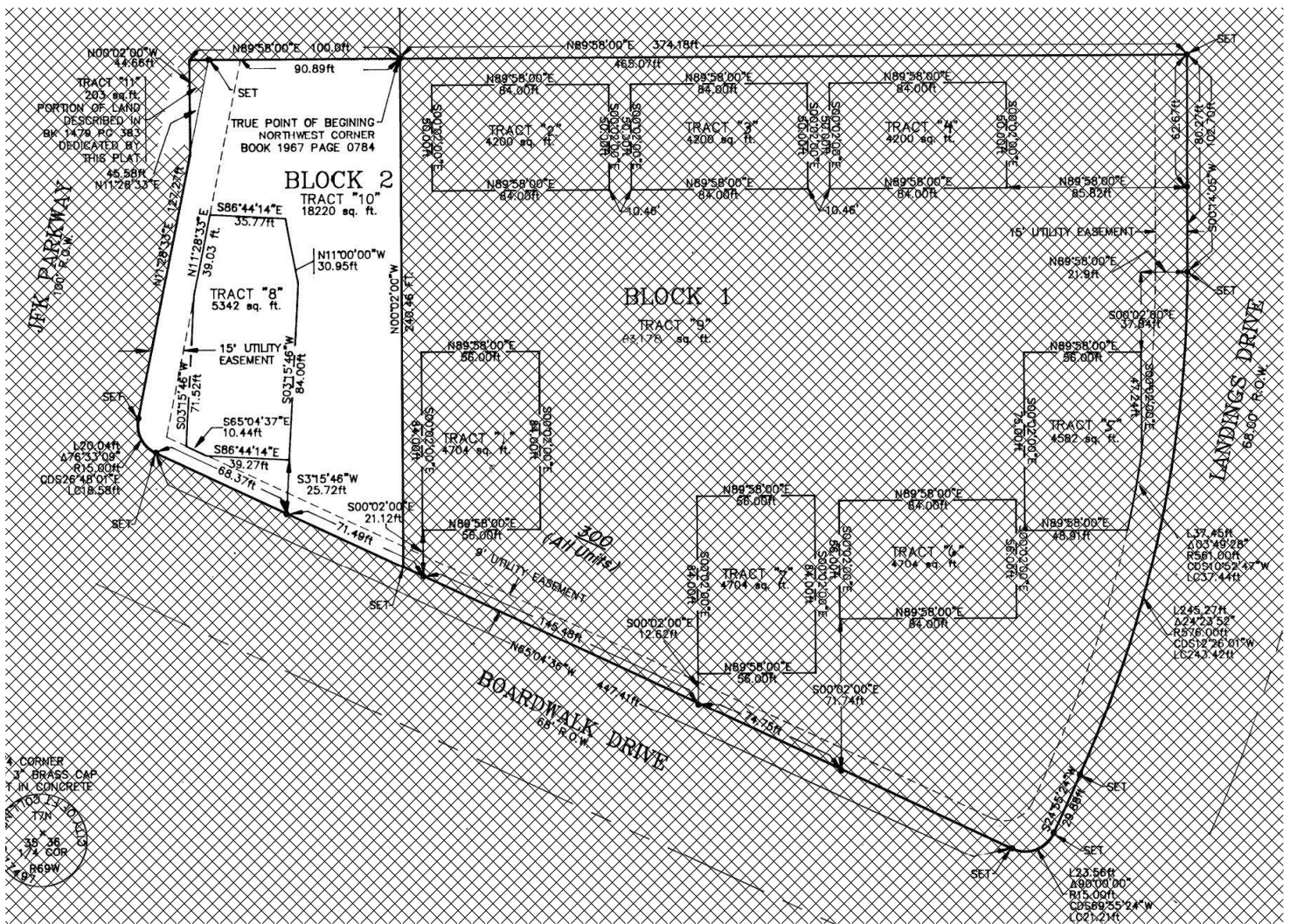
Is your property in a Flood Plain? [] Yes [X] No If yes, then at what risk is it? _____

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 17,961 (Tracts 8 & 10) S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

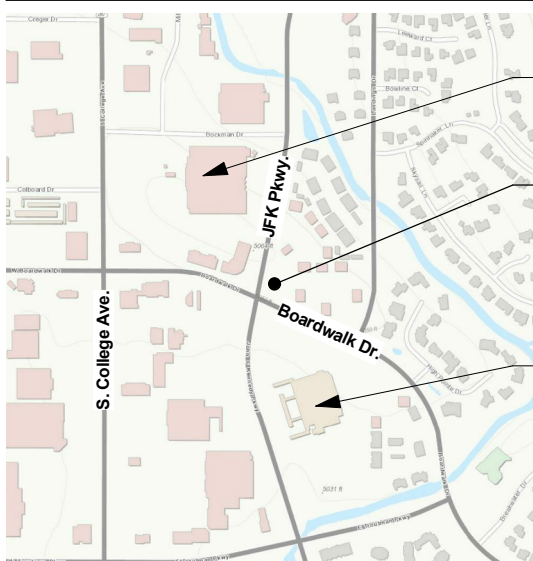
Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



*Recorded Final Plat of "Landings Office Park P.U.D."

1 PUD Recorded Plat
1" = 80'-0"

Flood Plain Map



J.C. Penney

Site

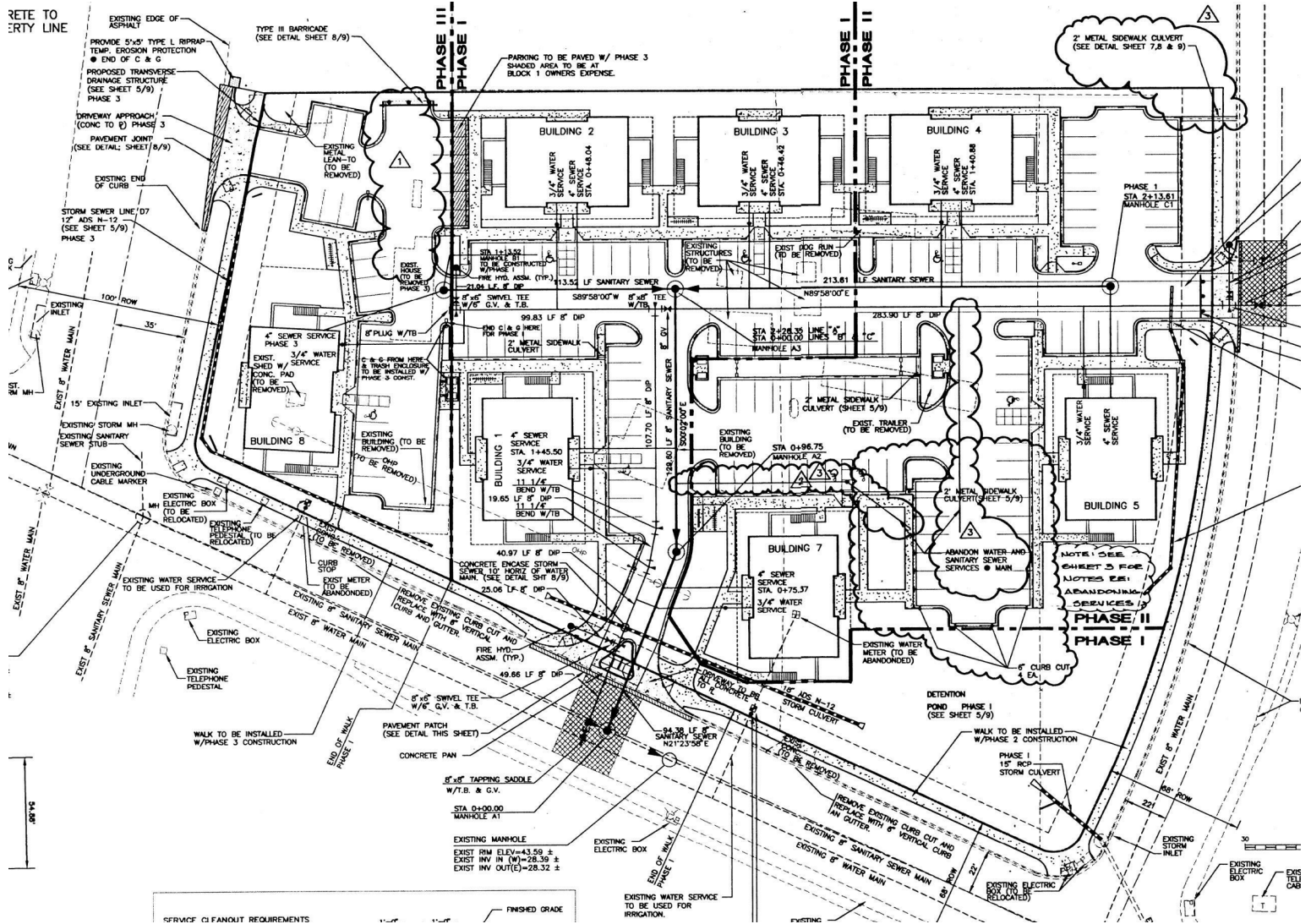
U.S. Postal Service



Landings Office Building

Recorded Plat & Flood Map

No.	Description	Date	Project number	2015-23	ARCH-1
			Date	10/1/2015	
			Drawn by	SA	
			Checked by	MR	
				Scale	As indicated



*Recorded Final Site Plan of "Landings Office Park P.U.D."

Fort Collins Code Assumptions

Parking Calculations

- General Office Use per LUC 3.2.2.K.2.a
- Minimum Parking Space: 1/1000 s.f.
 - Maximum Parking Spaces: 3/1000 s.f.

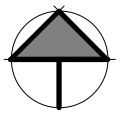
- ± 6,300 sf of General Office Use (For Lease)
- Minimum Parking Space Required: 7
 - Maximum Parking Spaces Allowed: 19
- *or .75/employee on the largest shift or 4.5/1000 sq. ft. if all additional parking spaces gained by the increased ratio (over 3/1000 sq. ft.) are contained within a parking garage/structure*

Parking Proposed

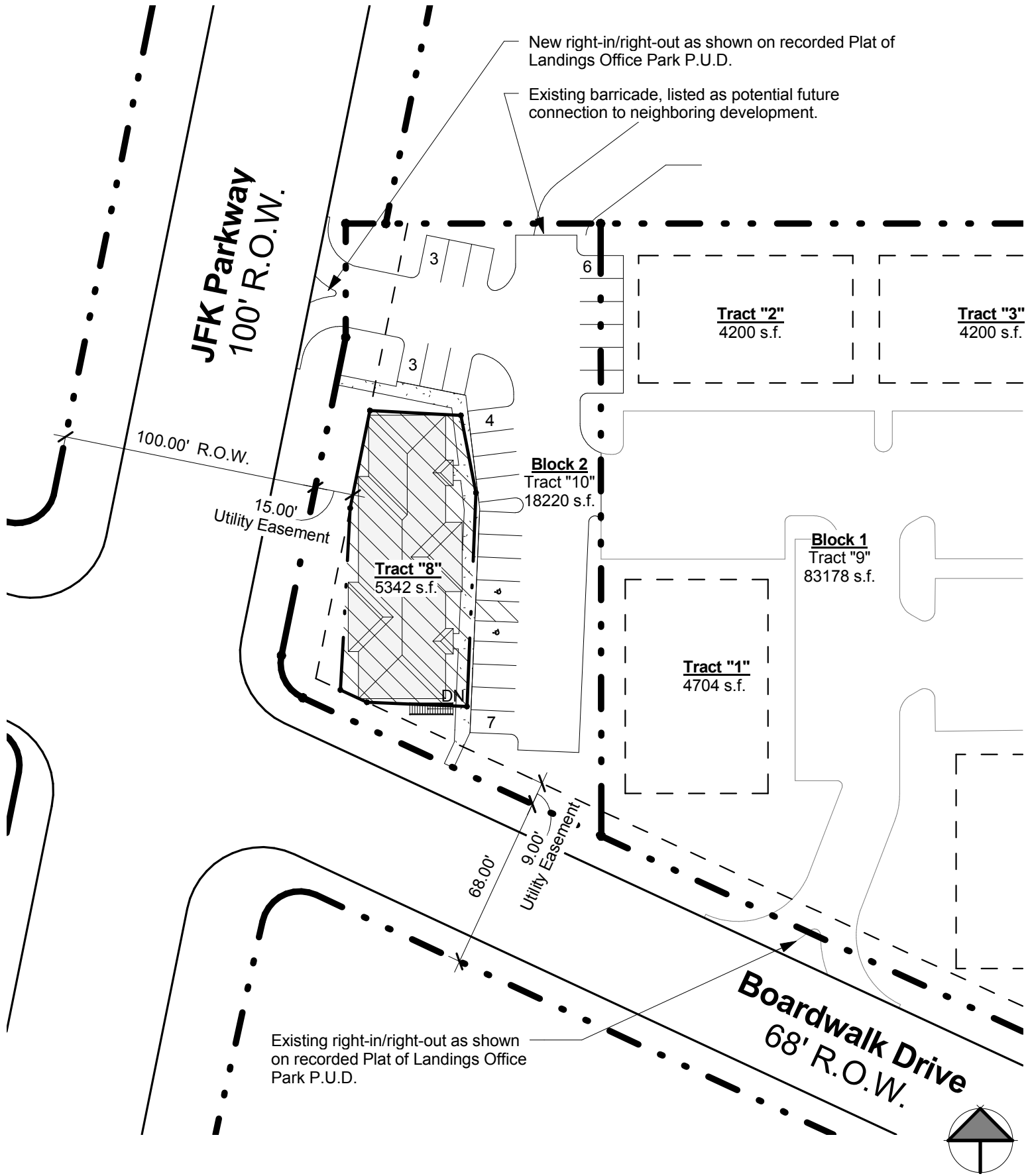
- Standard Spaces: 17
- Handicap Spaces: 2
- Shared Spaces: 6

Building Construction Proposed

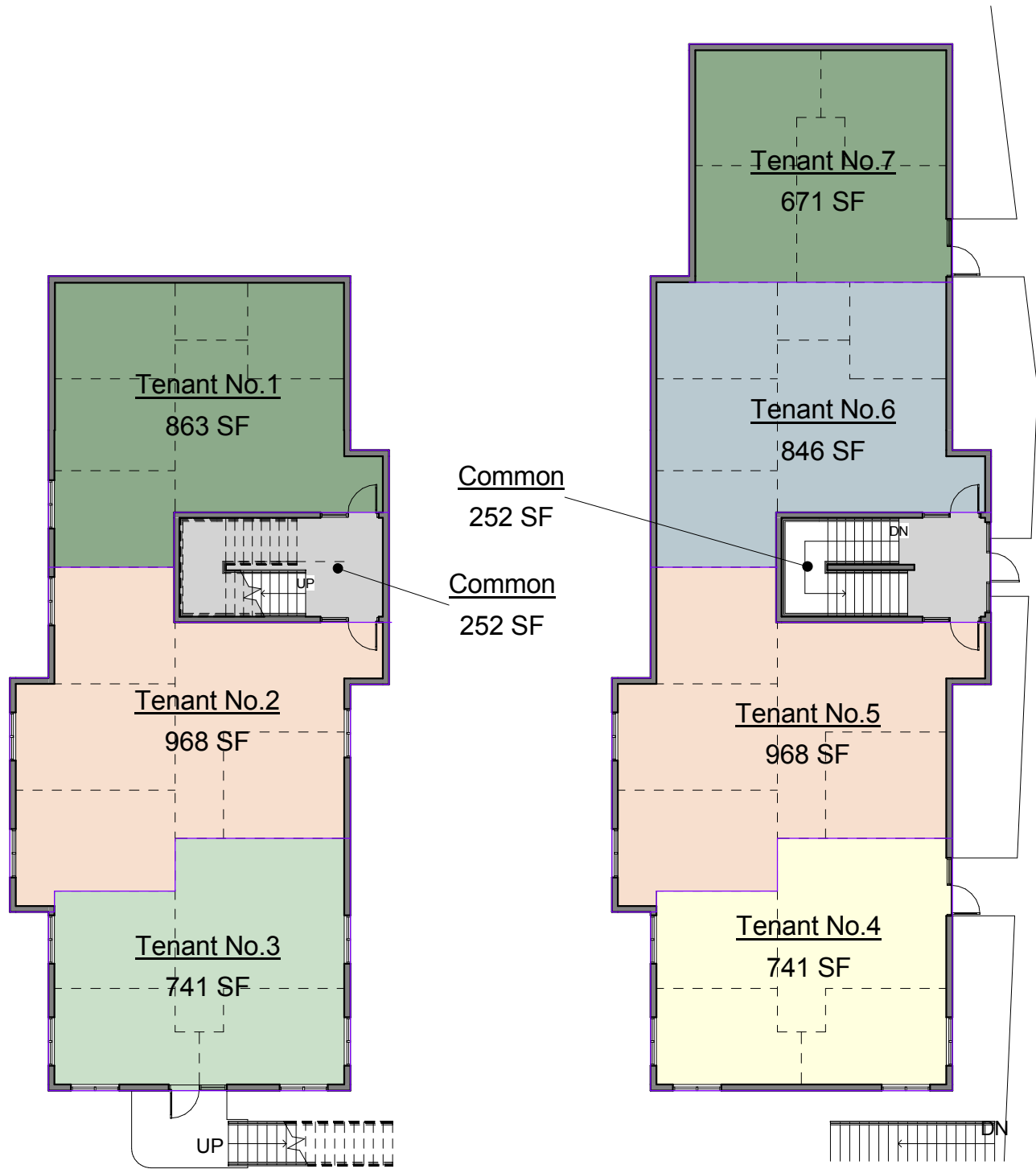
- Type VB Construction
- Fully sprinklered or Fire containment Area



Landings Office Building			Recorded Site Plan & Code		
No.	Description	Date	Project number	2015-23	ARCH-2
			Date	10/1/2015	
			Drawn by	SA	
			Checked by	MR	
			Scale	As indicated	



Landings Office Building			Conceptual Site Plan		
No.	Description	Date	Project number	2015-23	ARCH-3
			Date	10/1/2015	
			Drawn by	SA	
			Checked by	MR	
			Scale	1" = 50'-0"	



1 Lower Floor Plan Walkout Basement
 1/16" = 1'-0" ± 2,824 gsf

2 First Floor Plan
 1/16" = 1'-0" ± 3,478 gsf



Landings Office Building			Conceptual Floor Plans	
No.	Description	Date	Project number	2015-23
			Date	10/1/2015
			Drawn by	SA
			Checked by	MR
			Scale	1/16" = 1'-0"

ARCH-4



Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

November 23, 2015

Stan Arnett
r4 Architects, Inc.
226 Remington St
Unit #3
Fort Collins, CO 80524

Re: 300 Boardwalk Dr - Office

Description of project: This is a request to construct an office building at 300 Boardwalk Dr. (parcel #9736252008). The proposed building will be 6,300 sq. ft. and will occupy the building envelope identified in the Landings Office Park PUD for Block 2, Tract 8. The project will be served by 25 parking spaces. The site is located in the Employment (E) zone district. This proposal will be subject to Administrative (Type I) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clay Frickey, at 970-224-6045 or cfrickey@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Gary Lopez, 970-416-2338, glopez@fcgov.com

1. How will trash be stored? Trash enclosures are required for dumpsters and recycling. Please see LUC 3.2.5.
2. Provide a minimum exterior bicycle parking area of 3 spaces with bike rack and a minimum of 1 bicycle parking space inside the building or separate enclosure. LUC 3.2.2(C)(4).
3. Given the potential mix of medical/financial offices with general office use the 25 spaces shown will not exceed the maximum parking permitted. Normally 19 max. vehicle spaces allowed if 100% general office use.
4. Street Trees along both JFK & Boardwalk required with detached sidewalk from curb following min. standards for street trees.

Department: Water-Wastewater Engineering

Contact: Heather McDowell, 9702246065, hmcowell@fcgov.com

1. 1. There is an existing ¾" irrigation service on this property that stems from the 8" waterline in Boardwalk.

2. 2. A separate water tap will need to be installed for domestic use. The Utility Plan in the Landings Office Park PUD showed a service coming from the 8" waterline that is looped internally through the site.
3. 3. There is an existing 8" sewer main that terminates in a manhole at the eastern edge of this property line. A sewer tap will need to be installed for this site. The Utility Plan in the Landings Office Park PUD showed a service tying into the manhole at the eastern property line.

Department: Transfort

Contact: Timothy Wilder, 970-416-2113, twilder@fcgov.com

1. The bus stop pad for the northbound JFK & Boardwalk will need to be upgraded to current standards for ADA accessibility and new shelter sizing. Bus stop amenities including a shelter meeting the Bus Stop Design Standards may also be required.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. We'll need to work with you on the design of the porkchop. It needs to physically restrict traffic movements.
2. Please provide a narrative on anticipated uses / traffic to ensure that the anticipated traffic is within what was originally proposed.
3. Missing sidewalk frontage will need to be completed along JFK and Boardwalk.

Department: Stormwater Engineering

Contact: Heather McDowell, 9702246065, hmcowell@fcgov.com

1. 1. The design of this site must conform to the drainage basin design of the Mail Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. 2. The drainage design of this site must conform to the approved drainage report for the Landings Office Park PUD. There is an existing stormwater detention pond that was constructed as part of an earlier phase of this development. This site looks like it is intended to drain into that detention pond. The detention pond does not provide water quality, so this project site will be required to provide its own water quality at the site. See the following comment.
3. 3. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs).
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
4. 4. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Standard operating procedures (SOPs) for all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at:
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>

5. 5. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. There is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. The erosion control report requirements are in the Fort Collins Stormwater Manual, Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
6. 6. If any modifications are proposed for the existing detention basin, this comment applies: Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins and bio-retention cells.
7. 7. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
8. 8. Drainage easements will be required to be dedicated for water quality ponds and all volume-based LID components.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. FIRE LANES

Fire access is required to within 150' of all exterior portions of the building perimeter. Fire access cannot be measured from an arterial road and as the project site is at the intersection of two arterials, an Emergency Access Easement will be required. Code language and fire lane specifications provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

> Shall be designated on the plat as an Emergency Access Easement.

> Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead

clearance.

> Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.

> Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.

> The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.

> Be visible by painting and/or signage, and maintained unobstructed at all times.

> Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details.

International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

2. WATER SUPPLY

A fire hydrant is required within 300' of the building as measured along the path of vehicle travel. The existing utility infrastructure available in the area may meet the minimum code requirement, however it is the responsibility of the applicant to verify hydrant location, volume, and pressure. Code language provided below.

> IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building.

3. FIRE CONTAINMENT

The building exceeds 5000 square feet and shall be sprinklered or fire contained. If containment is used, the containment construction shall be reviewed and approved by the Poudre Fire Authority prior to installation.

4. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM TEST

Per recent policy change, PFA will waive the testing requirement and the system installation in all buildings less than 10,000 sq. ft..

Department: Environmental Planning

Contact: Kelly Kimple, , kkimple@fcgov.com

1. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native landscaping is encouraged to the extent possible, as well.
2. The applicant should make note of Article 3.2.1(C) that requires developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or tbuchanan@fcgov.com) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
3. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens and has many sustainability programs and goals that may benefit your project. Of particular interest may be the:
 1. ClimateWise program: fcgov.com/climatewise/
 2. Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf, contact Caroline Mitchell at 970-221-6288 or cmtichell@fcgov.com
 3. Green Building Program: fcgov.com/enviro/green-building.php, contact Tony Raeker at 970-416-4238 or traeker@fcgov.com
 4. Integrated Design Assistance Program: fcgov.com/idap, contact Gary Schroeder at 970-

Please consider the City's sustainability goals and ways for your development to engage with these efforts, and let me know if I can help connect you to these programs.

Department: Engineering Development Review

Contact: Marc Virata, 970-221-6567, mvirata@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see:
<http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveway will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. Sidewalk along JFK Parkway abutting the property and tying into the existing to the north is required in accordance with the City's 4 lane arterial standards.
7. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along an arterial, 8 foot along an alley, and 9 foot along all other street classifications). Additional right-of-way dedication along JFK Parkway will be required to ensure the required sidewalk is fully in right-of-way, with the 15 foot utility easement then provided behind this new right-of-way.
8. A repay is due to the City for its construction of sidewalk and access ramp improvements along Boardwalk Drive to the JFK intersection.
9. The "porkchop" concept design shown for the driveway shown out to JFK will need to be further engineered to help discourage the ability to circumvent the driver from attempting to turn left exiting the driveway.
10. Existing above grade utility pedestals that are either between both current or future public street sidewalks, will need to be either undergrounded or moved 2 feet behind the sidewalk within the utility easement.
11. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
12. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
13. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.
14. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation.

Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.

15. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
16. In regards to construction of this site: The public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

Department: Electric Engineering

Contact: Coy Althoff, , CAlthoff@fcgov.com

1. Light & Power is capable of serving the proposed facility with single phase or three phase power.

Single phase primary power is available along the North side of Boardwalk Dr. and along the East side of John F. Kennedy Pkwy.

Three phase primary power is available along the South side of Boardwalk Dr. and along the West side of John F. Kennedy Pkwy.

2. Development charges, electric capacity fee, Building Site charges and any applicable system modification charges will apply to this development. Comment No. 6 will reference the website that explains this in detail.
3. Please provide a one line diagram and a C-1 form to Light and Power Engineering. The C-1 form can be found at:
<http://zeus.fcgov.com/utills-procedures/files/EngWiki/WikiPdfs/C/C-1Form.pdf>
4. Contact Light and Power Engineering to coordinate the transformer and electric meter locations, please show the locations on the utility plans. Transformers shall be within 10' of a paved surface and must have a minimum of an 8' clearance from the front side and a 3' clearance around the sides and rear.
5. Street trees will need to be adjusted based on the location of the streetlights. Forty feet of clearance to the streetlight will need to be maintained by shade trees and fifteen feet by ornamental trees.
6. Please contact Light & Power Engineering if you have any questions at 221-6700. Please reference our policies, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>.

Planning Services

Contact: Clay Frickey, 970-224-6045, cfrickey@fcgov.com

1. The perimeter of the parking area must meet the requirements of Land Use Code section 3.2.1(E)(4). The parking area must be screened from abutting uses and the street.
2. 6% of the interior of the parking lot needs to be landscaped per Land Use Code section 3.2.1(E)(5).

3. The proposed parking lots exceeds the maximum parking allowed per Land Use Code section 3.2.2(K)(2). The maximum parking allowed is 19 spaces while the proposal shows 25. You will need to either seek a modification to this standard or pursue an exception to the general office parking standard as outlined in Land Use Code section 3.2.2(K)(4).
4. Please submit a lighting plan in accordance to Land Use Code section 3.2.4.
5. The site plan does not show a trash and recycling enclosure. Will you be sharing an enclosure with an adjacent development? Please note this when you submit your PDP.
6. The proposed building must comply with all relevant sections of Land Use Code section 3.5.3 - Mixed-Use, Institutional, and Commercial Building Standards.
7. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
8. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
9. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
10. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
11. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.
12. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
13. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

2012 International Building Code (IBC)
2012 International Residential Code (IRC)
2012 International Energy Conservation Code (IECC)
2012 International Mechanical Code (IMC)
2012 International Fuel Gas Code (IFGC)
2012 International Plumbing Code (IPC) as amended by the State of Colorado
2014 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

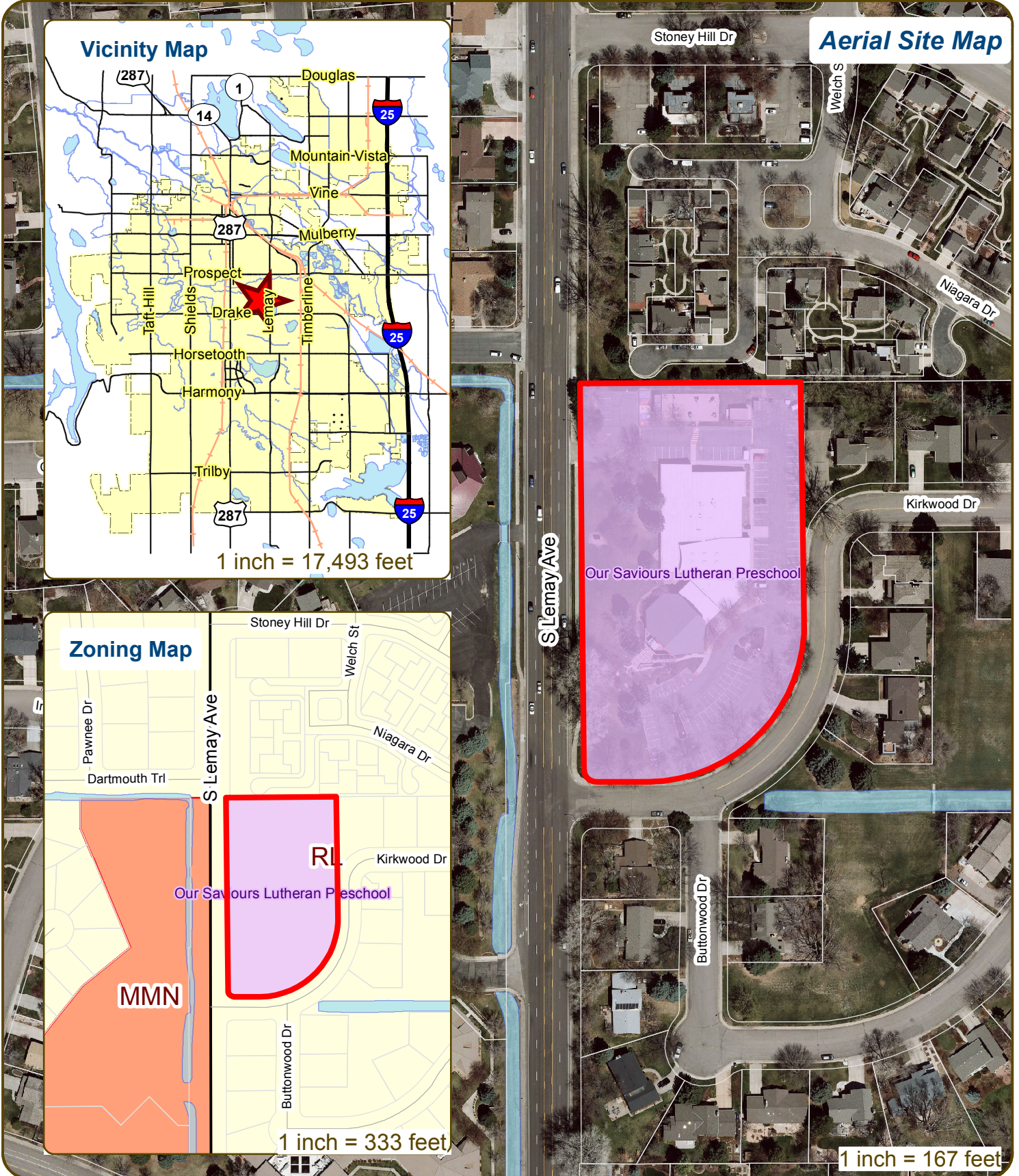
Energy Code Use

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins
Building Services
Plan Review
970-416-2341

2000 S Lemay Ave Addition



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Business Name (if applicable) **Our Saviour's Lutheran Church**

Your Mailing Address 601 S. Broadway, Suite N, Denver, CO 80209

Phone Number (303) 861 1600 Email Address Tvandenburgh@cunningham.com

Site Address or Description (parcel # if no address) 2000 S. Lemay Avenue, Fort Collins, CO 80525

Description of Proposal (attach additional sheets if necessary) An approximate 4500 SF addition and remodel of existing church to gain fellowship, meeting and administrative space.

Proposed Use Church Existing Use Church

Total Building Square Footage 21,000 S.F. Number of Stories 1 Lot Dimensions 3.04 acres

Age of any Existing Structures 48 years

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [] Yes [x] No If yes, then at what risk is it? _____

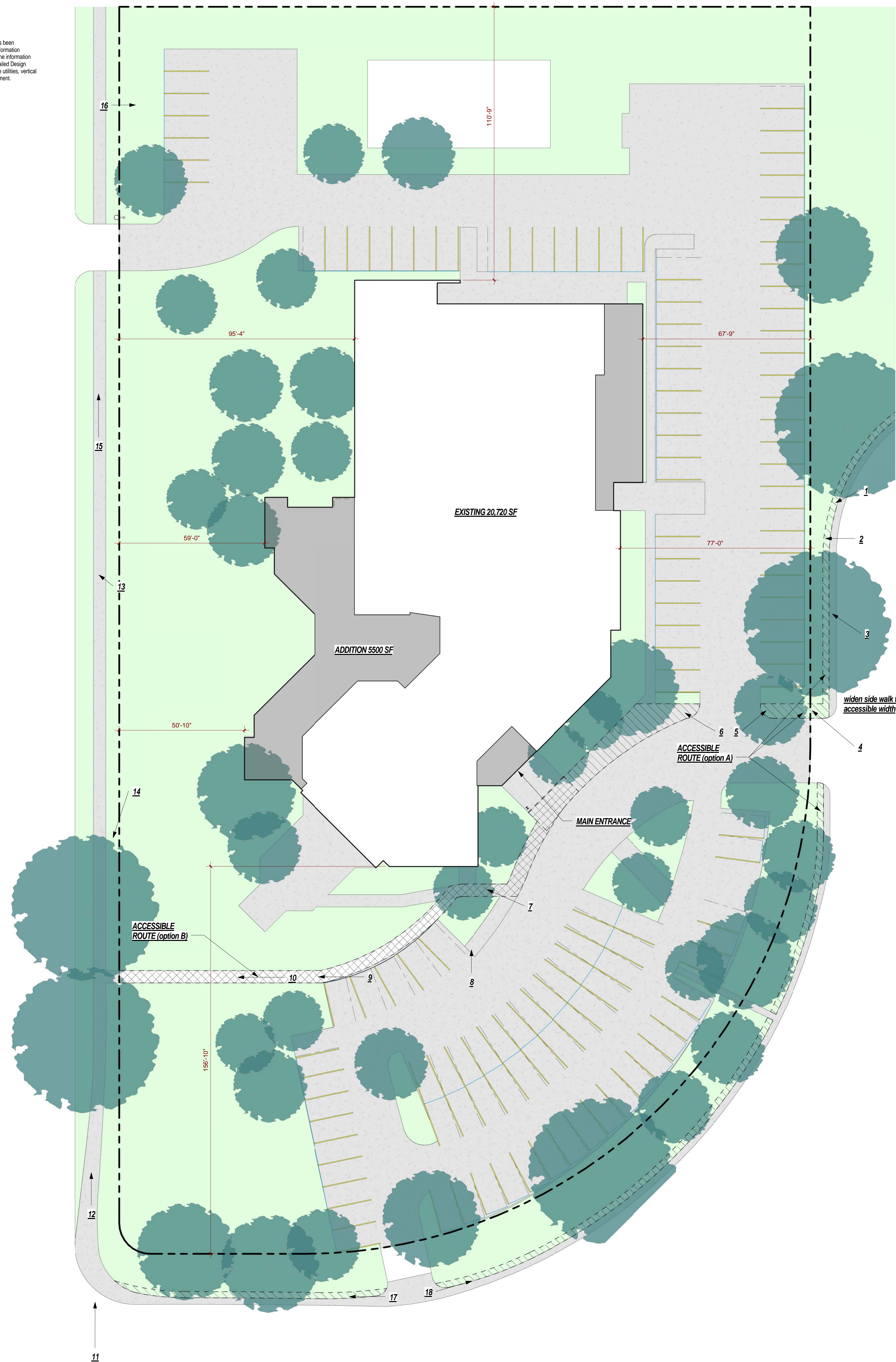
Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 5,512 S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

Note:
This site plan prepared for general master planning purposes. As such, it has been developed based upon baseline prints of documents from past projects and information gathered from public sources (aerial photos, etc.). For increased accuracy, the information contained herein should be verified by a surveyor prior to development of detailed Design Development and Construction Documents. Additional information, such as site utilities, vertical controls and contours will be also be needed prior to detailed project development.






SITE AREA TABLE:

Area	Existing	New	Total
Impervious:			
Building	20,912 SF	5,512 SF	26,424 SF
Parking	46,933 SF	N/A	46,933 SF
Walkway	5,882 SF	714 SF	6,596 SF
		subtotal	79,953 SF
Pervious:			
Landscape	51,680 SF	- 714 SF	52,394 SF
		TOTAL	132,347 SF
			or 3.04 Acres

PHOTO KEY:

SEE CORRESPONDING PHOTOS ON SHEET AS-102
DIRECTION OF PHOTO
PHOTO NUMBER

PATTERN KEY:

-  PROPOSED ADDITION
-  ACCESSIBLE ROUTE OPTION A
-  ACCESSIBLE ROUTE OPTION B

1 Pre-Application Site Plan
AS-101 1" = 20'-0"



1 Photo 1
AS-102 NTS



2 Photo 2
AS-102 NTS



3 Photo 3
AS-102 NTS



4 Photo 4
AS-102 NTS



5 Photo 5
AS-102 NTS



6 Photo 6
AS-102 NTS



7 Photo 7
AS-102 NTS



8 Photo 8
AS-102 NTS



9 Photo 9
AS-102 NTS



10 Photo 10
AS-102 NTS



11 Photo 11
AS-102 NTS



12 Photo 12
AS-102 NTS



13 Photo 13
AS-102 NTS



14 Photo 14
AS-102 NTS



15 Photo 15
AS-102 NTS



16 Photo 16
AS-102 NTS



17 Photo 17
AS-102 NTS



18 Photo 18
AS-102 NTS



19 Photo 19
AS-102 NTS



20 Photo 20
AS-102 NTS



January 05, 2016

Todd Vandenburg
Cunningham Architecture Group, Inc.
601 S Broadway
Suite N
Denver, CO 80209

Re: 2000 S Lemay Ave. - Addition

Description of project: This is a request to build a large addition to Our Saviour's Lutheran Church at 2000 S Lemay (parcel #8719309901). The addition will be 5,500 sq. ft. and will be used for additional administrative, meeting, and fellowship space. The site is located in the Low Density Residential (RL) zone district. This proposal will be subject to a Minor Amendment.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Seth Lorson, at 970-224-6189 or slorson@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Gary Lopez, 970-416-2338, glopez@fcgov.com

1. Additional landscaping islands required on east outside parking row as no more than 15 vehicle spaces allowed without interruption of landscape island within the parking lot.
2. Are there or are there going to be trash enclosures. Dumpsters will be required to be within enclosures meeting LUC 3.2.5.
3. See LUC 3.5 on building standards which include screening of mechanical/hvac, etc. for roof and ground mounted equipment.
4. An additional 5 - 6 Street Trees required along S Lemay. LUC 3.2.1(D)

Department: Water-Wastewater Engineering

Contact: Heather McDowell, 970-224-6065, hmcowell@fcgov.com

1. 1. There is an existing 3/4" irrigation service and a 3/4" domestic water service that both stem from the existing 12" waterline in Lemay Avenue. If the building addition requires a larger water service, the existing service would need to be abandoned at the main and a new service would need to be tapped and extended to the building. Water use calculations would

need to be provided to support any change in water service size. These would be required as part of the Minor Amendment submittal.

2. There is an existing 8" sewer main in Kirkwood Drive. It is assumed that the existing sewer service will not need to change with this building addition. If that changes, please contact Water Utilities Engineering to discuss.

Department: Transfort

Contact: Timothy Wilder, 970-416-2113, twilder@fcgov.com

1. The bus stop pad for the northbound Lemay & Kirkwood stop will need to be upgraded to current standards for ADA accessibility and new shelter sizing. Bus stop amenities including a shelter meeting the Bus Stop Design Standards may also be required.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. Please provide an estimate of additional traffic that will be anticipated due to the addition. This will determine what level (if any) of traffic review is needed.

Department: Stormwater Engineering

Contact: Heather McDowell, 970-224-6065, hmcowell@fcgov.com

1. The design of this site must conform to the drainage basin design of the Foothills Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. If there is an increase in imperviousness greater than 1,000 square feet a drainage and erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. If there is less than 1,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns. If there is less than 1,000 but more than 350 square feet of new impervious area; a site grading and erosion control plan is required instead of a complete construction plan set.
3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2 year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation.
4. Fifty percent of the new impervious area is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
5. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Standard operating procedures (SOPs) for all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at: <http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-develo>

ment

6. 6. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. There is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. The erosion control report requirements are in the Fort Collins Stormwater Manual, Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
7. 7. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins and bio-retention cells.
8. 8. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
9. 9. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
10. 10. Drainage easements will be required to be dedicated for water quantity and water quality ponds and all volume-based LID components.
11. 11. NEW COMMENT since the meeting – the 36” pipe under Kirkwood Drive is actually not a storm pipe, it is an irrigation lateral for Cargill. Developed stormwater runoff from adjacent areas is typically not accepted into irrigation laterals; however, you could contact Cargill to see if they would make an exception. If Cargill won't allow you to discharge into their lateral, then the only stormwater outfall available for this site is into the adjacent streets as there are no buried storm pipes in the nearby vicinity of this property. Shallow detention ponding and controlled stormwater release into an adjacent roadway may be achievable with berming or some other techniques. If you wish to discuss this issue further, please contact Heather McDowell at (970) 224-6065.

Department: Historical Preservation

Contact: Maren Bzdek, 970-221-6206, mbzdek@fcgov.com

1. No historic review is required for this project. The property does not contain buildings 50 years old or older, and there are no historic properties adjacent to the planned development.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. FIRE CONTAINMENT VS FIRE SPRINKLER SYSTEM

Any building or fire area exceeding 5,000 square feet shall be sprinklered or fire separated. If separated, the containment construction shall be reviewed and approved by the Poudre Fire Authority prior to installation. The existing church is not sprinklered and in order for the 5,500 sq. ft. addition not to trigger a fire sprinkler system requirement for the entire church, the addition will need to be fully separated from the main church and have no individual fire area greater than 5,000 sq. ft. Also a fire sprinkler system will be required if the building addition creates a new fire area with an occupant load of 300 or more.

2. FIRE LANES

Fire access is required to within 150' of all exterior portions of the building perimeter. Fire access may not be measured from an arterial road. If an Emergency Access Easement has not previously been dedicated on this property, one will be required with the church addition. Code language and fire lane specifications provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
 - > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
 - > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
 - > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
 - > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
 - > Be visible by painting and/or signage, and maintained unobstructed at all times.
 - > Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details.
- International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

3. WATER SUPPLY

A fire hydrant is required within 300' of the building. It's unclear if this code requirement is being met with the existing utility infrastructure available in the area. It is the responsibility of the applicant to verify hydrant location, volume, and pressure. Code language provided below.

> IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building.

4. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM TEST

The building addition will prompt an emergency radio test. New and existing buildings require a fire department, emergency communication system evaluation after the core/shell but prior to final build out. For the purposes of this section, fire walls shall not be used to define separate buildings. Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with

criteria established by the Poudre Fire Authority. Poudre Fire Authority Bureau Admin Policy #07-01

5. PREMISE IDENTIFICATION

The building address shall be prominently posted on the building and monument sign. Code language provided below.

> IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

6. OTHER COMMENTS

Other fire department comments may be appropriate at time of building permit.

Department: Environmental Planning

Contact: Kelly Kimple, 970-416-2401, kkimple@fcgov.com

1. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native landscaping is encouraged to the extent possible, as well.
2. The applicant should make note of Article 3.2.1(C) that requires developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or tbuchanan@fcgov.com) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
3. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens and has many sustainability programs and goals that may benefit your project. Of particular interest may be the:
 1. ClimateWise program: fcgov.com/climatewise/
 2. Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf, contact Caroline Mitchell at 970-221-6288 or cmtichell@fcgov.com
 3. Green Building Program: fcgov.com/enviro/green-building.php, contact Tony Raeker at 970-416-4238 or traeker@fcgov.com
 4. Integrated Design Assistance Program: fcgov.com/idap, contact Gary Schroeder at 970-224-6003 or gschroeder@fcgov.com

Please consider the City's sustainability goals and ways for your development to engage with these efforts, and let me know if I can help connect you to these programs.

Department: Engineering Development Review

Contact: Sheri Langenberger, 970-221-6573, slangenberger@fcgov.com

1. Katie Sexton ksexton@fcgov.com or 221-6501 will be the Engineer assigned to this project. Please contact her if you have further questions regarding the engineering comments or requirements.

2. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
3. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see:
<http://www.fcgov.com/engineering/dev-review.php>
4. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveways will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along an arterial- Lemay, and 9 foot along Kirkwood Dr). Additional right of way along Lemay Avenue will need to be dedicated to accommodate the planned capital improvement project for future widened bike lanes along the avenue.
7. The sidewalk along Kirkwood Drive doesn't meet ADA requirements for width and we have found in many situations this old Hollywood curb and gutter doesn't meet the ADA x-slope requirements. The sidewalk will need to be widened, replaced or a new detached sidewalk provided that meets ADA requirements along the frontage. Due to the trees and the narrow area between the curb line and the parking lot this will take some coordination to see how this can be done. It would take some additional design, but it is a possibility that the curb line/ flowline of the street could be moved (the street narrowed slightly), which could allow for the needed room for the sidewalk.
8. Utility plans prepared, signed, stamped by CO licensed PE will be required and a Development Agreement will be recorded once the project is finalized.
9. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
10. LCUASS parking setbacks (Figure 19-6) apply and although the parking lot is existing we will want to look at whether the standard is being met.
11. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
12. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
13. In regards to construction of this site. The public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be

required to be provided to the City as a part of the Development Construction Permit application.

14. Any easements required by the project will be processed separately. Additional information on this process can be found at: <http://www.fcgov.com/engineering/devrev.php>

Department: Electric Engineering

Contact: Coy Althoff, , CAlthoff@fcgov.com

1. The existing facility is fed by a 150kVA 3-phase 120/208V transformer.

Any changes to the existing electric capacity and or location will initiate added kVA charges and system modification charges. Please coordinate power requirements with Light and Power Engineering. Once the new transformer location has been determined, please contact Light & Power to assist you with estimating the associated costs.

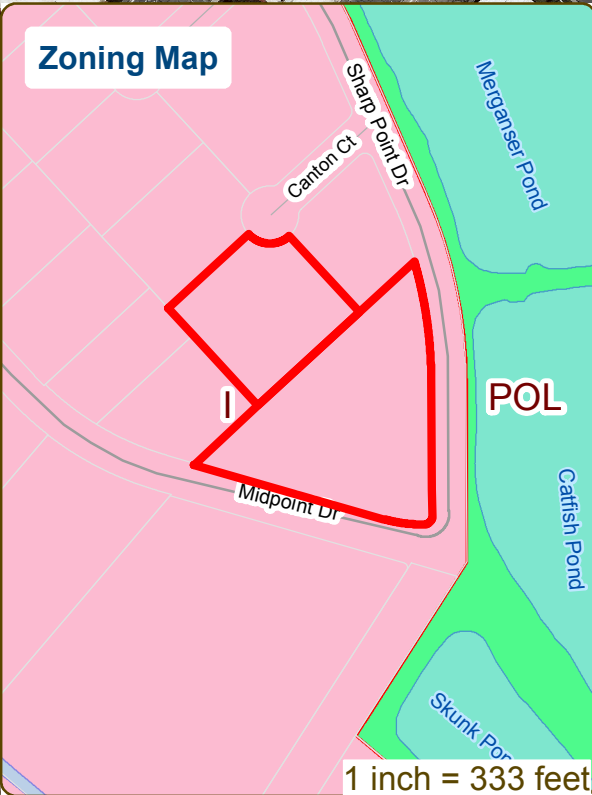
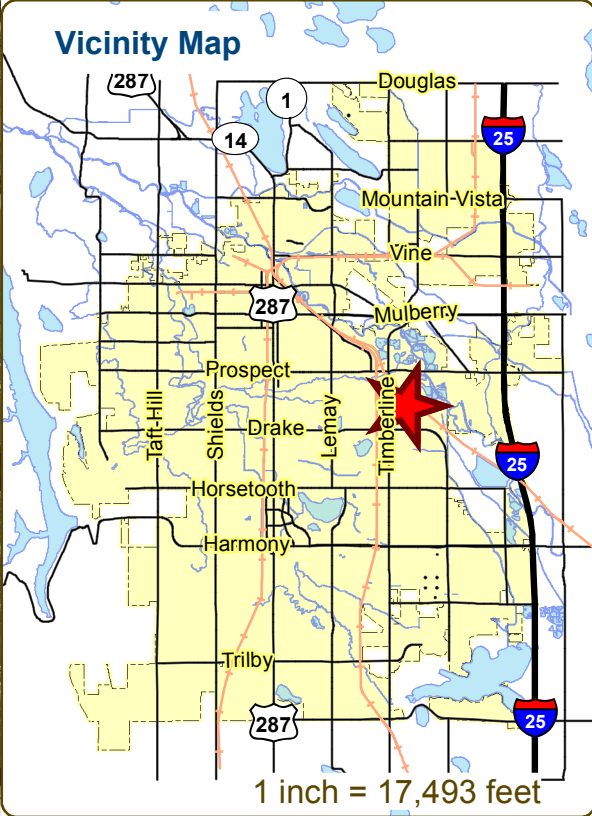
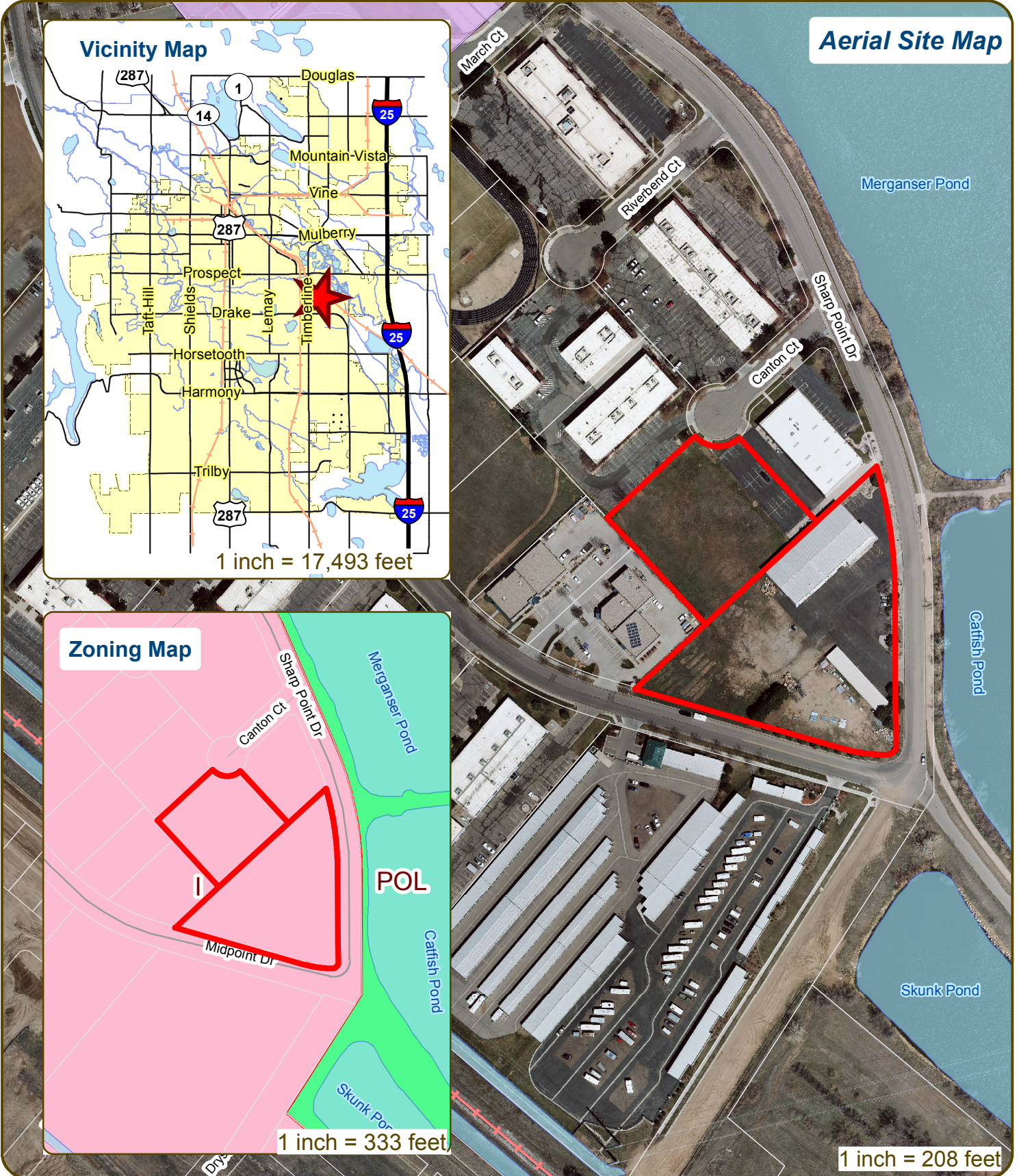
2. Please provide a one line diagram and a C-1 form to Light and Power Engineering. The C-1 form can be found at:
<http://zeus.fcgov.com/utills-procedures/files/EngWiki/WikiPdfs/C/C-1Form.pdf>
3. Please contact Light & Power Engineering if you have any questions at 221-6700. Please reference our policies, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>.

Planning Services

Contact: Seth Lorson, 970-224-6189, slorson@fcgov.com

1. The proposed addition is subject to a Minor Amendment review that is administratively approved.
2. Access via a 6' wide sidewalk will need to be provided from the Lemay Street sidewalk to the building entrance.
3. Street trees should be provided between the street and sidewalk at 35' - 40' increments for the entirety of the site.
4. Elevations of the building additions need to be provided with the Minor Amendment.
5. The proposed development is subject to a Minor Amendment Review, please contact the Zoning Department regarding your formal submittal.

2601 Canton Ct & 2025 Sharp Point Dr Light Industrial



Aerial Site Map

1 inch = 208 feet

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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

DANIEL R. BERNTH (OWNER)

Business Name (if applicable) DDBERSTEIN LEMBURG COMMERCIAL, INC

Your Mailing Address 1401 RIVERSIDE AVENUE STE A F.C. CO 80524

Phone Number (970) 221-1965x2 Email Address DAN@DLCCO.COM

Site Address or Description (parcel # if no address) 2601 CANTON COURT & 2025 SHARPPPOINT DRIVE

Description of Proposal (attach additional sheets if necessary) 2601 - NEW BUILDING 9000 +/- SF & 2025 - ADDITION 16000 +/- SF

Proposed Use 2601 - LAND & 2025 - BUDG Existing Use INDUSTRIAL BLDGS

Total Building Square Footage 9000 +/- 16000 S.F. Number of Stories 1 Lot Dimensions 200' x 200'

Age of any Existing Structures 2025 -> 1984 & 275' x 342' (TRIANGLE)

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? Yes No If yes, then at what risk is it? _____

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 2601 - 9000 SF & 2025 - 16,000 # S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested Items for the Sketch Plan:

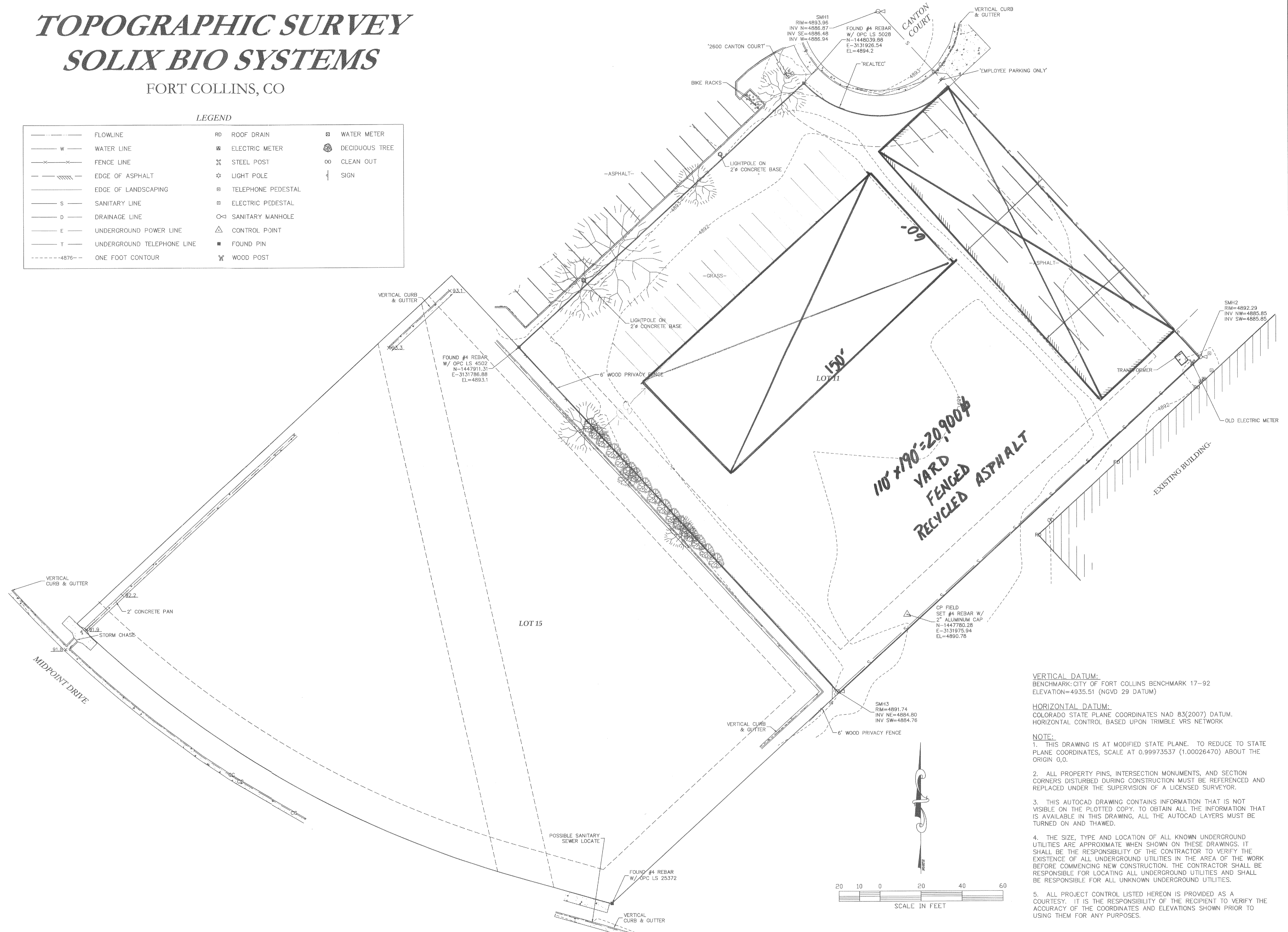
Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

TOPOGRAPHIC SURVEY SOLIX BIO SYSTEMS

FORT COLLINS, CO

LEGEND

	FLOWLINE		ROOF DRAIN		WATER METER
	WATER LINE		ELECTRIC METER		DECIDUOUS TREE
	FENCE LINE		STEEL POST		CLEAN OUT
	EDGE OF ASPHALT		LIGHT POLE		SIGN
	EDGE OF LANDSCAPING		TELEPHONE PEDESTAL		
	SANITARY LINE		ELECTRIC PEDESTAL		
	DRAINAGE LINE		SANITARY MANHOLE		
	UNDERGROUND POWER LINE		CONTROL POINT		
	UNDERGROUND TELEPHONE LINE		FOUND PIN		
	ONE FOOT CONTOUR		WOOD POST		



VERTICAL DATUM:
BENCHMARK: CITY OF FORT COLLINS BENCHMARK 17-92
ELEVATION=4935.51 (NGVD 29 DATUM)

HORIZONTAL DATUM:
COLORADO STATE PLANE COORDINATES NAD 83(2007) DATUM.
HORIZONTAL CONTROL BASED UPON TRIMBLE VRS NETWORK

NOTE:

1. THIS DRAWING IS AT MODIFIED STATE PLANE. TO REDUCE TO STATE PLANE COORDINATES, SCALE AT 0.99973537 (1.00026470) ABOUT THE ORIGIN 0,0.
2. ALL PROPERTY PINS, INTERSECTION MONUMENTS, AND SECTION CORNERS DISTURBED DURING CONSTRUCTION MUST BE REFERENCED AND REPLACED UNDER THE SUPERVISION OF A LICENSED SURVEYOR.
3. THIS AUTOCAD DRAWING CONTAINS INFORMATION THAT IS NOT VISIBLE ON THE PLOTTED COPY. TO OBTAIN ALL THE INFORMATION THAT IS AVAILABLE IN THIS DRAWING, ALL THE AUTOCAD LAYERS MUST BE TURNED ON AND THAWED.
4. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
5. ALL PROJECT CONTROL LISTED HEREON IS PROVIDED AS A COURTESY. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THE ACCURACY OF THE COORDINATES AND ELEVATIONS SHOWN PRIOR TO USING THEM FOR ANY PURPOSES.

DATE:	5-11-2011
FILE NAME:	2011201TOP
SCALE:	1"=20'
DRAWN BY:	SIP
CHECKED BY:	RE

KING SURVEYORS, INC.
650 E. Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | fax: (970) 686-5821

DATE:	
REVISIONS:	

TOPOGRAPHIC SURVEY
FOR
NORTHSTAR DESIGN
700 AUTOMATION DRIVE #1
WINDSOR, CO 80550

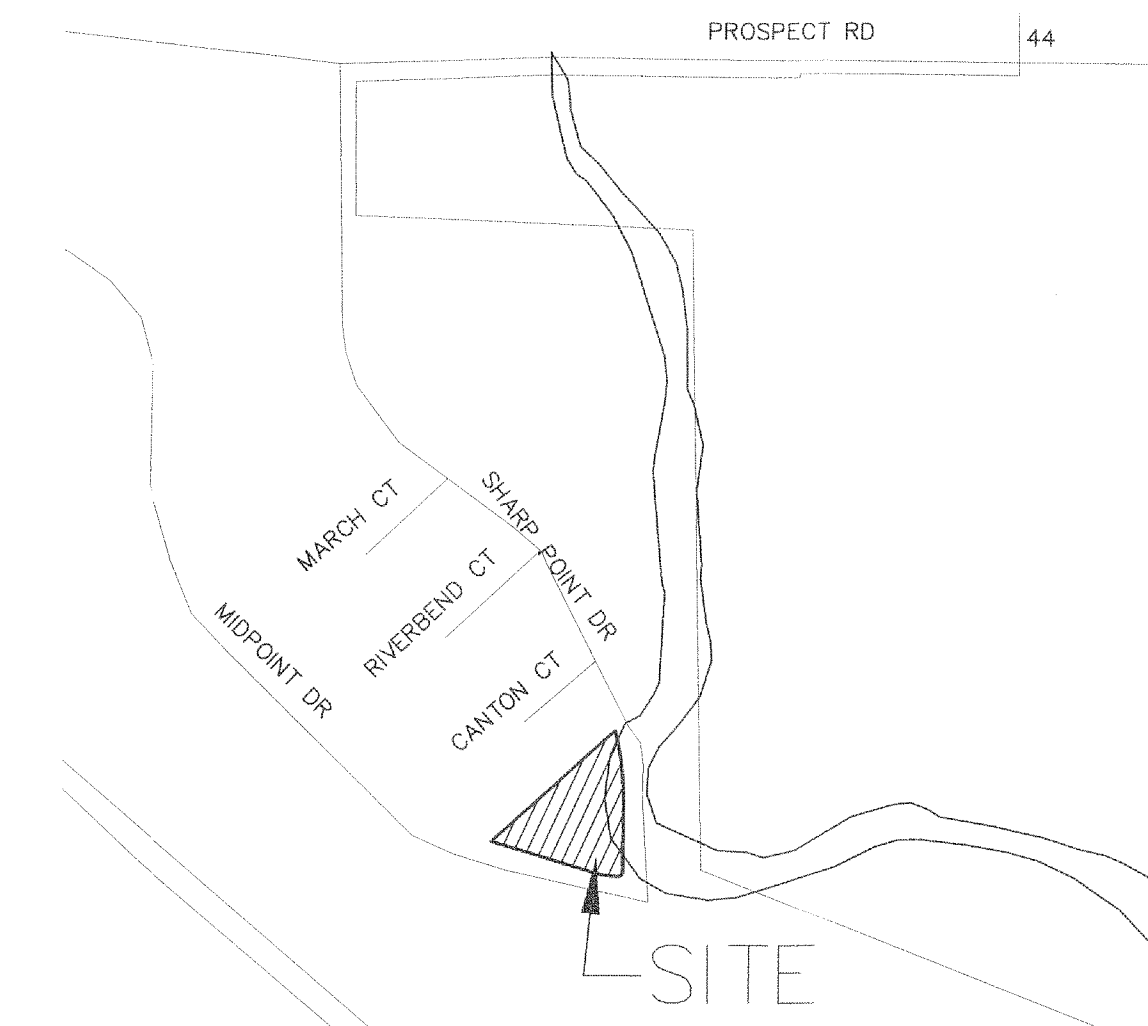
PROJECT #
2011201

1

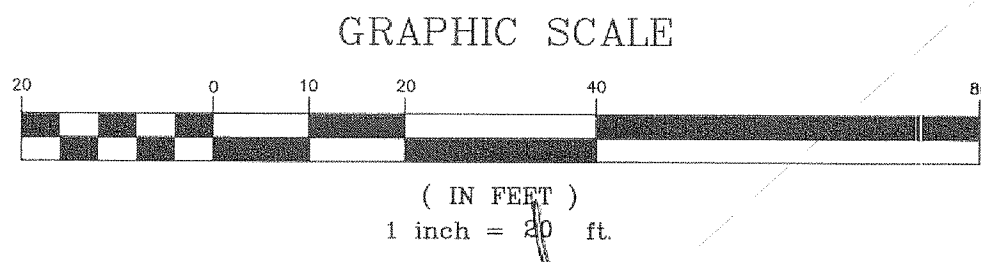
SHEET 1 OF 1

ALTA/ACSM LAND TITLE SURVEY

LOTS 13&14, PROSPECT INDUSTRIAL PARK SUBDIVISION, SITUATE IN SECTION 20, TOWNSHIP 7 NORTH, RANGE 68 WEST AND OF THE OF THE 6TH P.M., COUNTY OF LARIMER, STATE OF COLORADO



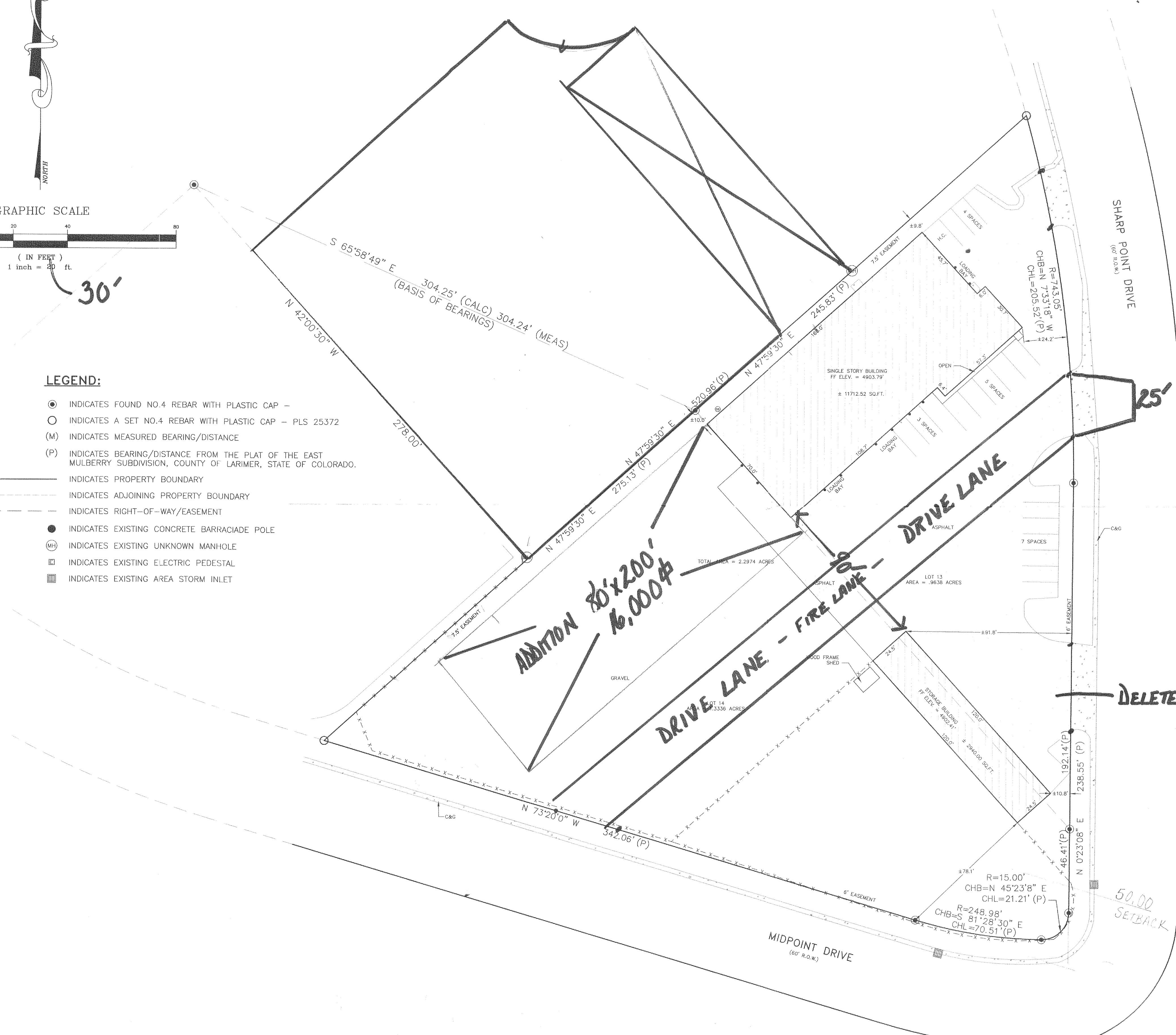
VICINITY MAP
SCALE: 1"=±600'



30'

LEGEND:

- INDICATES FOUND NO.4 REBAR WITH PLASTIC CAP -
- INDICATES A SET NO.4 REBAR WITH PLASTIC CAP - PLS 25372
- (M) INDICATES MEASURED BEARING/DISTANCE
- (P) INDICATES BEARING/DISTANCE FROM THE PLAT OF THE EAST MULBERRY SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO.
- INDICATES PROPERTY BOUNDARY
- - - INDICATES ADJOINING PROPERTY BOUNDARY
- - - INDICATES RIGHT-OF-WAY/EASEMENT
- INDICATES EXISTING CONCRETE BARRIACADE POLE
- ⊕ INDICATES EXISTING UNKNOWN MANHOLE
- ⊞ INDICATES EXISTING ELECTRIC PEDESTAL
- ⊠ INDICATES EXISTING AREA STORM INLET



LEGAL DESCRIPTION:

(FROM LAND TITLE GUARANTEE COMPANY COMMITMENT NO. FCC25082397)

LOTS 13 AND 14, PROSPECT INDUSTRIAL PARK SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO.

2025 SHARP POINT DRIVE - FORT COLLINS, COLORADO 80525

(CONTAINS A CALCULATED AREA OF 100074.74 SQUARE FEET OR 2.2974 ACRES, MORE OR LESS, BY THIS SURVEY)

SCHEDULE-B EXCEPTIONS:

(FROM LAND TITLE GUARANTEE COMPANY COMMITMENT NO. FCC25082397)

(NUMBERS CORRESPOND TO TITLE COMMITMENT EXCEPTION NUMBER)

- (1-8) STANDARD EXCEPTIONS
- (9-10) EASEMENTS AS SHOWN
- (11) EASEMENT TERMINATED
- (12) EASEMENTS AS SHOWN
- (13-15) NOT PLOTTABLE
- (16) EASEMENTS AS SHOWN
- (17) NOT PLOTTABLE

SURVEYORS CERTIFICATE:

TO: DOBERSTEIN LEMBURG COMMERCIAL, INC.
LAND TITLE GUARANTEE CO.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 10, & 11(a) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

RICKY J. LEWIS, PLS 25372

DATE

NOTES:

- 1.) THIS SURVEY WAS PREPARED FOR THE INTENDED USE TO SHOW THE RE-ESTABLISHMENT OF THE FOREGOING LEGAL DESCRIPTION.
- 2.) THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES AS NAMED IN THE CERTIFICATE SHOWN HEREON. SAID CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITY WITHOUT AN EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SUCH PERSON OR ENTITY.
- 3.) THIS PLAT SHOULD NOT BE RELIED UPON FOR LOCATION OF UNDERGROUND UTILITIES. ONLY VISIBLE EVIDENCE OF SUCH UTILITIES ARE SHOWN HEREON AND ARE APPROXIMATE. CALL UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 FOR THE MARKING OF UNDERGROUND UTILITIES.
- 5.) ACCORDING TO FEDERAL FLOOD INSURANCE RATE MAPS, THIS PROPERTY IS LOCATED WITHIN:
PANEL NO. 080102-0012-C
DATED MARCH 18, 1996
ZONE X
- 6.) BASIS OF BEARINGS - (REFERENCED) BEARINGS FOR THIS SURVEY ARE BASED ON THE CALCULATED LINE BETWEEN TWO FOUND MONUMENTS AS SHOWN AT THE NORTHWEST CORNER OF LOT 15 AND THE NORTHWEST CORNER OF LOT 14 OF THE PLAT OF PROSPECT INDUSTRIAL PARK. SAID CALCULATED BEARING BEING S 65°58'49" E.
- 7.) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

DATE: 7/09/2008 DRAWN: WNM
SCALE: 1"=30' CHECKED: RJL
FIELD BOOK: APPROVED: _____

TITLE: ALTA / ACSM LAND TITLE SURVEY

R.J.L. SURVEYS
113 CAMERON DRIVE, SUITE B 80525
FORT COLLINS, COLORADO
(970) 226-3007 FAX (970) 226-3027

CLIENT: DOBERSTEIN LEMBURG COMMERCIAL, INC.

PROJECT NO. 08-2827

SHEET NO. 1

NO. OF SHEETS 1



Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

January 05, 2016

Dan Bernth
Doberstein Lemburg Commercial, Inc.
1401 Riverside Ave
Suite A
Fort Collins, CO 80524

Re: 2601 Canton Ct & 2025 Sharp Point Dr - Light Industrial

Description of project: This is a request to build a new building at 2601 Canton Ct and build an addition to the existing building at 2025 Sharp Point Dr (parcel #s 8720105011 and 8720105013). The parcels are adjacent to one another and might be replatted as part of this proposal. The new building on Canton Ct will be 9,000 sq. ft. and the addition on Sharp Point Dr will be 16,000 sq. ft. Both parcels are located in the Industrial (I) zone district. This proposal will be subject to Administrative (Type I) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ryan Mounce, at 970-224-6186 or rmounce@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Ali van Deutekom, 970-416-2743, avandeutekom@fcgov.com

1. LUC 3.2.2(K)(5) Handicap parking spaces are required in numbers per this section. If you have 1-25 parking spaces you'll need one van accessible handicap space.
2. Light sources shall be concealed and fully shielded and shall feature sharp cut-off capability so as to minimize up-light, spill-light, glare and unnecessary diffusion on adjacent property.
3. LUC 3.5.1 (I) (6) All rooftop mechanical equipment shall be screened from public view from both above and below by integrating it into building and roof design to the maximum extent feasible

Department: Water-Wastewater Engineering

Contact: Heather McDowell, 970-224-6065, hmcowell@fcgov.com

1. 1. At 2601 Canton Court, there is an existing ¾" water service stubbed into the property. If the new building requires a larger water service, the existing service would need to be abandoned at the main and a new service would need to be tapped and extended to the lot.

Water use calculations would need to be provided to support any change in water service size.

2. 2. At 2025 Sharp Point Drive, there is an existing ¾-inch_z water service and a fire service to the existing building. There is also an existing water stub from Midpoint Drive and a sewer stub from the sanitary sewer running along the lot line. If the building addition requires a larger water service, the existing service would need to be abandoned at the main and a new service would need to be tapped and extended to the building. Water use calculations would need to be provided to support any change in water service size.
3. 3. Along the property lines of both sites, there is an 8-inch_z sanitary sewer main. Any new sewer services would need to be tapped into the main line. Any new building construction would need to be at least 10' away from the sanitary sewer main and/or outside of the existing sewer main easement.
- 3.

Department: Traffic Operations

Contact: Martina Wilkinson, 970-221-6887, mwilkinson@fcgov.com

1. Please contact me to determine whether further traffic review is needed for these projects. If both move forward together, we'll likely need a traffic memo.
2. Missing sidewalks along street frontage will need to be included.

Department: Stormwater Engineering

Contact: Heather McDowell, 970-224-6065, hmcowell@fcgov.com

1. 1. The design of this site must conform to the drainage basin design of the Cache la Poudre River Master Drainageway Plan as well the Fort Collins Stormwater Criteria Manual.
2. 2. If there is an increase in imperviousness greater than 1,000 square feet a drainage and erosion control report and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. If there is less than 1,000 square feet of new impervious area on an existing development, a drainage letter along with a grading plan should be sufficient to document the existing and proposed drainage patterns. If there is less than 1,000 but more than 350 square feet of new impervious area; a site grading and erosion control plan is required instead of a complete construction plan set.
3. 3. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1,000 square feet, onsite detention is required with a 2-year historic release rate for water quantity (or a release rate that matches the current release rate from the site). Parking lot detention for water quantity is allowed as long as it is not deeper than one foot. If there is less than 1000 but more than 350 square feet of new impervious area, a site grading plan is required along with the impervious area documentation.

- It appears as though the surrounding sites direct stormwater to the ponds adjacent to Sharp Point Drive. If you're contemplating that same approach for this site, a written agreement from the property owner of the pond site would be required to be provided to the City to sufficiently show that the property owner understands and accepts the additional stormwater, or show that the original drainage analysis for the pond capacity had planned for development from this site.

4. 4. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management

Practices (BMPs).

(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged

5. 5. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment for 50% of the new impervious area and 25% of new paved areas must be pervious. Standard operating procedures (SOPs) for all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at: <http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
6. 6. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. There is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. The erosion control report requirements are in the Fort Collins Stormwater Manual, Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
7. 7. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins and bio-retention cells.
8. 8. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
9. 9. The city wide Stormwater development fee (PIF) is \$7,817/acre (\$0.1795 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.
10. 10. Drainage easements will be required to be dedicated for water quantity and water quality ponds and all volume-based LID components.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. FIRE LANES

Fire access is required to within 150' of all exterior portions of the building perimeter. This distance may be extended when the building is equipped with an automatic fire sprinkler system.

2601 Canton Ct:

An Emergency Access easement will need to be dedicated in order to meet minimum access requirements.

2025 Sharp Point Dr:

An Emergency Access Easement will be required and one is proposed on the south side of the property, however there is a portion of the north side of the building which will become out of access with the building addition. This condition is acceptable if both the existing building and new addition will be equipped with a fire sprinkler system. Code language and fire lane specifications provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
 - > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
 - > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
 - > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
 - > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
 - > Be visible by painting and/or signage, and maintained unobstructed at all times.
 - > Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details.
- International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

2. FIRE CONTAINMENT VS FIRE SPRINKLER SYSTEM

2601 Canton Ct:

The building exceeds 5000 square feet and shall be sprinklered or fire contained. If containment is used, the containment construction shall be reviewed and approved by the Poudre Fire Authority prior to installation. Also bear in mind that fire access, occupancy classification, and occupant load may drive other sprinkler requirements.

2025 Sharp Point Dr:

The 16,000 sq. ft. addition creates a large building footprint which places a portion of the north side of the building, out of fire access. This is acceptable if the current sprinkler system is going to be extended into the new addition.

3. WATER SUPPLY

A fire hydrant is required within 300' of any commercial building as measured along a path of vehicle travel.

2601 Canton Ct:

The nearest hydrant appears to be on the corner of Sharp Point Dr. and Canton Ct. The building distance to hydrant appears to exceed 300' and another hydrant may be required.

Further information will be required. Applicant to verify hydrant distance, volume, and pressure.

2025 Sharp Point Dr:

The closest hydrant to the existing building appears to be approximately 330' away and on the corner of Sharp Point Dr. and Midpoint Dr. The proposed building addition and access connection at the SW portion of the site may provide a hydrant within the maximum allowable 300' distance. Applicant to verify hydrant location, volume, and pressure. Code language provided below.

> IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building.

4. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM TEST

2601 Canton Ct:

Per recent policy change, PFA will waive the testing requirement and the system installation in all buildings less than 10,000 sq. ft..

2025 Sharp Point Dr:

The size of the building will prompt an emergency responder amplification test. Code language provided below.

New buildings require a fire department, emergency communication system evaluation after the core/shell but prior to final build out. For the purposes of this section, fire walls shall not be used to define separate buildings. Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority. Poudre Fire Authority Bureau Admin Policy #07-01

5. OTHER COMMENTS

Other fire department comments may be due at time of building permit.

Department: Environmental Planning

Contact: Kelly Kimple, 970-416-2401, kkimple@fcgov.com

1. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat (Merganser and Cattfish Ponds). However, as there are intervening buildings and a road between the ponds and this property, and the standard buffer would not extend to this project, the ECS is waived for this site. Please consider though the use of native plants and grasses to complement the natural features, in accordance with Article 3.2.1 (E)(2)(3) of the Land Use Code.
2. The applicant should make note of Article 3.2.1(C) that requires developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or tbuchanan@fcgov.com) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
3. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native landscaping is encouraged to the extent possible, as well.

Department: Engineering Development Review

Contact: Sheri Langenberger, 970-221-6573, slangenberger@fcgov.com

1. Marc Ragasa mragasa@fcgov.com or 221-6603 will be the Engineer assigned to this project. Please contact him if you have further questions regarding the engineering comments or requirements.
2. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
3. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see:
<http://www.fcgov.com/engineering/dev-review.php>
4. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveway will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. This shall including the standard utility easements that are to be provided behind the right-of-way (9 foot). Additional right-of-way along the street frontages may need to be dedicated in order to accommodate the required detached sidewalk.
7. As proposed, the drive lane through the site could see potential cut through traffic between Sharp Point Drive and Midpoint Drive. It is suggested to reconfigure the drive lane to prevent cut through traffic.
8. There are currently no sidewalks along Midpoint Drive and Sharp Point Drive. Minor Collector standards call for a minimum 5' sidewalk with an 8' parkway. Sidewalk along the cul-de-sac frontage will also need to be designed and installed meeting minimum City and ADA standards.
9. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
10. The driveway spacing as well as the entry angles into the site for the driveways will need to meet standards. The entrance angle for all driveway approaches shall be 90 degrees plus or minus 10 degrees for a minimum of 25 feet measured perpendicular to the street from the curb. The minimum distance between driveway edges is 30'.
11. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
12. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design. For a collector roadway, the minimum setback is 50' from the flowline.
13. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in

non-compliance.

14. Any rain gardens within the right-of-way cannot be used to treat the development/ site storm runoff. We can look at the use of rain gardens to treat street flows – the design standards for these are still in development.
15. In regards to construction of this site. The public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

Department: Electric Engineering

Contact: Coy Althoff, , CAlthoff@fcgov.com

1. Three phase primary power is available in this area. The current facility at 2025 Sharp Point Dr. is fed by a 150kVA 3-phase 120/208 transformer.
2. Any changes to the existing electric capacity and or location will initiate electric development and system modification charges. New Development charges would apply to the 2601 address. Please coordinate power requirements with Light and Power Engineering. Comment No. 5 will refer you to our website with details associated with electric utility fees.
3. Please provide a one line diagram and a C-1 form to Light and Power Engineering. The C-1 form can be found at:
<http://zeus.fcgov.com/utills-procedures/files/EngWiki/WikiPdfs/C/C-1Form.pdf>
4. Transformer locations shall be within 10' of a paved surface and must have a minimum of an 8' clearance from the front side and a 3' clearance around the sides and rear.
5. Please contact Light & Power Engineering if you have any questions at 221-6700. Please reference our policies, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>.
6. A utility easement may need to be dedicated to extend primary power from the 2025 address to the 2601 address.

Planning Services

Contact: Ryan Mounce, 970-224-6186, rmounce@fcgov.com

1. Any replatting of the lots automatically triggers a Type 1 (Administrative) review process with a public hearing.
2. 2601 Canton Court: Proposed land-uses and buildings as described can be reviewed through an Administrative (Type 1) process.
3. 2025 Sharp Point Drive: The review process for this parcel will be based on the final configuration of proposed changes. A smaller building addition and site changes may be able to be processed as a minor amendment. A larger building addition and major site changes that are considered a change in character would require Administrative (Type 1) review.
4. Prior to submitting either project, please contact me and we can discuss the appropriate review process and new submittal procedures for the Development Review Center.
5. Street frontage improvements (i.e. detached sidewalk, street trees) are needed along the roads abutting the development site.
6. In the Industrial zone district, additions and new structures are required to utilize neutral or

darker shades and to avoid white, bright or reflective colors.

7. Areas of outdoor storage will need to be screened with a solid wall in combination with landscaping. The storage areas must be a minimum of 20-feet from public streets and sidewalks.
8. Vehicle parking requirements are based on the specific land-use and would be determined separately for each project. Requirements for the land-uses described at the meeting are listed below:

Industrial: Minimum 1 space per 2 employees
Workshop/Small Industry: 1 space per 1,000 sf
Business & Service Shop: 2 spaces per 1,000 sf

Bicycle parking will also be required for each project. For industrial land-uses, 4 bicycle parking spaces are required.

9. Other site plan elements to keep in mind include:
 - Trash enclosures
 - Handicap parking spaces
 - Parking lot landscaping (interior and perimeter requirements)
 - Lighting/Photometric Plan (special sensitivity to nearby natural area east of the site)
10. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
11. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
12. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
13. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
14. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.
15. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
16. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.
17. Save the Poudre has requested to be contacted whenever a project is proposed within 800' of the Poudre River. Please add the following address to your APO labels: Save the Poudre, c/o Gary Wockner, PO Box 20, Fort Collins, CO 80522-0020.