

Conceptual Review Agenda

Schedule for 11/07/16 to 11/07/16

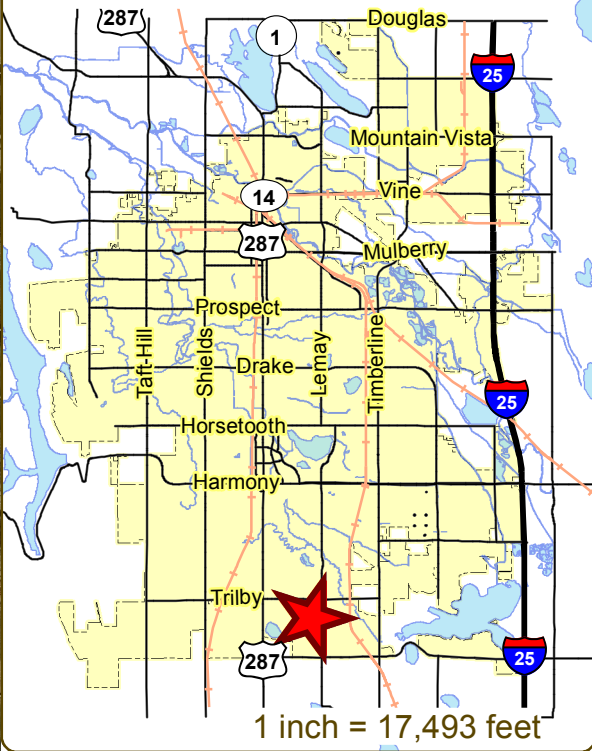
281 Conference Room A

Monday, November 7, 2016

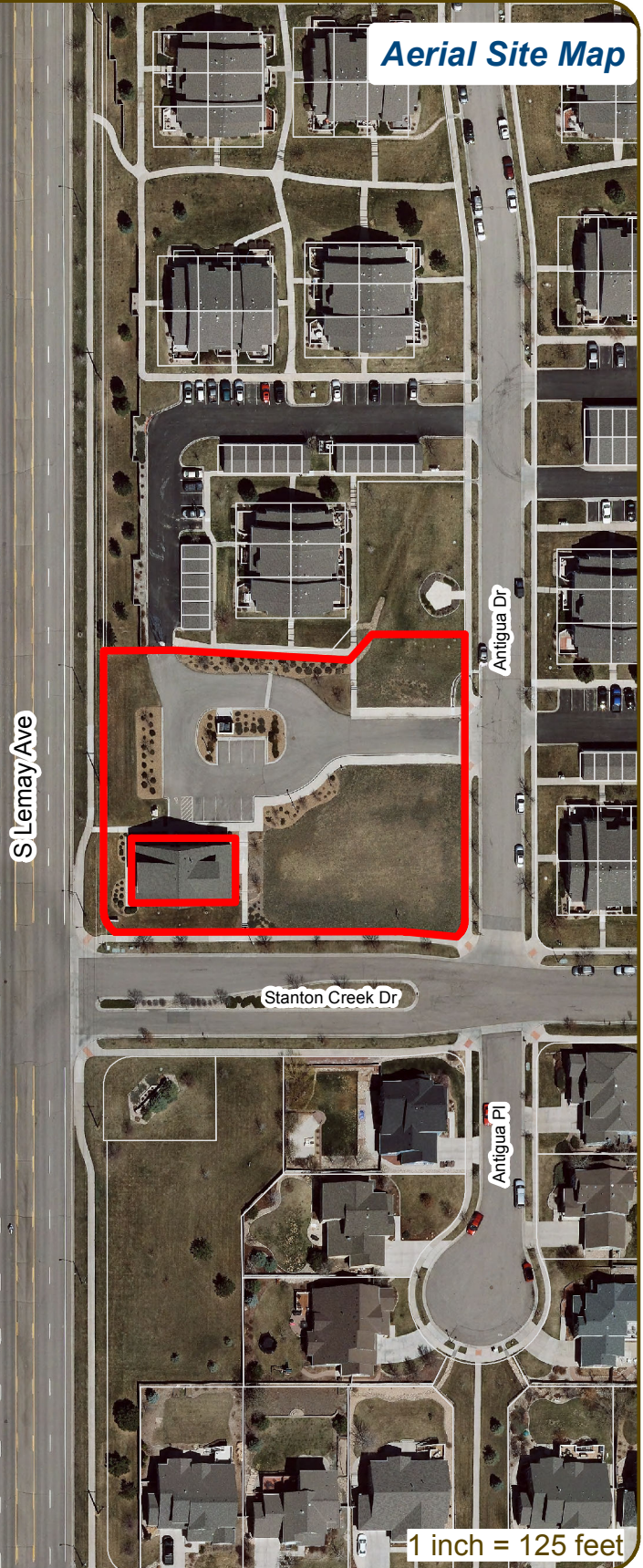
| Time | Project Name | Applicant Info | Project Description | Planner |
|-------|--|--|--|---------------|
| 9:30 | Stanton Creek 3rd Filing - Replat | Joe Kish (970) 593-2710 joe.kish@savanthomesinc.com | This is a request to replat and change a building envelope shown on Stanton Creek 3rd Filing (parcel #8618220001). The building envelope would be re-oriented to have a north/south orientation with parking in the rear as opposed to along the access drive from Antigua Dr. The proposal shows 4 mixed-use dwellings with 4 parking spaces. The site is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Basic Development Review. | Clark Mapes |
| 10:15 | 1800 E Harmony Rd. - Self-storage | Stan Scott (970) 217-4876 ftcstorage@icloud.com | This is a request to build a self-storage facility at 1800 E Harmony Rd. (parcel #8731400033). The existing warehouse on the site would be repurposed as climate controlled storage with a series of storage units built in the rear of the site over the course of two phases. In total, the applicant proposes 65,000 sq. ft. of new building. The site is located in the Harmony Corridor (HC) zone district. This proposal will be subject to an Addition of Permitted Use. | Jason Holland |
| 11:00 | 116 Bueno Dr. - Marijuana Cultivation Facility | Pete Tovani (303) 725-4917 pete_t@etsquared.com | This is a request to build a marijuana cultivation facility at 116 Bueno Dr. (parcel #9612234002). The facility would be three stories tall and 42,000 sq. ft. total. 17 parking spaces will serve the development. The site is located in the Service Commercial (CS) zone district. This proposal will be subject to Basic Development Review. | Clay Frickey |

Stanton Creek 3rd Filing Replat

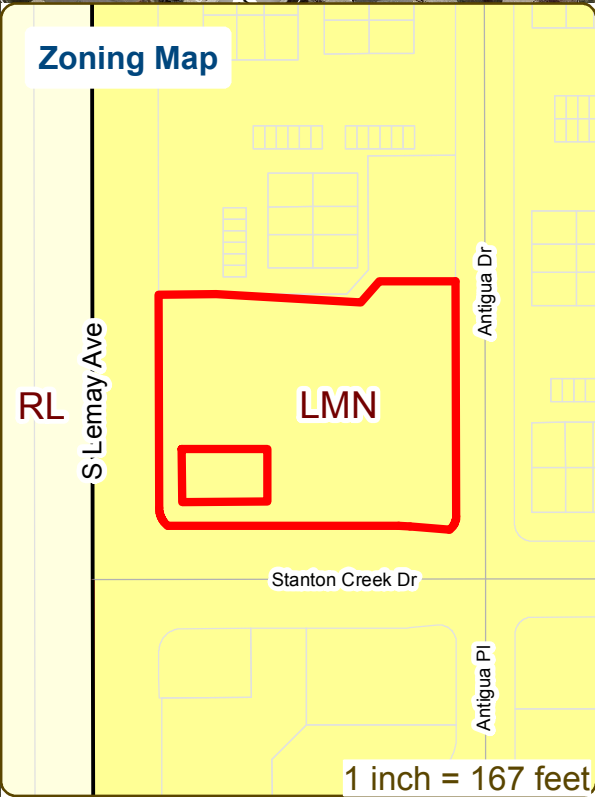
Vicinity Map



Aerial Site Map



Zoning Map



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CONCEPTUAL REVIEW: APPLICATION

General Information

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At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Joseph J. KISH PROJECT MANAGER (OWNER)

Business Name (if applicable) SAYANT HOMES INC

Your Mailing Address PO BOX 2066 FORT COLLINS CO 80522

Phone Number 970 593 2710 Email Address JOE.KISH@SAYANTHOMESINC.COM

Site Address or Description (parcel # if no address) 6839 ANTILUA DRIVE

STANTON CREEK 3RD FILING - 8618220001 BUILDING ENVELOPE B

Description of Proposal (attach additional sheets if necessary) RE PLAT LAY OUT OF BUILDING ENVELOPE B

Proposed Use SAME Existing Use LMN LOW MIX DENSITY

Total Building Square Footage _____ S.F. Number of Stories _____ Lot Dimensions _____

Age of any Existing Structures N/A

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [] Yes [X] No If yes, then at what risk is it? _____

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

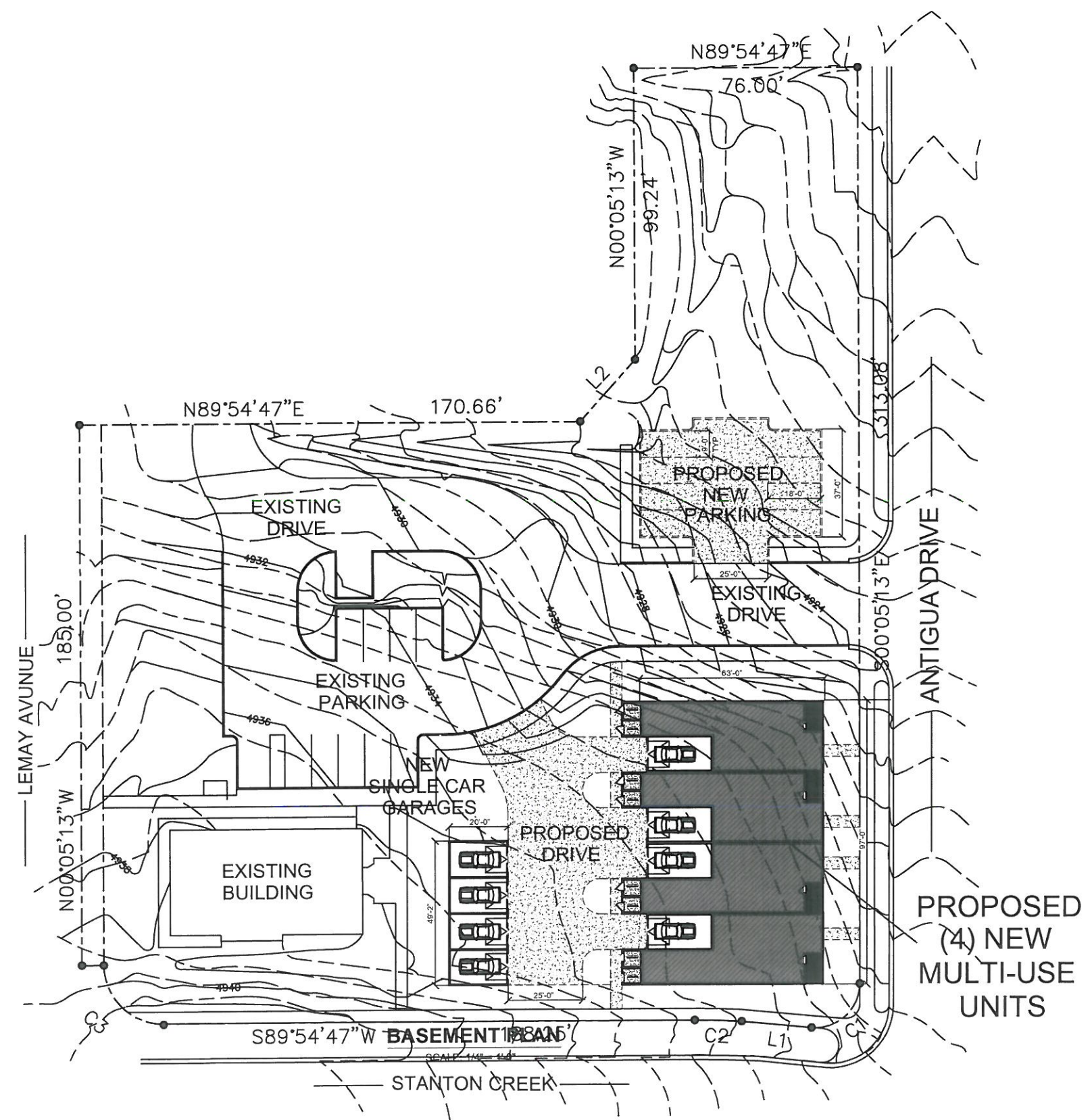
Increase in Impervious Area _____ S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan: Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

PLAN NOTES:
 Seller reserves the right to make any and all changes due to code requirements, constructability, HOA requirements, and or substitute any material for a material of equal or greater value at their sole and absolute discretion. All measurements are approximate. Home will be built in substantial accordance with these plans changes that are not a substantial deviation from the plan are not grounds for Buyer to cancel their sales contract."



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WITHOUT THE WRITTEN CONSENT OF
SAVANT HOMES, INC.



NORTH

PROPOSED SITE PLAN
 SCALE: 1" = 20'-0"

PROJECT:
PROPOSED STANTON CREEK MULTI-USE
ANTIGUA DRIVE
FORT COLLINS, COLORADO

| No. | Revision/Issue | Date |
|-----|----------------|------|
| | | |
| | | |

| | |
|----------------------------------|---------------|
| Project STANTON CREEK - MULTI | Sheet A2.0 |
| Date 10/18/16 | SITE PLAN |
| Scale 1/4"=1'-0" | |



Community Development and
Neighborhood Services
281 North College Avenue
PO Box 580
Fort Collins, CO 80522

970.221.6750
970.224.6134 - fax
fcgov.com

December 05, 2016

Joe Kish
Savant Homes
PO Box 2066
Fort Collins, CO 80522

Re: Stanton Creek 3rd Filing - Replat

Description of project: This is a request to replat and change a building envelope shown on Stanton Creek 3rd Filing (parcel #8618220001). The building envelope would be re-oriented to have a north/south orientation with parking in the rear as opposed to along the access drive from Antigua Dr. The proposal shows 4 mixed-use dwellings with 4 parking spaces. The site is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Basic Development Review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clark Mapes, at 970-221-6225 or cmapes@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Ali van Deutekom, 970-416-2743, avandeutekom@fcgov.com

1. In order to be considered mixed-use dwellings these must include a nonresidential use. What kinds of uses are you proposing?
2. There will be parking requirements based on the commercial use square footages. As well as handicap parking requirements.
3. Bike parking will be required for the residential units and commercial uses.
4. LUC 3.2.5 All development shall provide adequately sized conveniently located, accessible trash and recycling enclosures.
5. A landscape plan will be required.

Department: Water-Wastewater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. This site will not be served by City of Fort Collins water or sewer.

Department: Traffic Operations

Contact: Nicole Hahn, 970-221-6820, nhahn@fcgov.com

1. The anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived.
- 1.

Department: Technical Services

Contact: Jeff County, 970-221-6588, jcounty@fcgov.com

1. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
2. If submitting a replat for this property/project, addresses are not acceptable in the Subdivision Plat title/name.

Department: Stormwater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. The design of this site must conform to the drainage basin design of the Stanton Creek 3rd Filing Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. There are no stormwater regulations as long as the proposed site plan does not deviate from the requirements of the Stanton Creek 3rd Filing Drainage Plan, specifically relating to proposed percent impervious for the site.
3. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq. ft. and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jill White at 970-416-2139 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. PREMISE IDENTIFICATION & WAYFINDING
Based upon reorientation of the building envelop, Unit addressing should be from Antigua Dr rather than Stanton Creek. Addresses shall be posted on each unit and where otherwise needed to aid in wayfinding. Code language provided below.

> IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the
2. FIRE ACCESS
The proposed building envelop appears to be within the required distance needed for Perimeter Fire Access. Unless the units are over 30' in height (as defined by 2012 IFC

Appendix D), Aerial Fire Apparatus Access requirements will not be triggered. Code language provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

> IFC Appendix D; Poudre Fire Authority Administrative Policy 85-5: In order to accommodate the access requirements for aerial fire apparatus (ladder trucks), required fire lanes shall be 30 foot wide minimum on at least one long side of the building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.

3. AUTOMATIC FIRE SPRINKLER SYSTEM

As mixed-use, multi-family units, the building will require a fire sprinkler system under a separate permit. Please contact Assistant Fire Marshal, Joe Jaramillo with any fire sprinkler related questions at 970-416-2868.

4. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. A hydrant is required within 300' of any Commercial (multi-family) Building as measured along an approved path of vehicle travel. The hydrant on the SE corner of the site appears to meet this requirement. Code language provided below.

> IFC 507.5 and PFA Policy: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building.

Department: Environmental Planning

Contact: Stephanie Blochowiak, 970-416-4290, sblochowiak@fcgov.com

1. Environmental Planning has no comments at this time.

Department: Engineering Development Review

Contact: Marc Virata, 970-221-6567, mvirata@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveway will need to be evaluated to determine if the slopes and width will meet ADA requirements or if the driveway (and/or access ramps) need to be reconstructed so that they do. Truncated

dome detection is also required on the existing access ramps at the driveway and at the northwest corner of Antigua Drive and Stanton Creek Drive abutting the proposal.

5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. Most easements to be dedicated need to be public easements dedicated to the City. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along an arterial, 8 foot along an alley, and 9 foot along all other street classifications). Information on the dedication process can be found at: <http://www.fcgov.com/engineering/devrev.php> It is not anticipated that additional easement or right-of-way dedication is needed however based upon the dedication of blanket easements.
7. The proposal appears to be constructing buildings outside of the prescribed building envelope for Stanton Creek Third Filing. Either a replat of the property to alter the building envelope, and/or a vacation of easement(s) would be required. In addition, it would appear that legal permission is also required from the Stanton Creek Commercial Association for the work occurring outside of the existing building envelope as well as vehicular access to the property occurring off of commercial association property.
8. Civil construction plans will be required.
9. A Development Agreement (or amendment to the existing development agreement) may be recorded once the project is finalized, with recordation costs paid for by the applicant.
10. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
11. A Development Construction Permit (DCP) or excavation permit will need to be obtained prior to starting any work on the site.
12. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
13. The public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development . Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

Department: Electric Engineering

Contact: Rob Irish, 970-224-6167, rirish@fcgov.com

1. Light & Power has existing electric facilities located along the East side of Antigua Dr. and along the North side of Stanton Creek Dr. No single-phase is currently available into this site. Single-phase service could be available by cutting in a single-phase vault into the existing primary line.
2. Any relocation or modification to existing electric facilities will be at the expense of the owner/developer. If Light & Power's existing electric facilities are to remain within the limits of the project they must be located within a utility easement.
3. A commercial service information form (C-1 form) and a one line diagram will need to be submitted to Light & Power Engineering for all proposed commercial buildings and multi-family (commercial) buildings larger than a duplex. A link to the C-1 form is below: <http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelin>

es-regulations

4. All multi-family buildings larger than a duplex are considered commercial. All secondary services will be installed, owned, and maintained by the owner.
5. Electric Capacity Fee, Building Site charges, and any system modification charges necessary will apply to this development. Please contact us if you have any questions regarding the fees for the project and reference our fee estimator at:
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees>

Planning Services

Contact: Clark Mapes, 970-221-6225, cmapes@fcgov.com

1. This would be a Minor Amendment with a replat. If no more than one new lot is created, the request would be processed as a Basic Development Review. If the dwellings were to be placed on individual lots (townhouse style) then the request would require a hearing by a hearing officer.

A question: is the purpose of the replat to subdivide, or simply to change the existing approved building envelope?

2. Parking screening would be crucial at this entry to the neighborhood. Also, the surface parking should shift north to minimize intrusion upon the appearance of the buildings.
3. Minimum setbacks at the corner are 15 feet.
4. What are the small vestibule rooms behind the garages?
5. The proposed development is subject to a Basic Development Review, please contact the Zoning Department regarding your formal submittal.

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

20012 International Building Code (IBC)
2012 International Residential Code (IRC)
20012 International Energy Conservation Code (IECC)
2012 International Mechanical Code (IMC)
2012 International Fuel Gas Code (IFGC)
2012 International Plumbing Code (IPC) as amended by the State of Colorado
2014 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

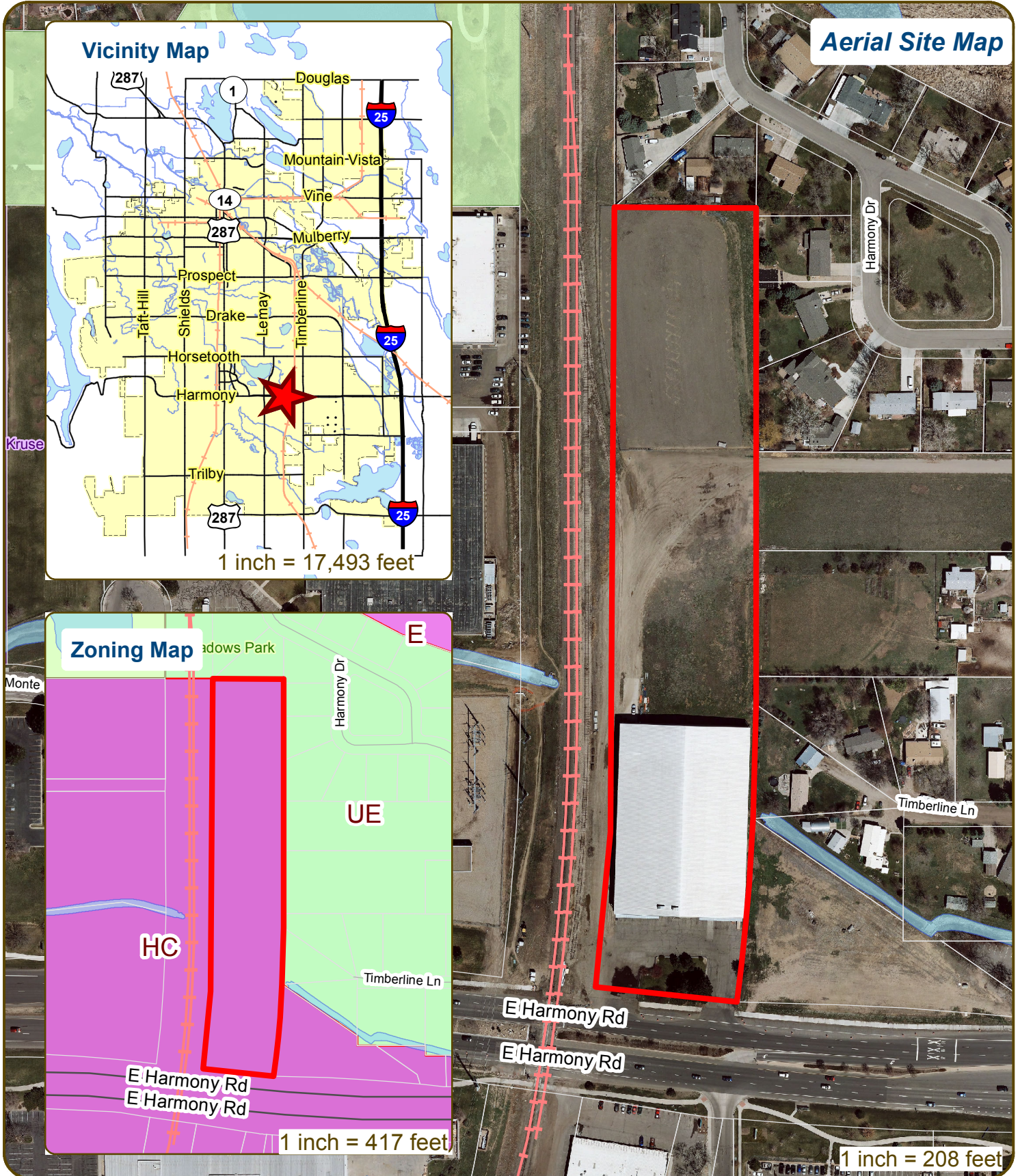
Energy Code Use

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins
Building Services
Plan Review
970-416-2341

1800 E Harmony Rd. Self-storage



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Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

Stan Scott, Owner

Business Name (if applicable) Fort Collins Self-Storage, LLC

Your Mailing Address 5013 Bluestem Ct Fort Collins, Co 80525

Phone Number 970-217-4876 Email Address ftcstorage@icloud.com

Site Address or Description (parcel # if no address) _____

1800 E. Harmony

Description of Proposal (attach additional sheets if necessary) _____

See attached

Proposed Use Self-Storage Existing Use Warehouse + Yard

Total Building Square Footage 125,000 S.F. Number of Stories 1 Lot Dimensions 6.4 acres

Age of any Existing Structures Warehouse 38 years

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [] Yes [X] No If yes, then at what risk is it? _____

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 60% S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

Conceptual Review – 1800 E. Harmony
Fort Collins Self-Storage, LLC

The site is approximately 6.4 acres in the Harmony Corridor zoning district. There is a 60,000 square foot warehouse on the property, which was built in 1978.

To the north of the warehouse is vacant land that is currently being used as lumber storage. Besides the access from Harmony, there is access to the property, via a private road from Timberline Road.

We would plan to convert the existing warehouse to interior climate-controlled self-storage. Access would be from Harmony Road. Self-storage tenants would drive into the warehouse from Harmony, and exit through the rear of the warehouse on the north side of the building.

Additionally, we would add drive-up self-storage to the vacant land on the north side of the existing warehouse building. We anticipate up to an additional 65,000 of drive-up self-storage could be added.

We would plan to discharge storm water from the detention pond on the north side of the property to the regional detention pond located on the west side of Timberline.

The warehouse is now on a septic system. As we are not increasing sanitary uses to the existing warehouse we and we would propose remain on the existing septic system.

Harmony Self-Storage

Concept Land Use Data

Total Site Area: 6.4 Acres
Existing Building: 60,000 Sq. Ft.
(Interior Climate Controlled Self-Storage)
Phase I Drive-Up Self-Storage: 40,000Sq. Ft.
Phase II Drive-Up Self-Storage: 25,000Sq. Ft.
Total Interior Climate Cont. &
Drive-Up Self-Storage (Phase I & II): 125,000 Sq. Ft.
Floor Area Ratio: 0.45 FAR



6.4 Acre Site Area

Phase I: Existing Warehouse Building Repurposed as Interior Climate Controlled Self-Storage, Approx. 60,000Sq. Ft.

Right In/Right Out Site Access



December 05, 2016

Stan Scott
5013 Bluestem Ct.
Fort Collins, CO 80525

Re: 1800 E Harmony Rd. - Self-storage

Description of project: This is a request to build a self-storage facility at 1800 E Harmony Rd. (parcel #8731400033). The existing warehouse on the site would be repurposed as climate controlled storage with a series of storage units built in the rear of the site over the course of two phases. In total, the applicant proposes 65,000 sq. ft. of new building. The site is located in the Harmony Corridor (HC) zone district. This proposal will be subject to an Addition of Permitted Use.

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Comment Summary:

Department: Zoning

Contact: Marcus Glasgow, 970-416-2338, mglasgow@fcgov.com

1. Please include a buffer to the abutting residential properties to the north and east sides of the property.
2. LUC 4.26(E)(2)(b) Where an employment or industrial use abuts a residential area, there shall be no drastic and abrupt change in the scale and height of buildings.
3. LUC 3.5.1(I)(2) Loading docks, truck parking, outdoor storage (including storage containers), utility meters, HVAC and other mechanical equipment, trash collection, trash compaction and other service functions shall be incorporated into the overall design theme of the building and the landscape so that the architectural design is continuous and uninterrupted by ladders, towers, fences and equipment, and no attention is attracted to the functions by use of screening materials that are different from or inferior to the principal materials of the building and landscape. These areas shall be located and screened so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets.
4. LUC 3.5.1(J) Operational/Physical Compatibility Standards. Conditions may be imposed upon the approval of development applications to ensure that new development will be compatible with existing neighborhoods and uses. Such conditions may include, but need not be limited to, restrictions on or requirements for:
 - (1) hours of operation and deliveries;
 - (2) location on a site of activities that generate potential adverse impacts on adjacent uses such as noise and glare;
 - (3) placement of trash receptacles;

- (4) location of loading and delivery zones;
 - (5) light intensity and hours of full illumination;
 - (6) placement and illumination of outdoor vending machines;
 - (7) location and number of off-street parking spaces.
5. LUC 3.2.1 (D) (2) Planting of street trees shall occur in the adjoining street right-of-way in connection with the development
 6. LUC 3.2.4 (C) Lighting plan is required, this should include a photometric site plan with catalog cut-sheets of the fixtures.
 7. LUC 3.2.1 A landscape plan is required. All developments shall establish groves and belts of trees along all city streets, in and around parking lots, and in all landscape areas that are located within fifty (50) feet of any building or structure.
 8. LUC 3.2.5 All development shall provide adequately sized conveniently located, accessible trash and recycling enclosures. These shall be designed with walk-in access separate from the main-service gates.
 9. Bicycle parking required as part of LUC 3.2.2(C)(4)(b)
 10. Please refer to parking lot requirements under LUC 3.2.2 (K) and LUC 3.2.2(L) to include handicap parking with van-accessible space.
 11. Commercial build-to lines can be found in LUC 3.5.3(C)(2)

Department: Water-Wastewater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. Based on the submittal package, it appears no changes will be made to existing water or sewer services. If this changes, early coordination with Water Utilities Engineering will be needed.
2. The closest sewer main is on the east side of Timberline north of Harmony. If sewer is needed for this development a main will need to be constructed down Timberline Ct. to serve this site.
3. The existing building is currently served by Fort Collins – Loveland Water District but is in the City’s service area. If changes to water or sewer service are needed, or if fire service is needed, the development will be required to switch water service over to City service.

Department: Traffic Operations

Contact: Nicole Hahn, 970-221-6820, nhahn@fcgov.com

1. Two access locations along Harmony are shown, and do not meet spacing requirements.
2. The street frontage will need to be improved. Please work with engineering development review staff to determine the details of these improvements.
3. We’ll need to get some more information about the proposal to determine whether any further traffic analysis or traffic impact study is needed.

Department: Technical Services

Contact: Jeff County, 970-221-6588, jcounty@fcgov.com

1. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
2. This property is not platted. If submitting a Subdivision Plat for this property/project, addresses are not acceptable in the Plat title/name.

Department: Stormwater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. The design of this site must conform to the drainage basin design of the Fox Meadows Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs.
3. The erosion control report requirements are in Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Stormwater Criteria Manual. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
4. Onsite detention is required for the runoff volume difference between the 100-year developed inflow rate and the 2-year historic release rate.
5. The existing site appears to flow in two different directions. The existing building and area to the south appears to flow into Harmony Road while the area north of the existing building flows into the existing railroad right-of-way. Any changes to existing drainage patterns will need to be quantified and mitigated. As stated in the submittal package, the developed flow is proposed to be conveyed to the regional pond/wetland north of the site. This is the appropriate outfall for this site, but the developer will be required to show and/or build adequate conveyance for the site's developed runoff into the regional pond.
6. It is strongly encouraged that this development works with the adjacent land owner to the east to provide an adequate stormwater outfall for both properties. The adjacent parcel is landlocked and the only reasonable outfall for the adjacent parcel is through this site into the regional pond.
7. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs).
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
8. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options:
 - A. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
 - B. 75% of all newly added or modified impervious area must be treated by LID techniques.
9. There will be a final site inspection of the stormwater facilities when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. Standard operating procedures (SOPs) for on-going maintenance of all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at:
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
10. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins and bio-retention cells.

11. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq. ft. and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jill White at 970-416-2139 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. 2015 IFC CODE ADOPTION

The Poudre Fire Authority and the City of Fort Collins are in the process of adopting the 2015 International Fire Code. Building plan reviews shall be subject to the adopted version of the fire code in place at the time of plan review submittal and permit application.

2. FIRE LANES

Fire access into and through this facility will be an matter to resolve with this proposal. Fire access is required to within 150' of all exterior portions of any building, or facility as measured by an approved route around the perimeter. For the purposes of this section, fire access cannot be measured from an arterial road (Harmony Rd). Any private alley, private road, or private drive serving as a fire lane shall be dedicated as an Emergency Access Easement (EAE) and be designed to standard fire lane specifications. In addition, aerial apparatus access requirements are triggered for buildings in excess of 30' in height. Code language and fire lane specifications provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

3. DEAD-END FIRE LANES

The distance from Harmony to the rear of the lot is 1,250 feet. Dead-end roads exceeding 660' are not allowed and the second point of access to Timberline Rd. will be required to also serve as a fire lane.

> IFC 503.2.5, Appendix D, and FCLUC 3.6.2(B)2006: Dead-end fire apparatus access roads cannot exceed 660 feet in length. Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.

4. FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

> Shall be designated on the plat as an Emergency Access Easement.

> Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.

> Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.

> Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.

- > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
- > Be visible by painting and/or signage, and maintained unobstructed at all times. Sign locations or red curbing should be labeled and detailed on final plans.
- > Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details. International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

5. SECURITY GATES

- > IFC 503.6: The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times.

- > IFC D103.5: Gates securing fire apparatus access roads shall comply with all of the following criteria:
 1. The minimum gate width for vehicle access shall be 20 feet.
 2. Gates shall be of the swinging or sliding type.
 3. Construction of gates shall be of materials that allow manual operation by one person.
 4. Gate components shall be maintained in an operative condition at all times and replaced or repaired when defective.
 5. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official.
 6. Manual opening gates shall not be locked with an unapproved padlock, or chain and padlock, unless they are capable of being opened by means of forcible entry tools or when a key box containing the key(s) to the lock is installed at the gate location.
 7. Gate design and locking device specifications shall be submitted for approval by the fire code official prior to installation.
 8. Electric gate operators, where provided, shall be listed in accordance with UL 325.
 9. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200.

6. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. A hydrant is required within 300' of any Commercial Building and on 600' centers along a fire access lane, as measured along an approved path of vehicle travel. Currently, there is a hydrant on the east side of the property which may be available. Based upon the size and scope of this project, an additional hydrant will be required further to the north. Code language provided below.

- > IFC 507.5 and PFA Policy: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.

7. AUTOMATIC FIRE SPRINKLER SYSTEM

Modification to the existing fire sprinkler system may be required under a separate permit. Please contact Assistant Fire Marshal, Joe Jaramillo with any fire sprinkler related questions at 970-416-2868.

8. DRIVE THROUGH SELF-STORAGE CONCEPT

Further details are needed before pertinent comments can be made regarding the proposed plan for drive-in storage access.

9. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM TEST

- > IFC 510 & 1103.2: New and existing buildings require a fire department, emergency communication system evaluation after the core/shell but prior to final build out. For the purposes of this section, fire walls shall not be used to define separate buildings. Where adequate radio coverage cannot be established within a building, public-safety radio

amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority.

Department: Environmental Planning

Contact: Stephanie Blochowiak, 970-416-4290, sblochowiak@fcgov.com

1. If updates to lighting are proposed note: In regard to LED light fixtures, cooler color temperatures (blue etc.) are harsher at night and cause more disruption to circadian (biological) rhythms for both humans and wildlife. Warmer color temperature (warm white, 3000K or less) for any LED light fixtures recommended. Please also consider fixtures with dimming capabilities so that light levels can be adjusted as needed. Note site light sources shall be fully shielded and down-directional to minimize up-light, light spillage and glare [see LUC 3.2.4(D)(3)]. For further information regarding health effects please see: <http://darksky.org/ama-report-affirms-human-health-impacts-from-leds/>
2. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens now and generations from now. Thus, the City of Fort Collins has many sustainability programs and goals that may benefit this project. Of particular interest may be:

1) ClimateWise program: fcgov.com/climatewise/

2) Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf, contact Caroline Mitchell at 970-221-6288 or cmtichell@fcgov.com

3) Green Building Program: fcgov.com/enviro/green-building.php, contact Tony Raeker at 970-416-4238 or traeker@fcgov.com

4) Solar Energy: www.fcgov.com/solar, contact Norm Weaver at 970-416-2312 or nweaver@fcgov.com

5) Integrated Design Assistance Program: <http://fcgov.com/idap>, contact Gary Schroeder at 970-224-6003 or gshroeder@fcgov.com

Please consider City sustainability goals and ways this development can engage with these efforts. Let me know if I can help connect you to these programs.

Department: Engineering Development Review

Contact: Marc Ragasa, 970.221.6603, mragsa@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:

- 6.** This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. Most easements to be dedicated need to be public easements dedicated to the City. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along an arterial, 8 foot along an alley, and 9 foot along all other street classifications). The access, drainage and Utility easement to Timberline Road will need to be dedicated to the City. Information on the dedication by separate document process can be found at: <http://www.fcgov.com/engineering/devrev.php>
- 7.** Per the Harmony Road Access Control Plan, only one access off of Harmony Road for this property as well as the property to the east, currently owned by Paws of the Rockies will be allowed. Since a shared access will be required, an access easement will need to be provided for the property to the east.
- 8.** At least one driveway will need to be removed from Harmony Road. If the shared access between this property and the property to the east is located on the neighboring property, both accesses will need to be removed.
- 9.** In accordance with Section 24-95 of the City Code, the Developer is responsible for constructing the local portion of public streets adjacent to the Property prior to the issuance of the first building permit. There will be a repay to the City for the local pavement portion of Harmony Road.
- 10.** Per the Harmony Corridor Plan, an 8' detached walk will be needed along Harmony Road. Curb and gutter will most likely be needed, but this will need to be looked at closer, depending on the building setback requirements.
- 11.** If gates will be used on site to control access to the units, the exact locations will need to be reviewed and approved.
- 12.** The site access off of Timberline Road will need to be looked at closer. Depending on the traffic study/memo, modifications to Timberline Road may be needed to restrict the access to a right in/right out access. Infrastructure improvements along Timberline Road may be needed along the property with the access road.
- 13.** Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
- 14.** As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
- 15.** A utility coordination meeting on this site is suggested. Utility coordination meetings if requested are typically scheduled after the preliminary submittal of the project, but can be scheduled prior to submittal upon request. Please provide a site plan with preliminary utility layout for routing with the meeting notice. If you are interested in having a utility coordination meeting, please contact the development review engineer for scheduling.
- 16.** LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.
- 17.** All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
- 18.** The development/ site cannot use the right-of-way for any rain gardens to treat the storm runoff. We can look at the use of rain gardens to treat street flows – the design standards for these are still in development.
- 19.** Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.

20. In regards to construction of this site, the public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

Department: Electric Engineering

Contact: Rob Irish, 970-224-6167, rirish@fcgov.com

1. Light & Power has existing electric facilities located along the North side of Harmony Rd. adjacent to this property. The existing building is served by a three phase transformer on the South side of the building. This is the nearest available power for this site. There is no power readily available behind the existing building.
2. Any relocation or modification to existing electric facilities will be at the expense of the owner/developer. If Light & Power's existing electric facilities are to remain within the limits of the project they must be located within a utility easement.
3. A commercial service information form (C-1 form) and a one line diagram will need to be submitted to Light & Power Engineering for all proposed commercial buildings and multi-family (commercial) buildings larger than a duplex. A link to the C-1 form is below: <http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations>
4. Transformer locations need to be within 10' of an asphalt surface accessible by a line truck. A minimum clearance of 8' must be maintained in front of the transformer doors and a minimum of 3' on the sides Transformer and meter locations will need to be coordinated with Light & Power Engineering. Certain building materials and or building design may require more clearance. Please click on the following link for Electric Service Standards. <http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations>
5. Electric Capacity Fee, Building Site charges, and any system modification charges necessary will apply to this development. Please contact us if you have any questions regarding the fees for the project and reference our fee estimator at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees>
6. If the existing transformer is to be used to feed the entire site, a C-1 form and One-line will still need to be submitted to determine if the transformer is sized correctly for the additional load.

Planning Services

Contact: Jason Holland, 970-224-6126, jholland@fcgov.com

1. The proposal would be subject to an APU and the requirements of Section 1.3.4 of the Land Use Code. Additionally, the site also has a number of elements that would need to be upgraded to address code requirements that reflect the community's objectives for land use planning in the Harmony corridor. As existing sites in the city evolve over time and new uses are proposed, these sites are required to meet current land use code standards.

2. The proposed addition of permitted use is subject to Section 1.3.4 Addition of Permitted Uses, of the LUC. The proposed use is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request will be required to hold a neighborhood information meeting prior to formal submittal of the project. Type 2 development proposals are subject to the neighborhood meeting requirement, per Section 2.2.2 of the LUC. Please contact me at 221-6750, to assist you in setting a date, time, and location for a meeting. A planner and possibly other City staff, would be present to facilitate the meeting.
3. Please see the Development Review Guide at www.fcgov.com/drg. This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
4. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
5. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
6. Please see the Submittal Requirements and Checklist at:
<http://www.fcgov.com/developmentreview/applications.php>.
7. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
8. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

Pre-Submittal Meetings for Building Permits

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

Construction shall comply with the following adopted codes as amended:

20012 International Building Code (IBC)
2012 International Residential Code (IRC)
20012 International Energy Conservation Code (IECC)
2012 International Mechanical Code (IMC)
2012 International Fuel Gas Code (IFGC)
2012 International Plumbing Code (IPC) as amended by the State of Colorado
2014 National Electrical Code (NEC) as amended by the State of Colorado

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

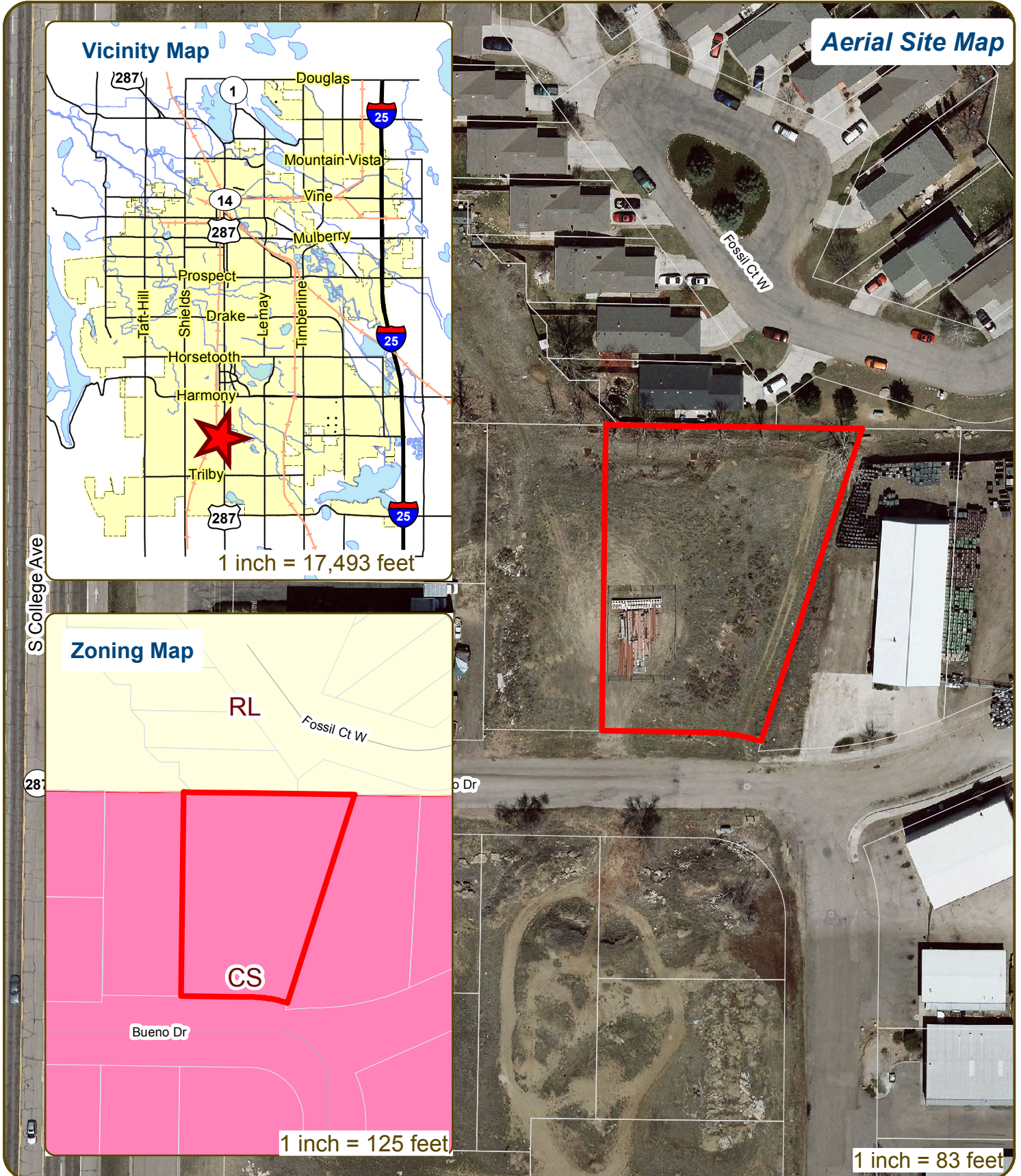
Energy Code Use

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins
Building Services
Plan Review
970-416-2341

116 Bueno Dr. Marijuana Cultivation Facility



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) _____

PETE TOVAN

Business Name (if applicable) DJSEJS LLC

Your Mailing Address 7033 S. ONEIDA CIR.

Phone Number 303-725-4917 Email Address PETE-T@ETSQUARED.COM

Site Address or Description (parcel # if no address) 108/112/116 BUENO DR.

Description of Proposal (attach additional sheets if necessary) 3-STORY GREEN/SMART GROW HOUSE.

Proposed Use INDUSTRY Existing Use _____

Total Building Square Footage 42,000 S.F. Number of Stories 3 Lot Dimensions 1.22 ACRES

Age of any Existing Structures N/A

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? Yes No If yes, then at what risk is it? _____

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

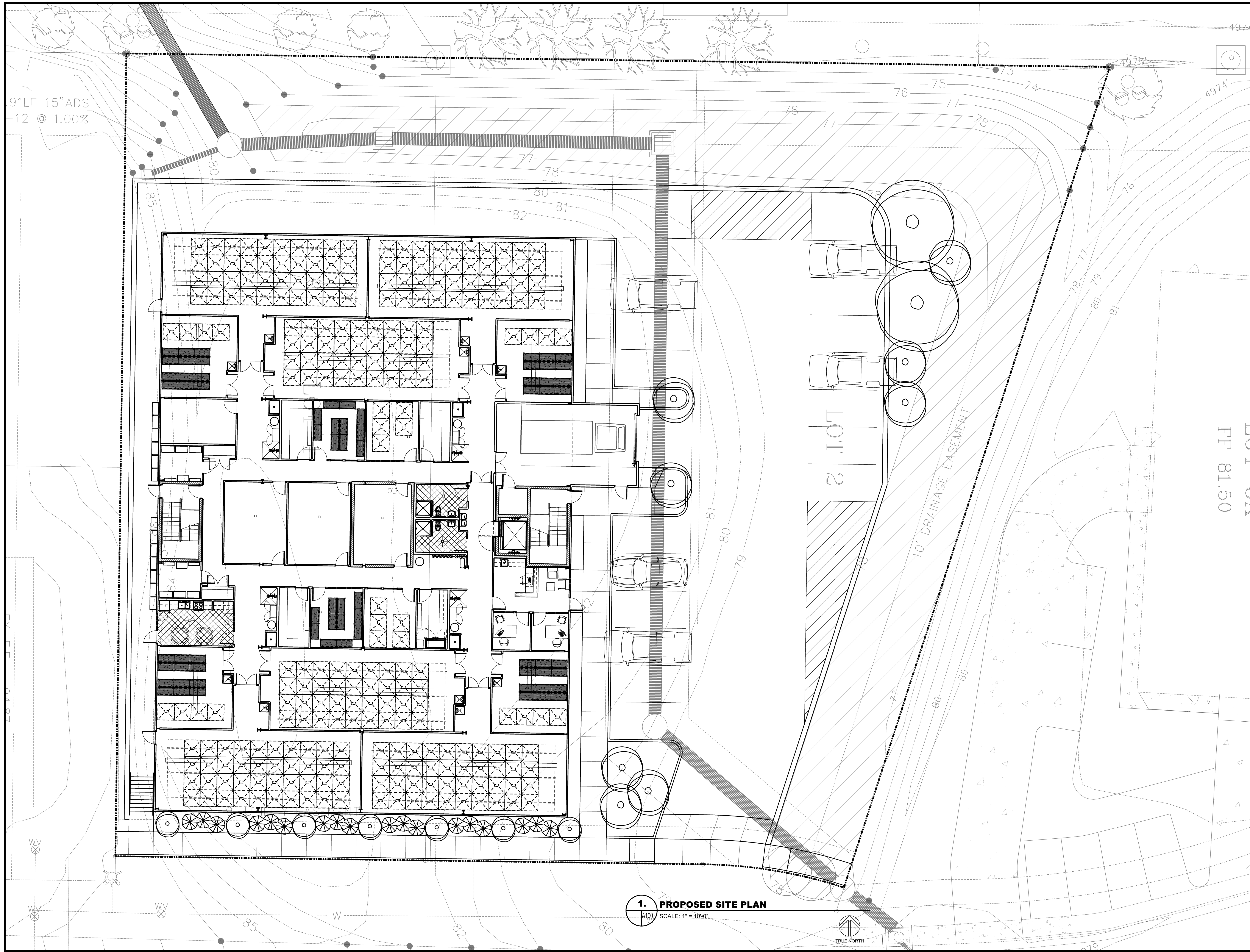
Increase in Impervious Area 30,000 S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested Items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

FT. COLLINS
GROW HOUSE

91LF 15"ADS
-12 @ 1.00%



FF 81.50



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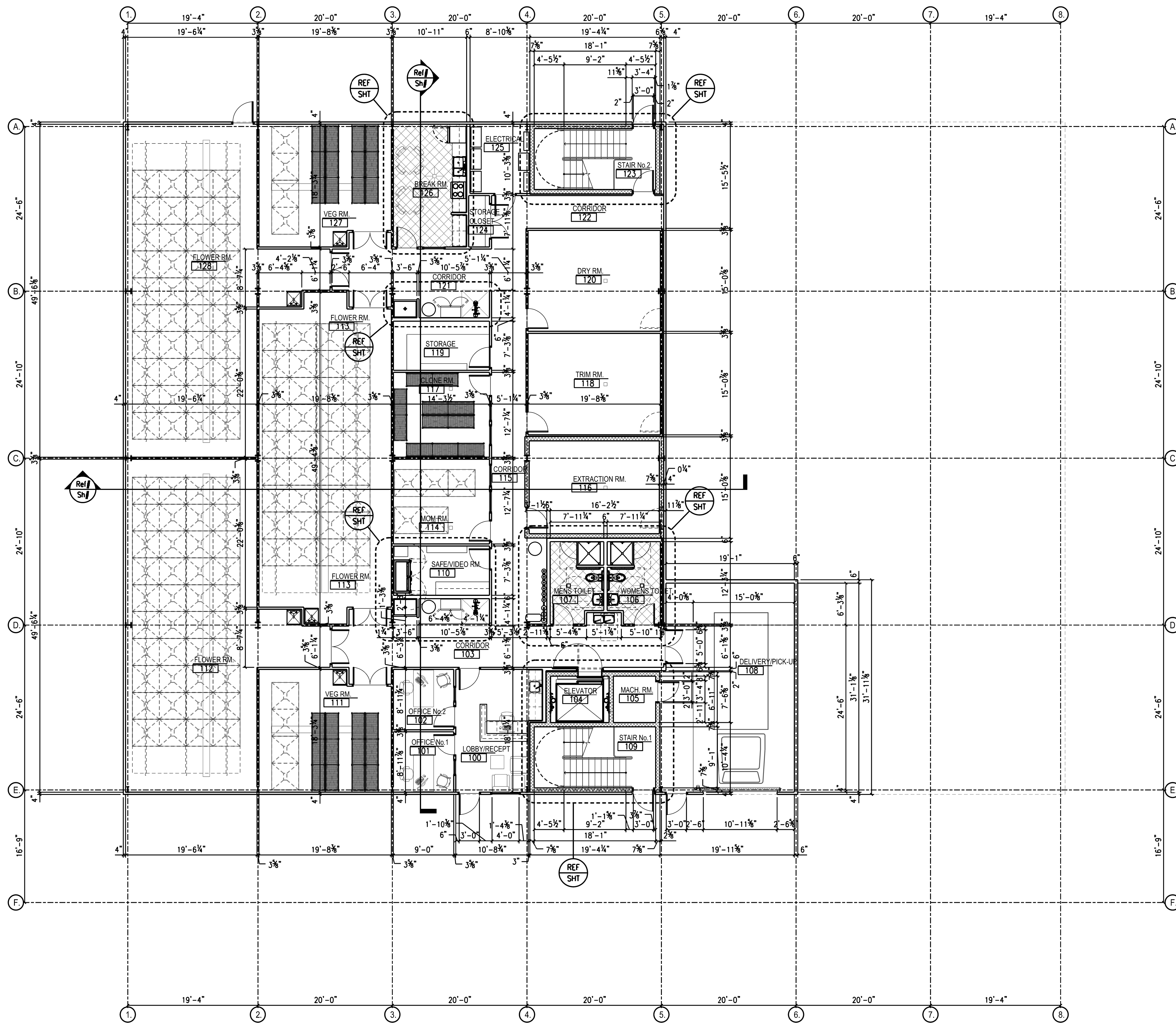
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|------|--------------|------------------|
| | AUG 15, 2016 | SCHEMATIC DESIGN |

SHEET TITLE:
SITE PLAN

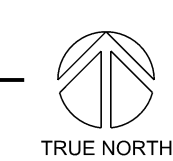
PROJECT No.
2015-06
SCALE
1" = 10'-0"
DATE
07-31-15
DRAWN BY
SUG
CHECKED BY
JLG
APPROVED BY
JLG

SHEET No.
A100
OF

1. PROPOSED SITE PLAN
SCALE: 1" = 10'-0"



1. FIRST FLOOR PLAN - PHASE 1.
SCALE: 3/16" = 1'-0"



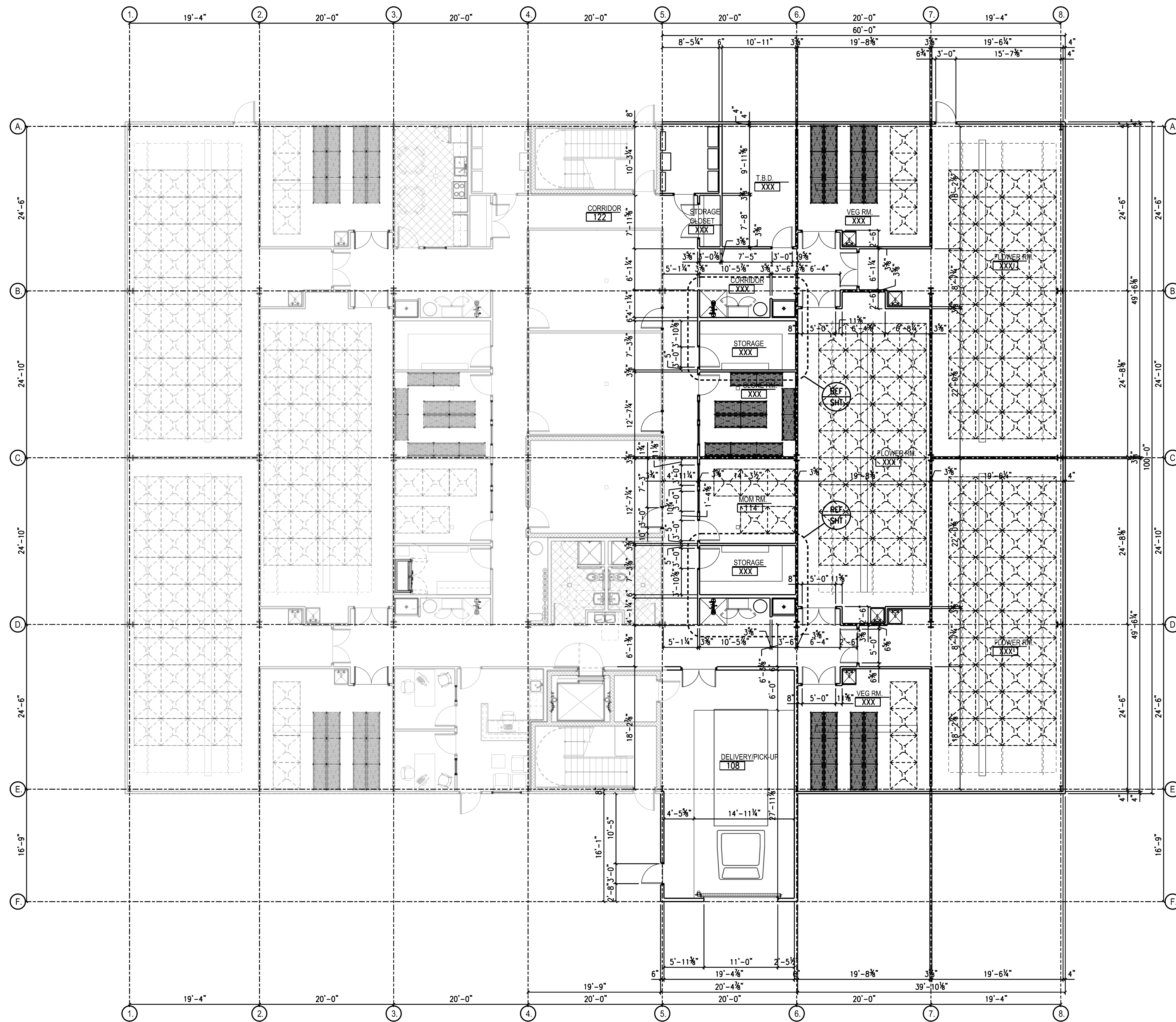
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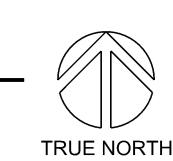
| REV. | DATE: | ISSUED FOR: |
|------|---------------|--------------|
| | MAR. 6, 2016 | OWNER REVIEW |
| | MAR. 25, 2016 | OWNER REVIEW |

SHEET TITLE:
FIRST FLOOR PLAN
PHASE 1.

| | |
|------------------------|--|
| PROJECT No: 2015-06 | SHEET No. A201 P-1 OF |
| SCALE: 1/8" = 1'-0" | |
| DATE: | |
| DRAWN BY: | |
| CHECKED BY: JLG | |
| APPROVED: | |



1. FIRST FLOOR PLAN - PHASE 2.
A201 SCALE: 3/16" = 1'-0"



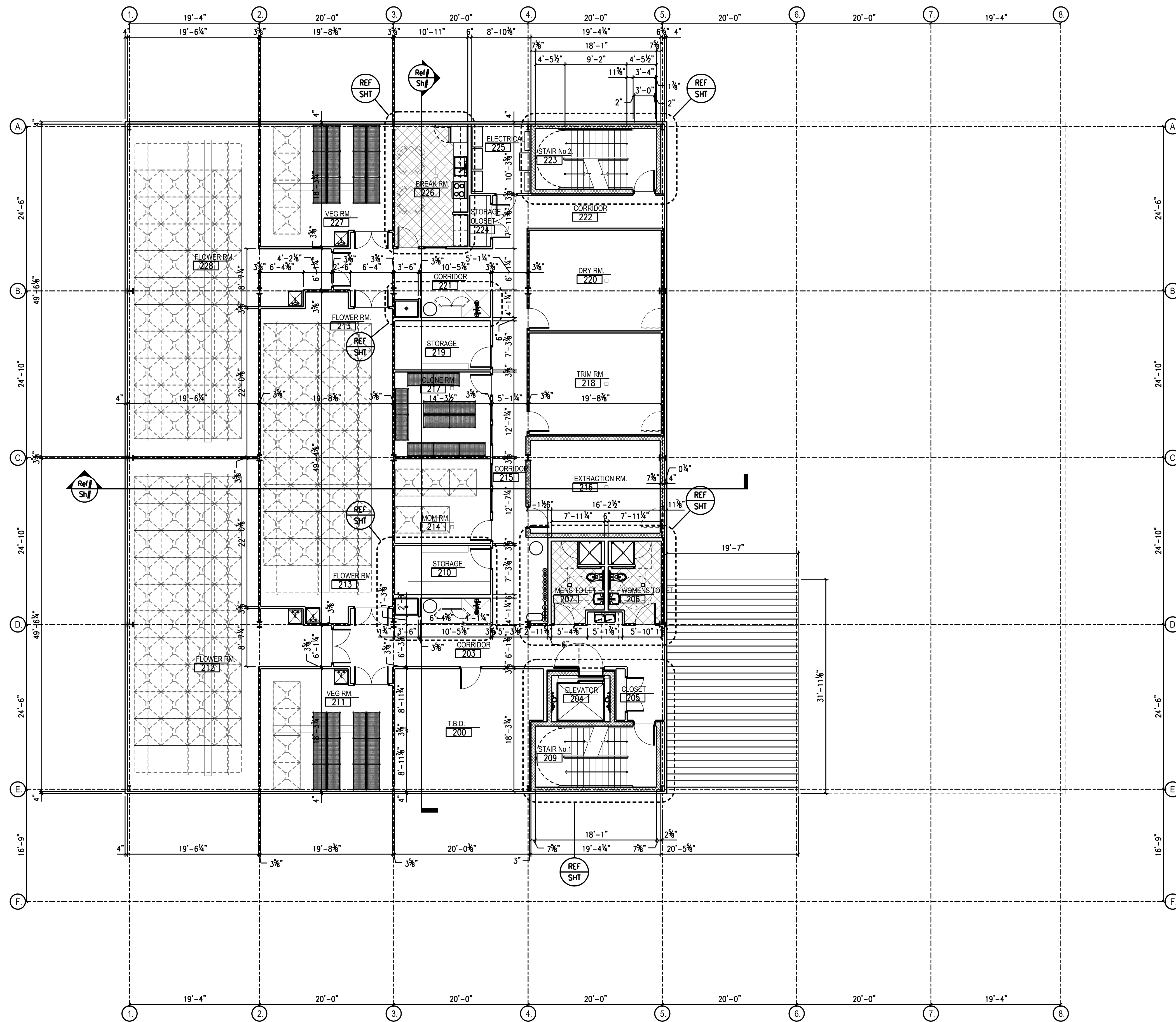
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| | MAR. 6, 2016 | OWNER REVIEW |
| | MAR. 25, 2016 | OWNER REVIEW |

SHEET TITLE:
FIRST FLOOR PLAN
PHASE 2.

| | |
|------------------------|--|
| PROJECT No. 2015-06 | SHEET No. A201 P-2 OF |
| SCALE: 1/8" = 1'-0" | |
| DATE: | |
| DRAWN BY: | |
| CHECKED BY: JLG | |
| APPROVED: | |



1. SECOND FLOOR PLAN - PHASE 1.
SCALE: 3/16" = 1'-0"
TRUE NORTH



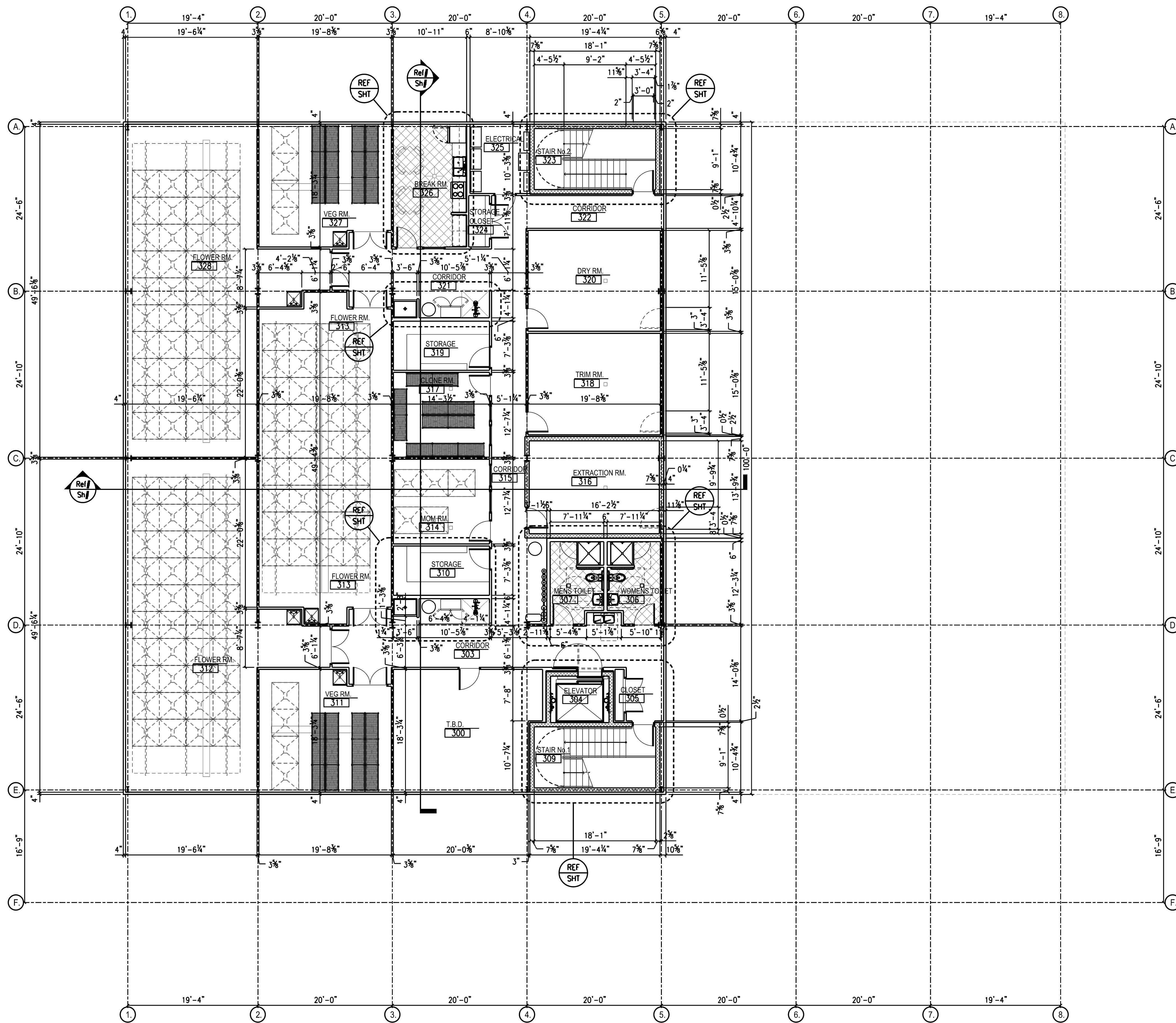
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| | MAR. 6, 2016 | OWNER REVIEW |
| | MAR. 25, 2016 | OWNER REVIEW |

SHEET TITLE:
SECOND FLOOR PLAN
PHASE 1.

| | |
|------------------------|--|
| PROJECT No. 2015-06 | SHEET No. A202 P-1 OF |
| SCALE: 1/8" = 1'-0" | |
| DATE: | |
| DRAWN BY: | |
| CHECKED BY: JLG | |
| APPROVED: | |



1. THIRD FLOOR PLAN - PHASE 1.
 A203 SCALE: 3/16" = 1'-0"
 TRUE NORTH

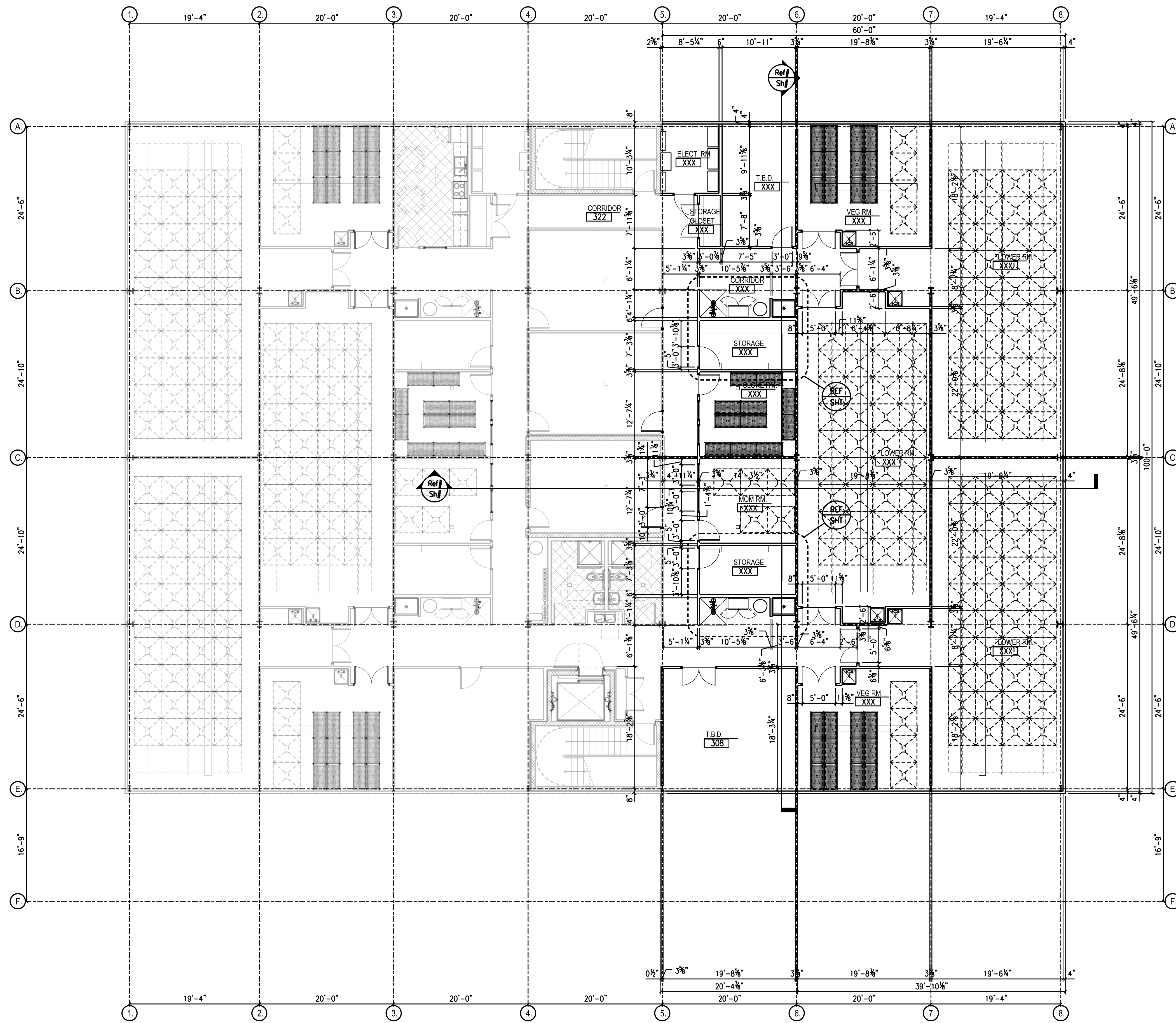
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| | MAR. 6, 2016 | OWNER REVIEW |
| | MAR. 25, 2016 | OWNER REVIEW |

SHEET TITLE:
 THIRD FLOOR PLAN
 PHASE 1.

| | |
|------------------------|--|
| PROJECT No: 2015-06 | SHEET No. A203 P-1 OF |
| SCALE: 1/8" = 1'-0" | |
| DATE: | |
| DRAWN BY: | |
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| APPROVED: | |



1. THIRD FLOOR PLAN - PHASE 2.
SCALE: 3/16" = 1'-0"
TRUE NORTH



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| | MAR. 25, 2016 | OWNER REVIEW |

SHEET TITLE:
THIRD FLOOR PLAN
PHASE 2.

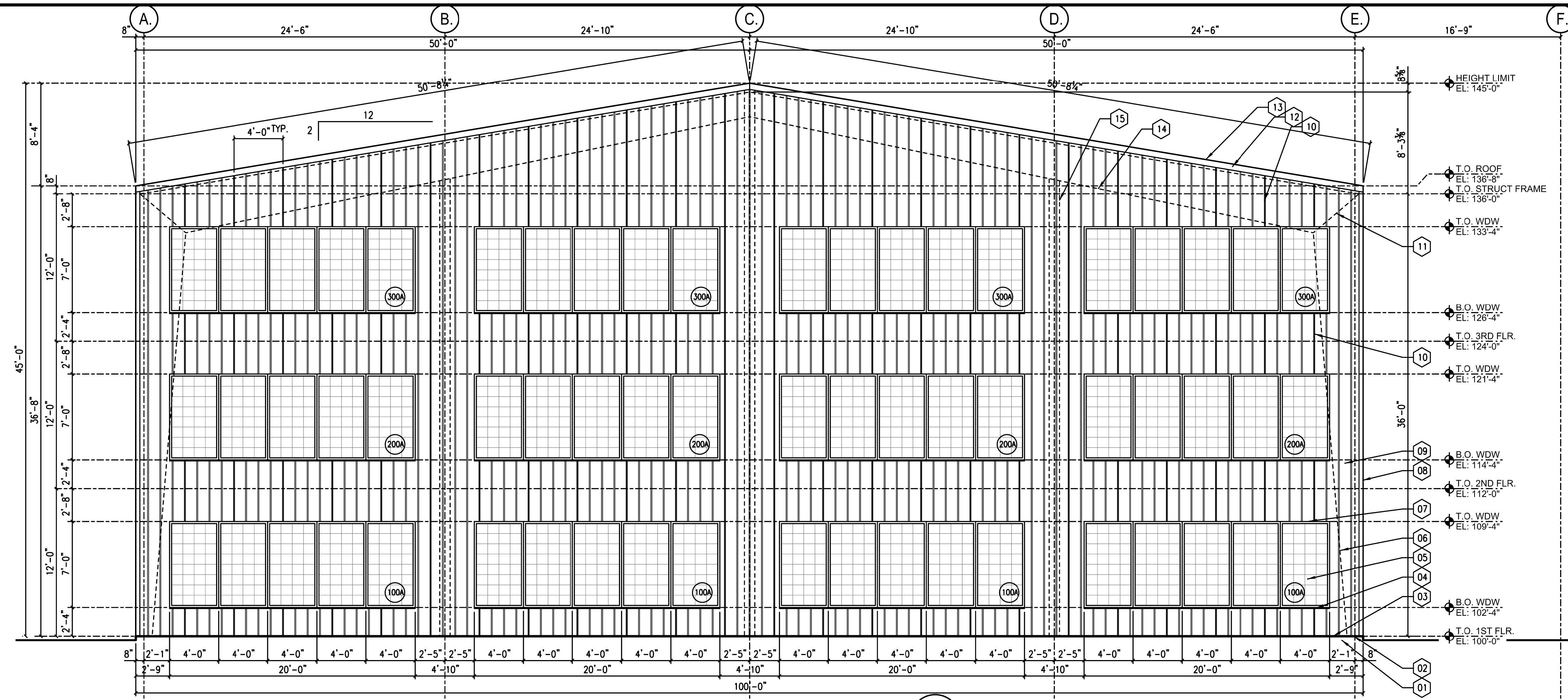
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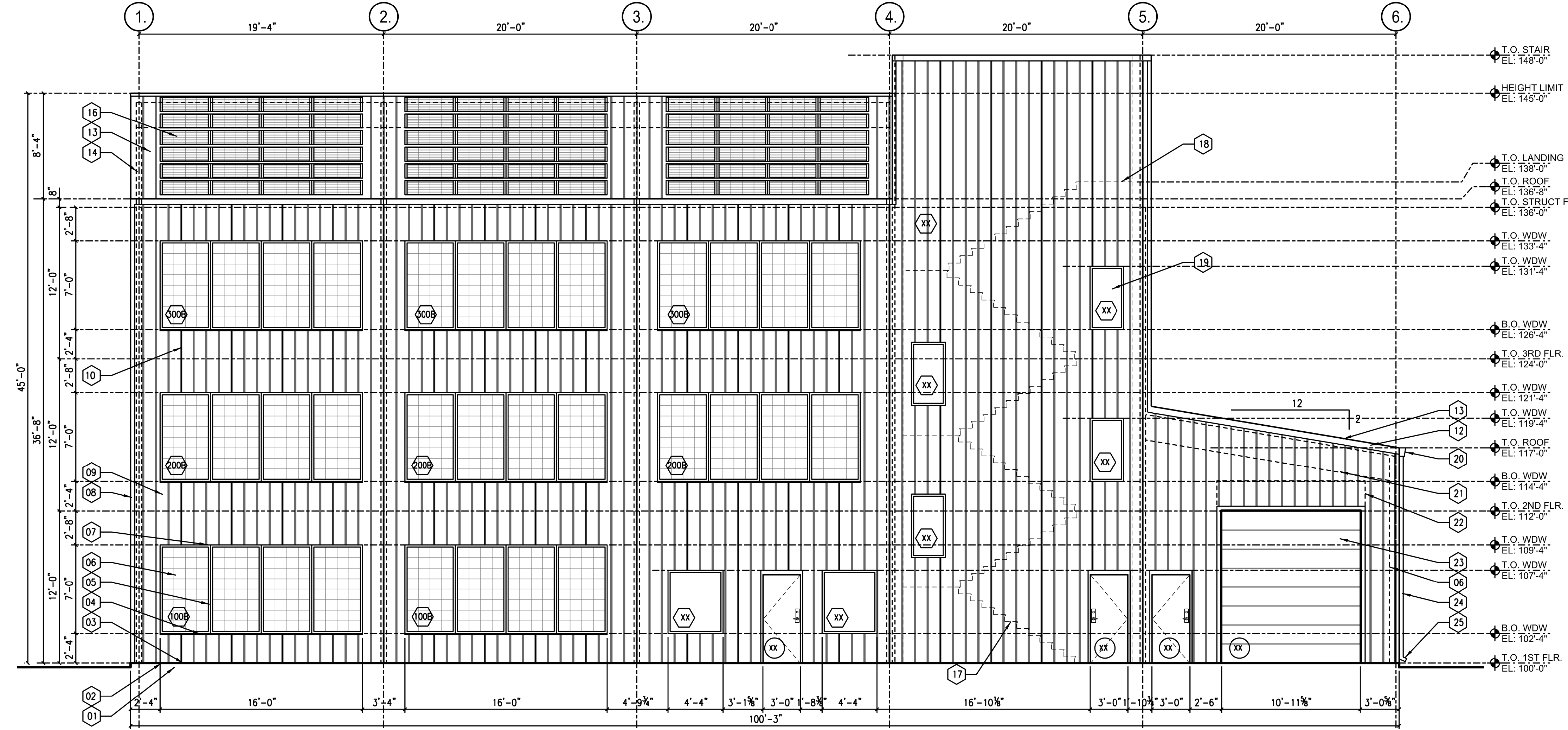
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ENLARGED ELEVATION KEY NOTES: (XX)

- 01 REINFORCED CONCRETE MAT-SLAB OR PT-SLAB ON GRADE FOUNDATION AND SLAB SYSTEM. FINAL SLAB CONFIGURATION TO BE DETERMINED.
- 02 PROVIDE ANCHORAGE PLATE AND BOLTING INTO FOUNDATION SLAB SYSTEM TO SUPPORT STEEL BUILDING STRUCTURAL FRAME STRUCTURE. COORDINATE FINAL SLAB PLATE AND REINFORCING REQUIREMENTS WITH STEEL BUILDING ENGINEERING REQUIREMENTS.
- 03 PROVIDE CONT. WATERPROOFING AND SLAB EDGE FLASHING ALONG BASE OF METAL BUILDING FRAME. COORD. FINAL WATERPROOFING AND FRAMING REQUIREMENTS WITH STEEL BUILDING SUPPLIER AND ARCHITECT.
- 04 PROVIDE CONT. PRE-FINISHED METAL WINDOW SILL FLASHING AND WATERPROOFING AT ALL WINDOW FRAME LOCATIONS. COORD. FINAL DETAILING WITH KALWAL WINDOW SUPPLIER AND ARCHITECT.
- 05 PROVIDE INSULATED KALWAL WINDOW FRAME WITH POLYMER PLASTIC GLAZING. COORD. FINAL WINDOW SIZING AND DETAILING WITH WINDOW SUPPLIER AND ARCHITECT.
- 06 DASHED LINE DENOTES SIZE AND LOCATION OF STRUCTURAL STEEL FRAME WITHIN METAL CLADDING PANELS AND BUILDING ENCLOSURE.
- 07 PROVIDE CONT. PRE-FINISHED METAL WINDOW HEAD FLASHING AND WATERPROOFING AT ALL WINDOW FRAME LOCATIONS. COORD. FINAL DETAILING WITH KALWAL WINDOW SUPPLIER AND ARCHITECT.
- 08 PROVIDE PRE-FINISHED METAL OUTSIDE CORNER GUARDS/TRIM AS AVAILABLE FROM METAL BUILDING MANUFACTURER SELECTED. COORD. FINAL COLOR AND FINISH SELECTIONS WITH ARCHITECT.
- 09 PROVIDE PRE-FINISHED METAL INSULATED WALL PANELS AS AVAILABLE WITH METAL BUILDING MANUFACTURER SELECTED. COORD. FINAL COLOR AND FINISH SELECTIONS WITH ARCHITECT.
- 10 VERTICAL LAP JOINT IN PRE-FINISHED METAL INSULATED WALL PANELS IN LOCATION(S) AS AVAILABLE WITH METAL BUILDING MANUFACTURER SELECTED.
- 11 DASHED LINE OF JOINT WITHIN STRUCTURAL STEEL WALL/ROOF TRUSS ASSEMBLY. COORD. FINAL JOINT REQUIREMENTS WITH PRE-ENGINEERED METAL BUILDING SUPPLIER.
- 12 PROVIDE PRE-FINISHED METAL ROOF EDGE FLASHING AND TRIM DETAILING AS AVAILABLE WITH PRE-ENGINEERED METAL BUILDING SUPPLIER SELECTED.
- 13 PROVIDE PRE-FINISHED STANDING SEAM ROOFING PANELS SECURED TO ROOFING PURLINS AS AVAILABLE WITH PRE-ENGINEERED BUILDING SUPPLIER. COORD. FINAL DESIGN AND COLOR SELECTION WITH ARCHITECT.
- 14 DASHED LINE OF PRE-ENGINEERED ROOF TRUSS STRUCTURAL FRAMEWORK. COORDINATE FINAL TRUSS AND STRUCTURAL FRAME DIMENSIONS AND PROFILE WITH PRE-ENGINEERED BUILDING SUPPLIER AND ARCHITECT.
- 15 DASHED LINE OF VERTICAL STRUCTURAL STEEL COLUMN AND GABLE END FRAMING. SEE PRE-ENGINEERED STRUCTURAL FRAME DESIGN FOR ADDITIONAL INFORMATION.
- 16 PROVIDE INSULATED KALWAL ROOF PANELS AND FRAMING WITH POLYMER PLASTIC GLAZING. COORD. FINAL ROOF PANEL SIZING AND DETAILING WITH SUPPLIER AND ARCHITECT.
- 17 DASHED LINES DENOTE PLAN AND PROFILE OF PROPOSED EGRESS STAIR CONFIGURATION WITHIN STAIR TOWER. SEE FLOOR PLANS FOR FINAL STAIR LAYOUT AND CONFIGURATION.
- 18 DASHED LINE DENOTE PROFILE OF PROPOSED EGRESS STAIR AND ROOF ACCESS WITHIN STAIR TOWER. SEE FLOOR PLANS FOR FINAL STAIR LAYOUT AND CONFIGURATION.
- 19 PRE-FINISHED ALUMINUM FIXED STOREFRONT WINDOW FRAMING AND INSULATED GLAZING UNITS WITHIN STAIR TOWER. COORD. FINAL COLOR SELECTIONS WITH ARCHITECT.
- 20 PROVIDE PRE-FINISHED METAL ROOF GUTTERS CONT. ALONG FACIA PLANE OF ALL ROOF EDGES. COORD. FINAL COLOR AND FINISH SELECTIONS WITH ARCHITECT.
- 21 DASHED LINE OF SLOPING ROOF SUPPORT STRUCTURE WITHIN METAL BUILDING ENCLOSURE. COORD. FINAL ROOF STRUCTURE REQUIREMENTS AND FRAMING NEEDS WITH PRE-ENGINEERED BUILDING SUPPLIER.
- 22 DASHED LINE OF OVERHEAD COILING DOOR COIL HOOD WALL MOUNTED ABOVE GARAGE DOOR OPENING.
- 23 PRE-FINISHED INSULATED METAL COILING OVERHEAD DOOR ASSEMBLY. COORD. FINAL FINISH COLOR SELECTIONS WITH ARCHITECT.
- 24 PRE-FINISHED METAL ROOF DOWNSPOUT ASSEMBLIES LOCATED AT EACH GUTTER AND CONDITION AND AS DETERMINE BY GUTTER VOLUME CALCULATIONS. COORD. FINAL COLOR SELECTION WITH ARCHITECT.
- 25 PROVIDE TURNED OUT DOWNSPOUT AND PRE-CAST CONCRETE SPASH PAN AT EACH DOWNSPOUT LOCATION.
- 26 PROVIDE PRE-FINISHED METAL FLASHING AND WATERPROOFING AT TRANSITION BETWEEN VERTICAL WALL PANELS AND SLOPING ROOF PANELS. COORD. FINAL DETAILING WITH PRE-ENGINEERED BUILDING SUPPLIER AND ARCHITECT.
- 27 POWDER COATED MECHANICAL ROOF GUARD RAILING AROUND FLAT MECHANICAL ROOF PLATFORM(S). COORD. FINAL RAILING DETAILING AND CONNECTIONS WITH ARCHITECT AND BUILDING SUPPLIER.
- 28 PLATFORM MOUNTED CONDENSER UNITS FOR COOLING SUPPLY FOR FAN COIL AND FURNACE UNITS WITHIN BUILDING. FINAL COORDINATION, NUMBER AND SIZE TO BE DETERMINED.
- 29 PROVIDE 60 MIL. MIN. TPO OR APPROVE EQUAL FLAT ROOFING MEMBRANE APPLIED OVER TOP OF TAPPED INSULATION, PROTECTION BOARD AND ROOF DECKING. SLOPE TO GUTTER SYSTEM.
- 30 ROOF ACCESS MAN DOOR WITHIN EASTERN STAIR TOWER. DOOR FOR HVAC ACCESS ONLY AND NOT FOR EGRESS FROM BUILDING.
- 31 STAIR TOWER No.1 BEYOND. SEE OVER FLOOR PLANS FOR STAIR TOWER LOCATION WITHIN PLANS.
- 32 ELEVATOR OVERRUN BEYOND. SEE OVER FLOOR PLANS FOR ELEVATOR LOCATION WITHIN PLANS.
- 33 PROVIDE 6" CONCRETE PAD FOR ALL ELECTRICAL TRANSFORMERS AND HEAVY ELECTRICAL SWITCH GEAR. SEE FINAL ELECTRICAL DRAWINGS FOR PAD SIZING.
- 34 DASHED LINES DENOTE PRELIMINARY SIZE AND LOCATION FOR ELECTRICAL TRANSFORMERS AND HEAVY ELECTRICAL SWITCHGEAR. SEE FINAL ELECTRICAL DRAWINGS FOR GEAR REQUIREMENTS.
- 35 DASHED LINES DENOTE SURFACE MOUNTED ELECTRICAL CONDUIT RUNS FROM EXTERIOR MOUNTED ELECTRICAL GEAR TO INTERIOR ELECTRICAL METERS AND ELECTRICAL PANELS. SEE FINAL ELECTRICAL DRAWINGS FOR FINAL CONDUIT REQUIREMENTS.



1. ENLARGED SOUTH BUILDING ELEVATION
 SCALE: 3/16" = 1'-0"



2. ENLARGED EAST BUILDING ELEVATION
 SCALE: 3/16" = 1'-0"

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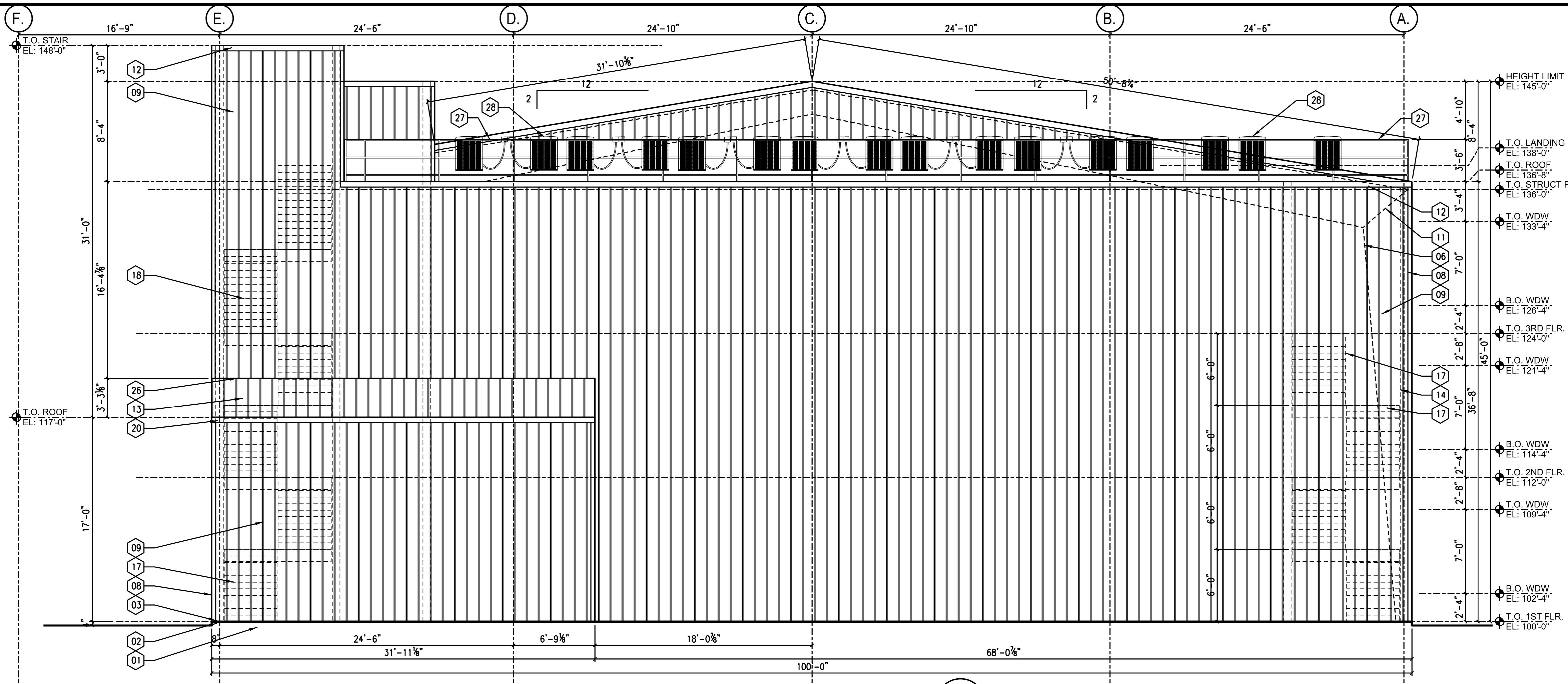
SHEET TITLE:
 ENLARGED BUILDING ELEVATIONS

| | |
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| PROJECT NO. 2015-06 | SHEET NO. A501 |
| SCALE 3/16" = 1'-0" | |
| DATE 07-31-15 | |
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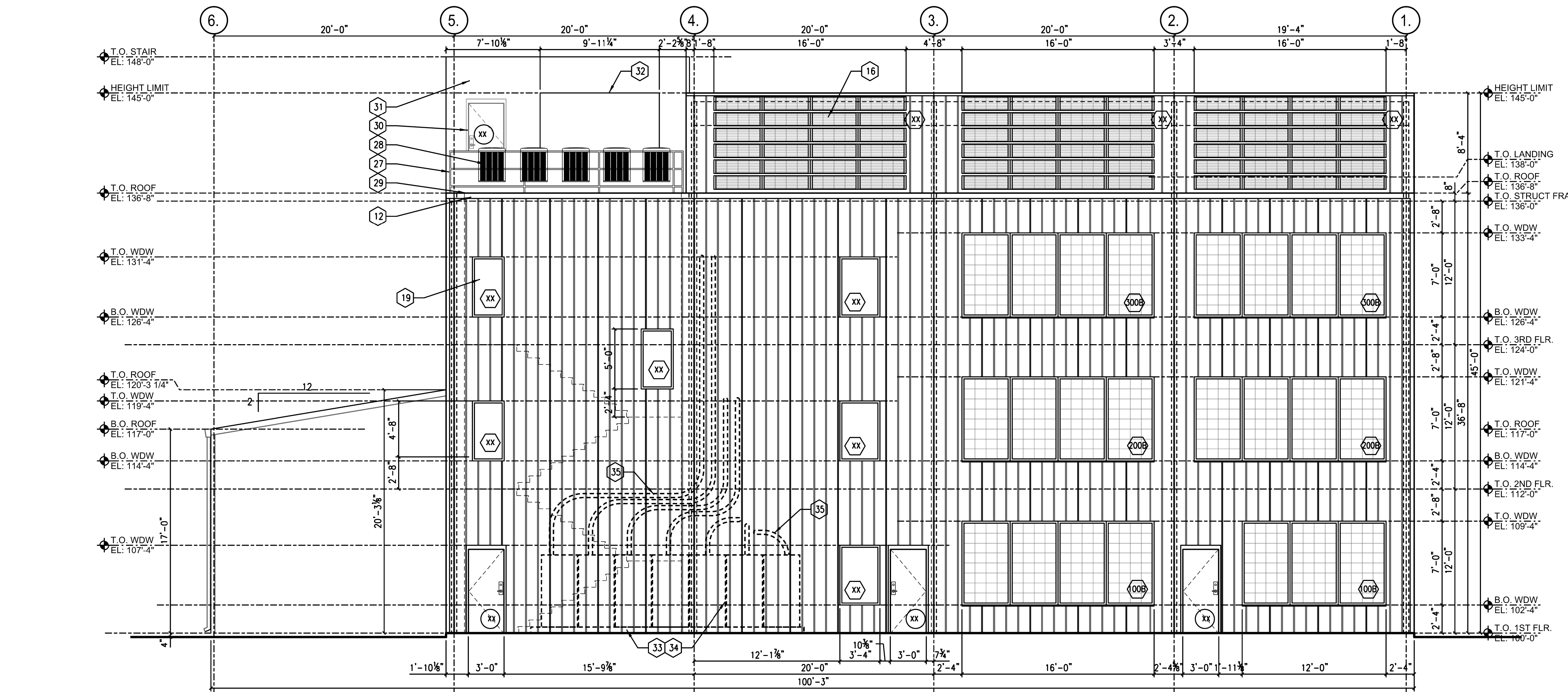


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- ENLARGED ELEVATION KEY NOTES: (XX)
- REINFORCED CONCRETE MAT-SLAB OR PT-SLAB ON GRADE FOUNDATION AND SLAB SYSTEM. FINAL SLAB CONFIGURATION TO BE DETERMINED.
 - PROVIDE ANCHORAGE PLATE AND BOLTING INTO FOUNDATION STRUCTURE. COORDINATE FINAL SLAB CONFIGURATION WITH STEEL BUILDING ENGINEERING REQUIREMENTS.
 - PROVIDE CONT. WATERPROOFING AND SLAB EDGE FLASHING ALONG BASE OF METAL BUILDING FRAME. COORD. FINAL WATERPROOFING AND FRAMING REQUIREMENTS WITH STEEL BUILDING SUPPLIER AND ARCHITECT.
 - PROVIDE CONT. PRE-FINISHED METAL WINDOW SILL FLASHING AND WATERPROOFING AT ALL WINDOW FRAME LOCATIONS. COORD. FINAL DETAILING WITH KALWAL WINDOW SUPPLIER AND ARCHITECT.
 - PROVIDE INSULATED KALWAL WINDOW FRAME WITH POLYMER PLASTIC GLAZING. COORD. FINAL WINDOW SIZING AND DETAILING WITH WINDOW SUPPLIER AND ARCHITECT.
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 - DASHED LINE OF PRE-ENGINEERED ROOF TRUSS STRUCTURAL FRAMEWORK. COORDINATE FINAL TRUSS AND STRUCTURAL FRAME DIMENSIONS AND PROFILE WITH PRE-ENGINEERED BUILDING SUPPLIER AND ARCHITECT.
 - DASHED LINE OF VERTICAL STRUCTURAL STEEL COLUMN AND GABLE END FRAMING. SEE PRE-ENGINEERED STRUCTURAL FRAME DESIGN FOR ADDITIONAL INFORMATION.
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 - PROVIDE PRE-FINISHED METAL ROOF GUTTERS CONT. ALONG FACIA PLANE OF ALL ROOF EDGES. COORD. FINAL COLOR AND FINISH SELECTIONS WITH ARCHITECT.
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 - POWDER COATED MECHANICAL ROOF GUARD RAILING AROUND FLAT MECHANICAL ROOF PLATFORM(S). COORD. FINAL RAILING DETAILING AND CONNECTIONS WITH ARCHITECT AND BUILDING SUPPLIER.
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 - STAIR TOWER NO.1 BEYOND. SEE OVER FLOOR PLANS FOR STAIR TOWER LOCATION WITHIN PLANS.
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 - PROVIDE 6" CONCRETE PAD FOR ALL ELECTRICAL TRANSFORMERS AND HEAVY ELECTRICAL SWITCH GEAR. SEE FINAL ELECTRICAL DRAWINGS FOR PAD SIZING.
 - DASHED LINES DENOTE PRELIMINARY SIZE AND LOCATION FOR ELECTRICAL TRANSFORMERS AND HEAVY ELECTRICAL SWITCHGEAR. SEE FINAL ELECTRICAL DRAWINGS FOR GEAR REQUIREMENTS.
 - DASHED LINES DENOTE SURFACE MOUNTED ELECTRICAL CONDUIT RUNS FROM EXTERIOR MOUNTED ELECTRICAL GEAR TO INTERIOR ELECTRICAL METERS AND ELECTRICAL PANELS. SEE FINAL ELECTRICAL DRAWINGS FOR FINAL CONDUIT REQUIREMENTS.



1. ENLARGED NORTH BUILDING ELEVATION
 SCALE: 3/16" = 1'-0"



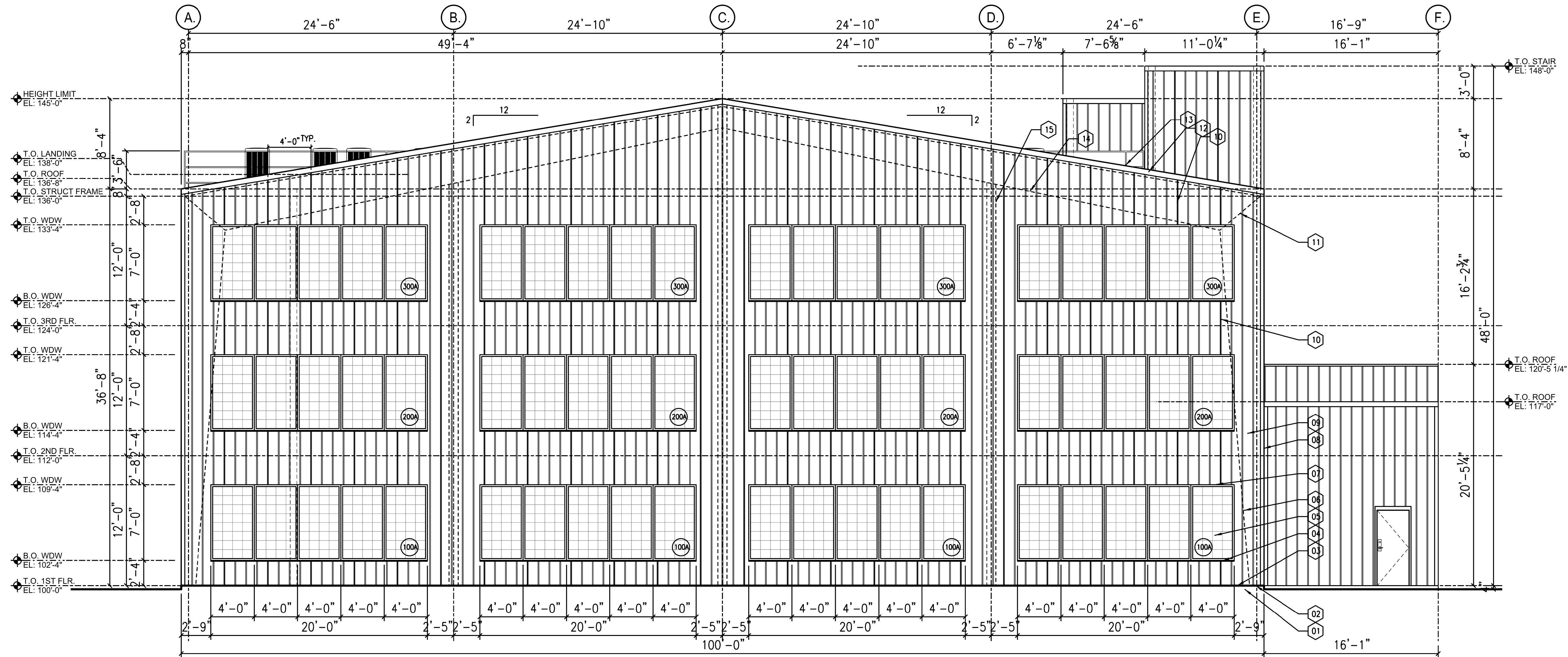
2. ENLARGED WEST BUILDING ELEVATION
 SCALE: 3/16" = 1'-0"

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| | JUNE 5, 2016 | SCHEMATIC DESIGN |

SHEET TITLE:
 ENLARGED BUILDING ELEVATIONS

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| PROJECT NO: 2015-06 | SHEET NO. A502 |
| SCALE: 3/16" = 1'-0" | |
| DATE: 07-31-15 | |
| DRAWN BY: SUG | |
| CHECKED BY: JLG | |
| APPROVED BY: JLG | |



1. ENLARGED SOUTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0"

ENLARGED ELEVATION KEY NOTES: (XX)

- 01 REINFORCED CONCRETE MAT-SLAB OR PT-SLAB ON GRADE FOUNDATION AND SLAB SYSTEM. FINAL SLAB CONFIGURATION TO BE DETERMINED.
- 02 PROVIDE ANCHORAGE PLATE AND BOLTING INTO FOUNDATION SLAB SYSTEM TO SUPPORT STEEL BUILDING STRUCTURAL FRAME STRUCTURE. COORDINATE FINAL SLAB, PLATE AND REINFORCING REQUIREMENTS WITH STEEL BUILDING ENGINEERING REQUIREMENTS.
- 03 PROVIDE CONT. WATERPROOFING AND SLAB EDGE FLASHING ALONG BASE OF METAL BUILDING FRAME. COORD. FINAL WATERPROOFING AND FRAMING REQUIREMENTS WITH STEEL BUILDING SUPPLIER AND ARCHITECT.
- 04 PROVIDE CONTN PRE-FINISHED METAL WINDOW SILL FLASHING AND WATERPROOFING AT ALL WINDOW FRAME LOCATIONS. COORD. FINAL DETAILING WITH KALWAL WINDOW SUPPLIER AND ARCHITECT.
- 05 PROVIDE INSULATED KALWAL WINDOW FRAME WITH POLYMER PLASTIC GLAZING. COORD. FINAL WINDOW SIZING AND DETAILING WITH WINDOW SUPPLIER AND ARCHITECT.
- 06 DASHED LINE DENOTES SIZE AND LOCATION OF STRUCTURAL STEEL FRAME WITHIN METAL CLADDING PANELS AND BUILDING ENCLOSURE.
- 07 PROVIDE CONT. PRE-FINISHED METAL WINDOW HEAD FLASHING AND WATERPROOFING AT ALL WINDOW FRAME LOCATIONS. COORD. FINAL DETAILING WITH KALWAL WINDOW SUPPLIER AND ARCHITECT.
- 08 PROVIDE PRE-FINISHED METAL OUTSIDE CORNER GUARDS/TRIM AS AVAILABLE FROM METAL BUILDING MANUFACTURER SELECTED. COORD. FINAL COLOR AND FINISH SELECTIONS WITH ARCHITECT.
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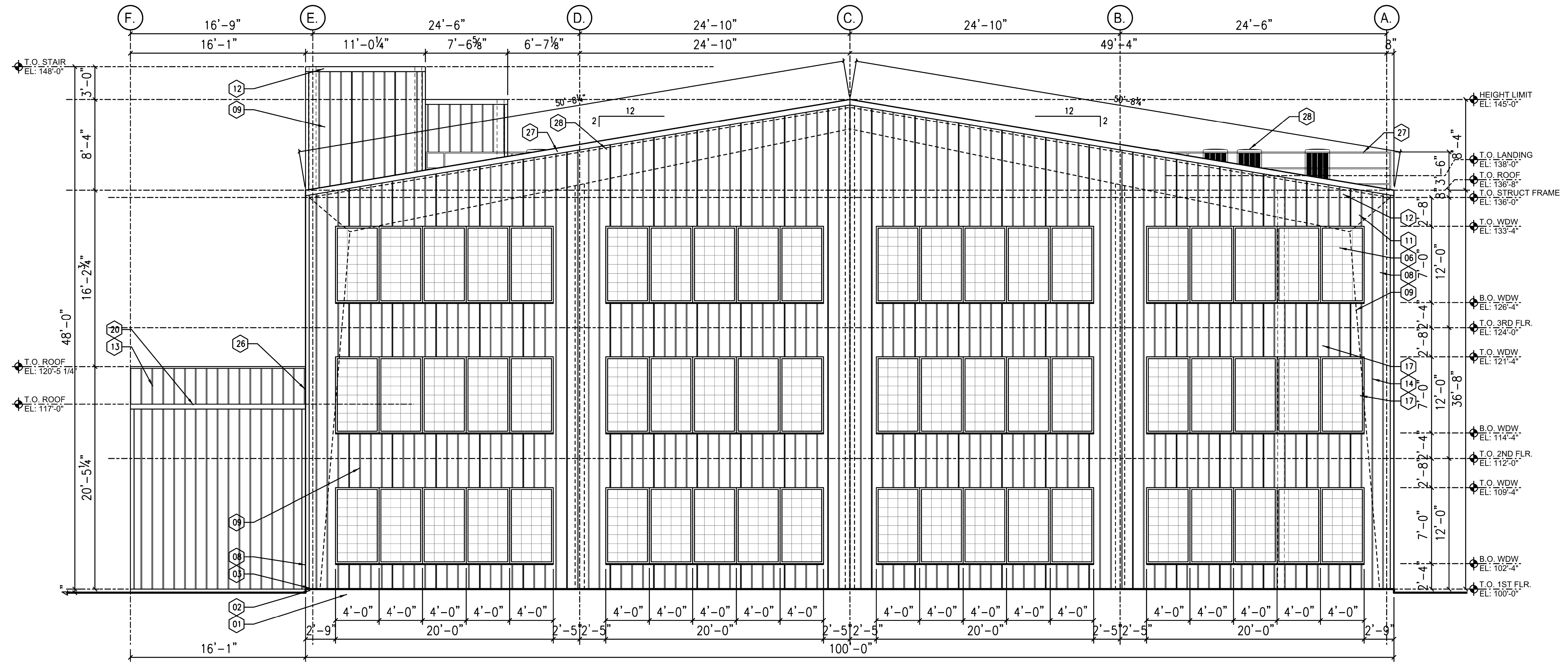


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| REV. | DATE: | ISSUED FOR: |
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| | AUG 8, 2016 | SCHEMATIC DESIGN |

SHEET TITLE:
ENLARGED BUILDING ELEVATIONS

| | |
|-------------------------|--------------------------|
| PROJECT No: 2015-06 | SHEET No. A504 |
| SCALE: 3/16" = 1'-0" | |
| DATE: 07-31-15 | |
| DRAWN BY: SUG | |
| CHECKED BY: JLG | |
| APPROVED BY: JLG | OF |



1. ENLARGED NORTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0"

ENLARGED ELEVATION KEY NOTES:

- 01 REINFORCED CONCRETE MAT-SLAB OR PT-SLAB ON GRADE FOUNDATION AND SLAB SYSTEM. FINAL SLAB CONFIGURATION TO BE DETERMINED.
- 02 PROVIDE ANCHORAGE PLATE AND BOLTING INTO FOUNDATION SLAB SYSTEM TO SUPPORT STEEL BUILDING STRUCTURAL FRAME STRUCTURE. COORDINATE FINAL SLAB, PLATE AND REINFORCING REQUIREMENTS WITH STEEL BUILDING ENGINEERING REQUIREMENTS.
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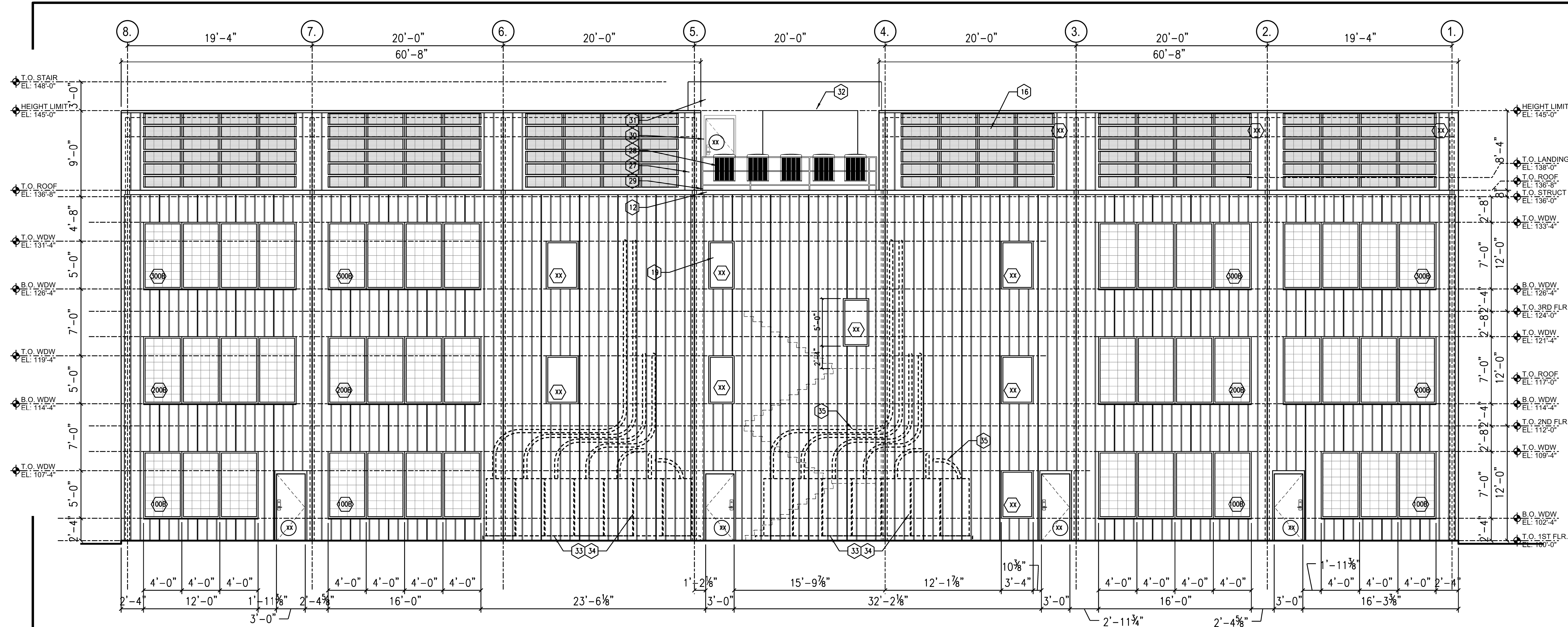


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| REV. | DATE: | ISSUED FOR: |
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| | AUG 8, 2016 | SCHEMATIC DESIGN |

SHEET TITLE:
ENLARGED BUILDING ELEVATIONS

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|-------------------------|--------------------------|
| PROJECT NO: 2015-06 | SHEET No. A505 |
| SCALE: 3/16" = 1'-0" | |
| DATE: 07-31-15 | |
| DRAWN BY: SUG | |
| CHECKED BY: JLG | |
| APPROVED BY: JLG | OF |



1. ENLARGED WEST BUILDING ELEVATION

SCALE: 3/16" = 1'-0"

ENLARGED ELEVATION KEY NOTES: XX

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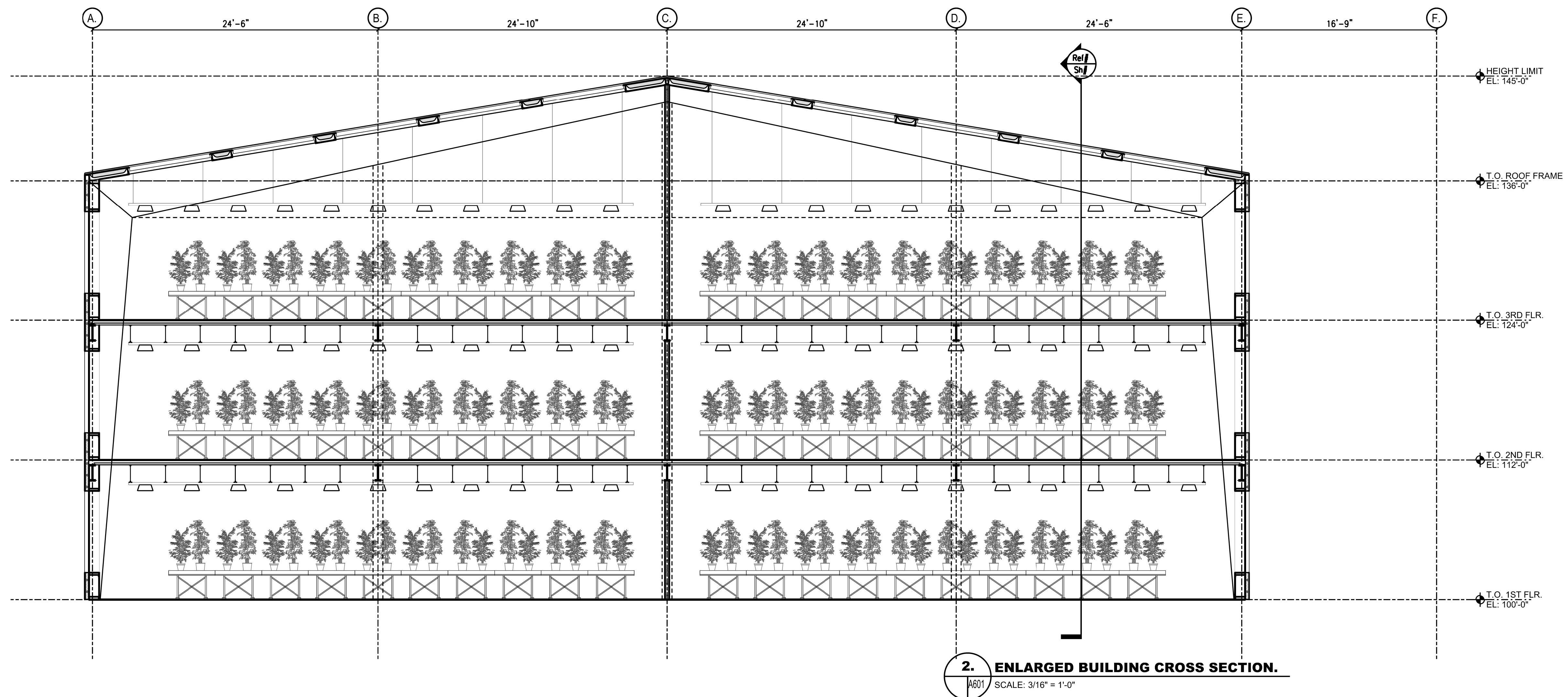
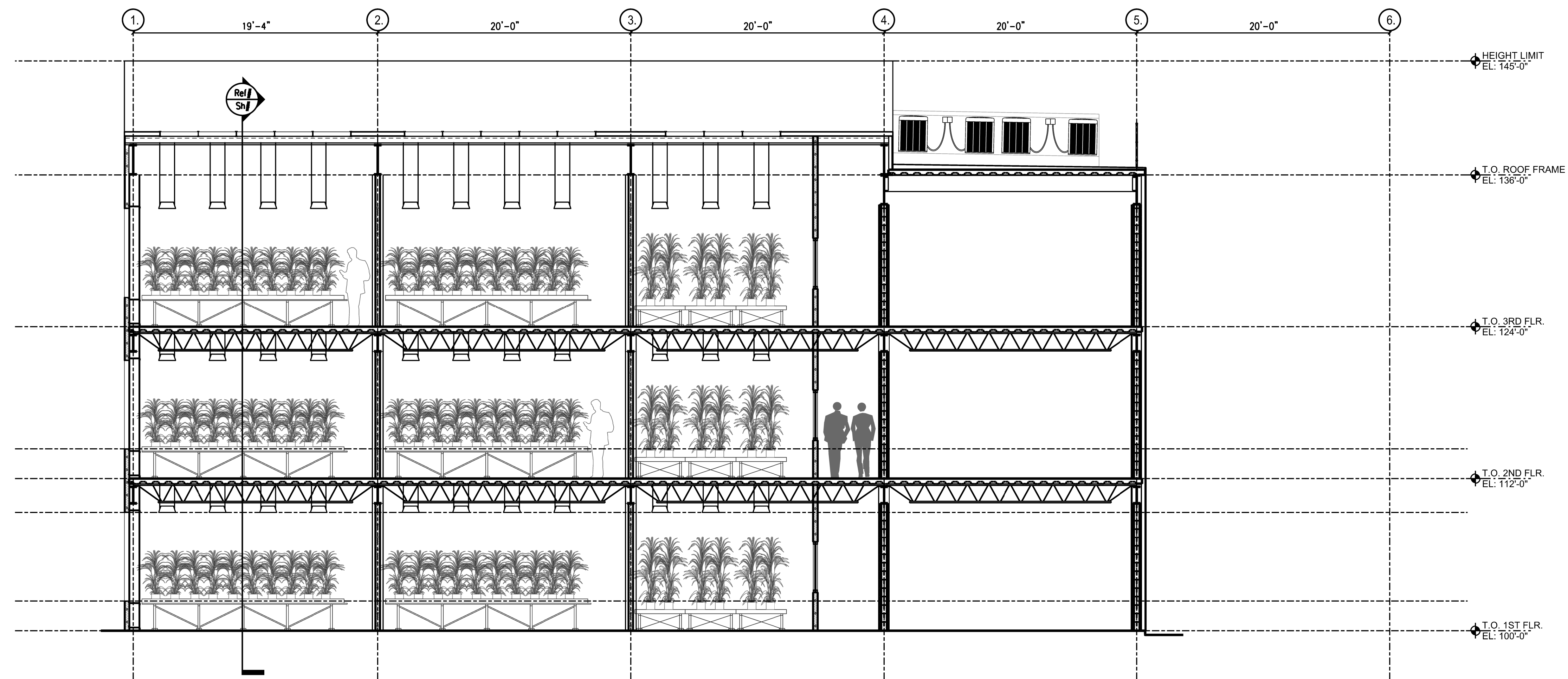
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| REV. | DATE: | ISSUED FOR: |
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| | AUG 8, 2016 | SCHEMATIC DESIGN |

SHEET TITLE:
ENLARGED BUILDING ELEVATIONS

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|-------------------------|--------------------------|
| PROJECT NO: 2015-06 | SHEET No. A506 |
| SCALE: 3/16" = 1'-0" | |
| DATE: 07-31-15 | |
| DRAWN BY: SUG | |
| CHECKED BY: JLG | |
| APPROVED BY: JLG | OF |

FT. COLLINS
GROW HOUSE



Architects, Inc.
Architecture, Design, Interiors
Planning
6525 S. Richfield Street
Aurora, Colorado 80016
(720) 231-6385

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| REV. | DATE: | ISSUED FOR: |
|------|--------------|------------------|
| | JUNE 5, 2016 | SCHEMATIC DESIGN |

SHEET TITLE:
ENLARGED BUILDING SECTIONS

| | |
|-------------------------|--------------------------------|
| PROJECT No: 2015-06 | SHEET No. A601 OF |
| SCALE: 3/16" = 1'-0" | |
| DATE: 07-31-15 | |
| DRAWN BY: SUG | |
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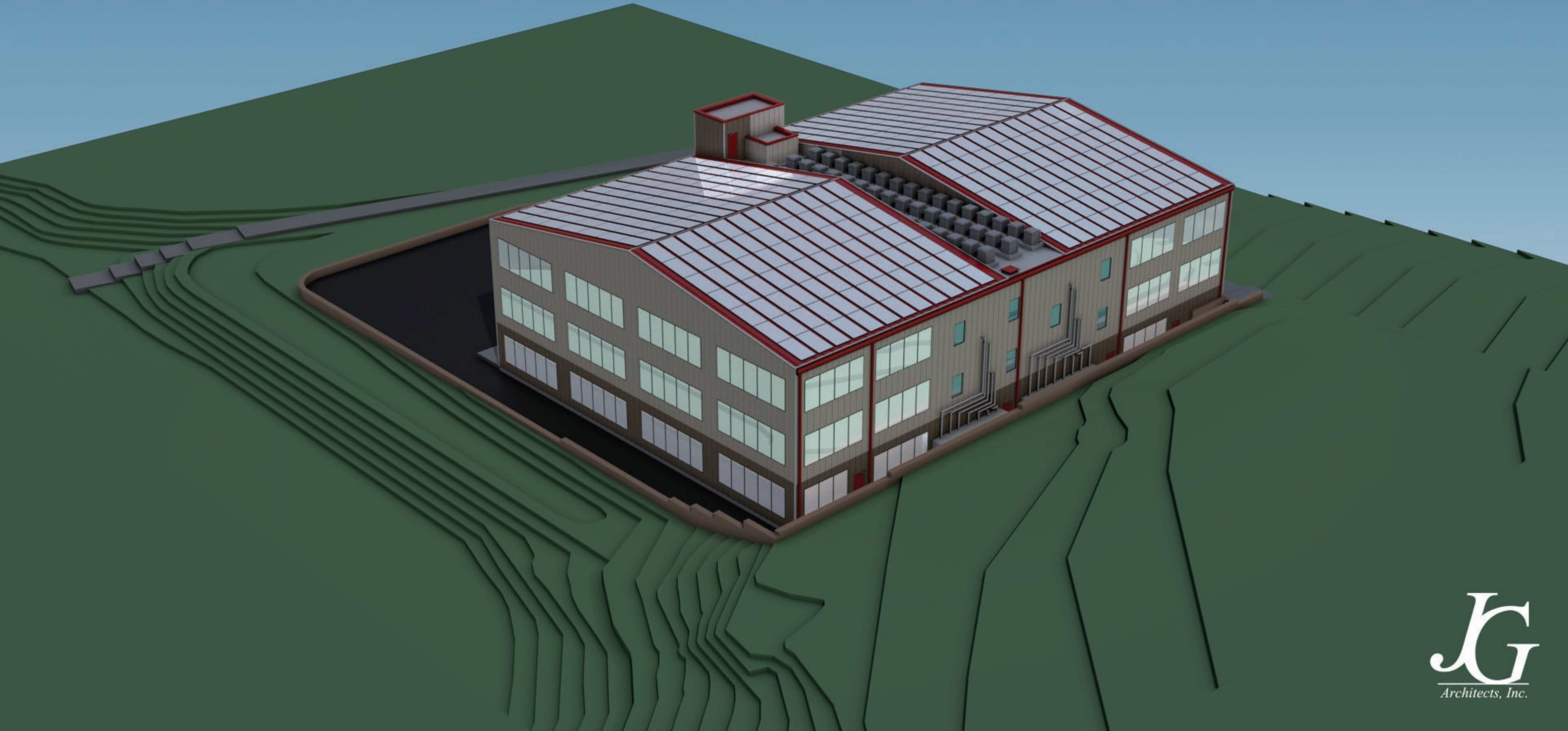
Fort Collins Grow House



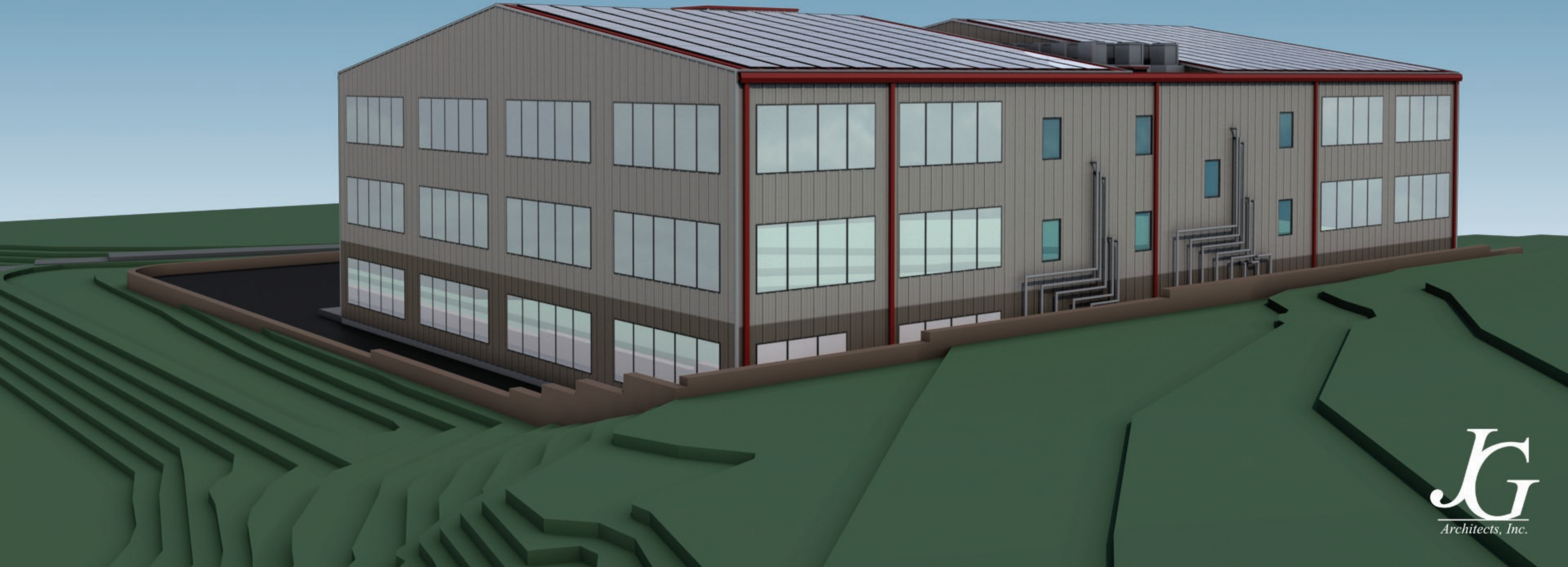
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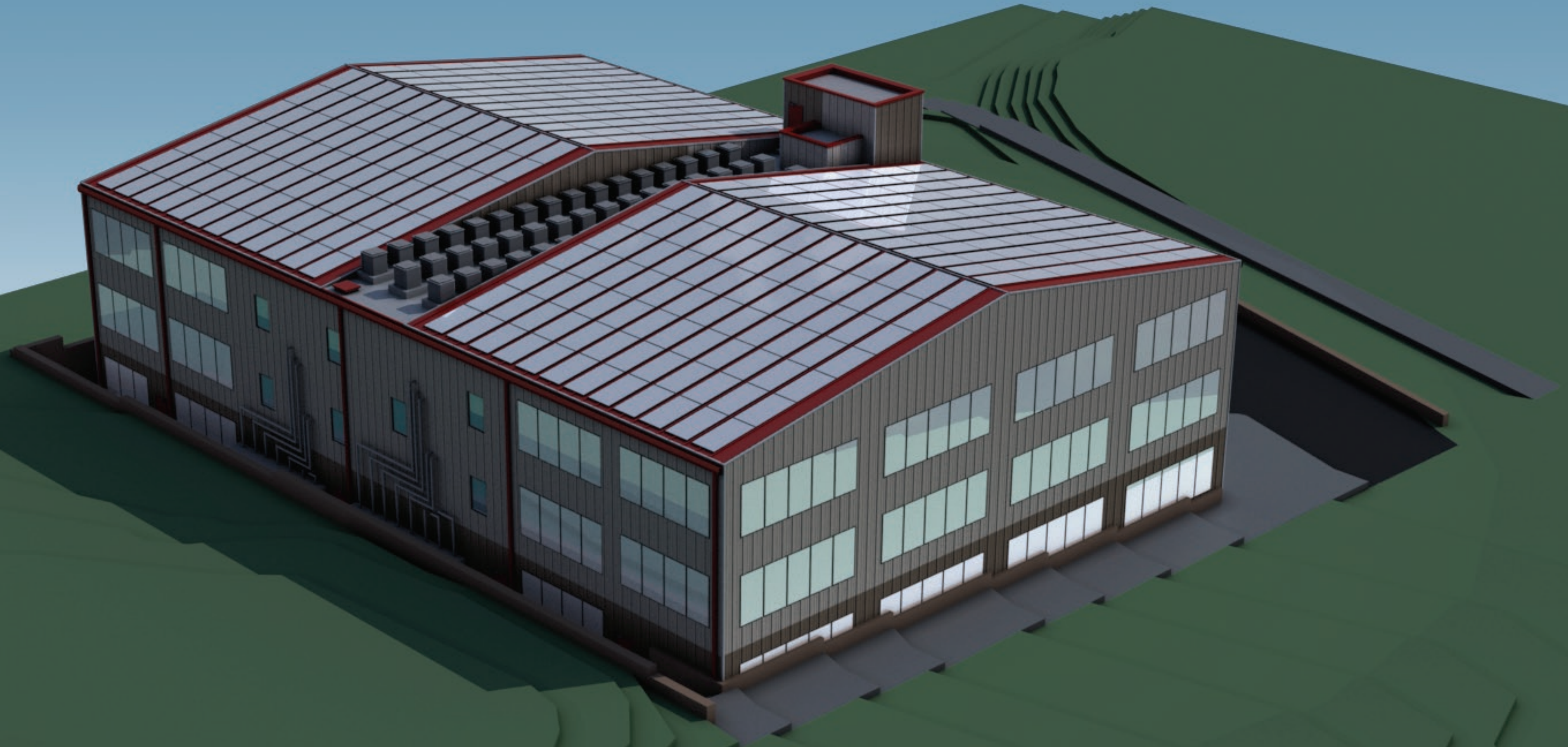
Fort Collins Grow House



Fort Collins Grow House



Fort Collins Grow House



Fort Collins Grow House



Fort Collins Grow House



Fort Collins Grow House





November 14, 2016

Pete Tovani
RJSCJS, LLC
7033 S Oneida Cir
Centennial, CO 80112

Re: 116 Bueno Dr. - Marijuana Cultivation Facility

Description of project: This is a request to build a marijuana cultivation facility at 116 Bueno Dr. (parcel #9612234002). The facility would be three stories tall and 42,000 sq. ft. total. 17 parking spaces will serve the development. The site is located in the Service Commercial (CS) zone district. This proposal will be subject to Basic Development Review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clay Frickey, at 970-224-6045 or cfrickey@fcgov.com.

Comment Summary:

Department: Zoning

Contact: Ryan Boehle, 970-416-2401, rboehle@fcgov.com

1. The building must adhere to the "build-to lines" and shall be located no more than 15' from the public right of way as per 3.5.3(2)(a). The CS zone limits the maximum building height to 3 stories.
2. Due to the amount of additional mechanical equipment needed for ventilation of this facility, all equipment will need to be properly screened from public view, in particular the west elevation equipment, including the rooftop mechanical and the electrical equipment.
3. All development shall submit a landscape and tree protection plan, and all developments shall establish groves and belts of trees along all city streets, in and around parking lots, and in all landscape areas that are located within fifty (50) feet of any building or structure.
4. To satisfy the industrial employee parking the site must provide a minimum of 4 bicycle parking spaces.
5. Trash enclosure needed as per 3.2.5, The development shall provide adequate sized, conveniently placed trash and recycling enclosure. Design needs to include a separate walk in access separate to the main access.
6. Site lighting needs to be provided as per 3.2.4 (C), a lighting plan, including photometrics and fixture cut sheets. Use of warmer color temperatures(3000 Kelvin or less)in site light fixtures is preferred.
7. The minimum amount of parking required is 0.5 space per employee as per 3.2.2 (D)(4)

8. The minimum amount of handicap parking for the development is 1 space as per 3.2.2 (K) (5) and regardless of handicap spaces provided, at least one space shall be designated van accessible and must be a minimum of eight feet wide and have an eight foot access aisle.

Department: Water-Wastewater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. This site is will be served by Fort Collins - Loveland Water District for water service and South Fort Collins Sanitation District for sewer service.

Department: Traffic Operations

Contact: Nicole Hahn, 970-221-6820, nhahn@fcgov.com

1. The anticipated traffic volume from this development meets the threshold for needing a Traffic Impact Study. Please have your traffic engineer contact me to scope the study.

Department: Technical Services

Contact: Jeff County, 970-221-6588, jcounty@fcgov.com

1. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
2. There are line over text & text masking issues, that will need to be corrected when submitted for review.

Department: Stormwater Engineering

Contact: Shane Boyle, 970-221-6339, sboyle@fcgov.com

1. The design of this site must conform to the drainage basin design of the Fossil Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs.
3. The erosion control report requirements are in Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Stormwater Criteria Manual. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
4. Onsite detention is required for the runoff volume difference between the 100-year developed inflow rate and the 2-year historic release rate. The outfall for this site is the existing storm sewer located on the property.
5. It is unclear whether easements have been dedicated across this parcel for the existing storm sewer. This will need to be researched by the design team and a minimum 20' easement centered on the pipe will need to be dedicated if it doesn't exist. The proposed building and landscaping must meet minimum separation requirements from the existing storm sewer.
6. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
7. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options:

- A. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
 - B. 75% of all newly added or modified impervious area must be treated by LID techniques.
8. There will be a final site inspection of the stormwater facilities when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. Standard operating procedures (SOPs) for on-going maintenance of all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at:
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
 9. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins and bio-retention cells.
 10. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq. ft. and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jill White at 970-416-2139 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

Department: Fire Authority

Contact: Jim Lynxwiler, 970-416-2869, jlynxwiler@poudre-fire.org

1. 2015 IFC CODE ADOPTION
The Poudre Fire Authority and the City of Fort Collins are in the process of adopting the 2015 International Fire Code. Building plan reviews shall be subject to the adopted version of the fire code in place at the time of plan review submittal and permit application.
2. GROW FACILITIES
Grow facilities for marijuana must meet minimum fire hazard and exit requirements. The applicant is responsible for obtaining and completing a "Marijuana Check Sheet". The check sheet is available from the the City of Fort Collins at such time a business permit is obtained. The completed check sheet is to be returned to the Poudre Fire Authority as directed. This document will be reviewed with the applicant at time of final inspection. For more information, contact PFA Captain Michal Jaques at 416-2863.
3. HAZARDOUS MATERIALS - GENERAL STANDARD
By time of building permit, a list of all chemical in storage or in use, along with quantities and MSDS fact sheets will be required and a Hazardous Materials Impact Analysis may be requested.

> FCLU 3.4.5(B): If any use on the development site may entail the use or storage of hazardous materials (including hazardous wastes) on-site, the project shall be designed to comply with all safety, fire and building codes for the use and storage of the hazardous materials involved. Adequate precautions shall be taken to protect against negative off-site impacts of a hazardous materials release, using the best available technology.
4. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM TEST
> IFC 510: New buildings require a fire department, emergency communication system evaluation after the core/shell but prior to final build out. For the purposes of this section, fire

walls shall not be used to define separate buildings. Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority.

5. FIRE LANES

Fire access is required to within 150' of all exterior portions of any building, or facility as measured by an approved route around the perimeter. In order to meet code requirements for fire access, a fire lane will be needed on the property. Any private drive serving as a fire lane shall be dedicated as an Emergency Access Easement (EAE) and be designed to standard fire lane specifications. In addition, aerial apparatus access requirements are triggered for buildings in excess of 30' in height. Code language and fire lane specifications provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

6. FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
- > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
- > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
- > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
- > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
- > Be visible by painting and/or signage, and maintained unobstructed at all times. Sign locations or red curbing should be labeled and detailed on final plans.
- > Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details. International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

7. STRUCTURES EXCEEDING 30' IN HEIGHT

Aerial Fire Apparatus Access Roads are required for buildings over 30' in heights. Code language provided below.

WHERE REQUIRED

> IFC D105.1: Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

WIDTH

> IFC D105.2; FCLUC 3.6.2(B)2006; and Local Amendments: Aerial fire apparatus access roads shall have a minimum unobstructed width of 30 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

PROXIMITY TO BUILDING

> IFC D105.3: At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

8. FIRE LANE SIGNS

The limits of the fire lane shall be fully defined. Fire lane sign locations should be indicated on future plan sets however the applicant should also be advised that additional on-site signage may be required at time of field inspection and final CO. Code language provided below.

> IFC D103.6: Where required by the fire code official, fire apparatus access roads shall be marked with permanent NO PARKING - FIRE LANE signs complying with Figure D103.6. Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. Signs shall be posted on one or both sides of the fire apparatus road as required by Section D103.6.1 or D103.6.2.

9. AUTOMATIC FIRE SPRINKLER SYSTEM

This building will require an automatic fire sprinkler system under a separate permit. Please contact Assistant Fire Marshal, Joe Jaramillo with any fire sprinkler related questions at 970-416-2868.

FDC

> IFC 912.2: Fire Department Connections shall be installed in accordance with NFPA standards. Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access. The location of the FDC shall be approved by the fire department.

10. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. A hydrant is required within 300' of any Commercial Building as measured along an approved path of vehicle travel. The existing utility infrastructure available in the area appears to meet the code requirement, however it is the applicant's responsibility to verify location, pressure, and volume. Code language provided below.

> IFC 507.5 and PFA Policy: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building.

Department: Environmental Planning

Contact: Stephanie Blochowiak, 970-416-4290, sblochowiak@fcgov.com

1. Generally, an Ecological Characterization Study (ECS) is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitats and features associated with both Redtail Grove Natural Area and Two Creeks Natural Area. However, as there is intervening infrastructure and a road between the features and this property, and the standard buffer would not extend to this project's parcel, the ECS is waived for this site.
2. Regarding site lighting note: especially for LED light fixtures, The American Medical Association (AMA) and International Dark-Sky Association (IDA) both recommend using lighting that has a corrected color temperature (CCT) of no more than 3000 degrees Kelvin in order to limit the amount of blue light in the night environment. Cooler color temperatures are harsher at night and cause more disruption to circadian (biological) rhythms for both humans and wildlife and blue light brightens the night sky and creates more glare than any other color of light. Use of warmer color temperature (warm white, 3000K or less) for light fixtures is preferred in addition to fixtures with dimming capabilities. Site light sources shall be fully shielded and down-directional to minimize up-light, light spillage and glare [see LUC 3.2.4(D) (3)]. Submit a photometric plan and manufacture cut sheets at PDP. For further information regarding health effects please see:
<http://darksky.org/ama-report-affirms-human-health-impacts-from-leds/>

3. City of Fort Collins Land Use Code [Section 3.2.1 (E)(3)], requires that to the extent reasonably feasible, all plans be designed to incorporate water conservation materials and techniques. This includes use of low-water-use plants and grasses in landscaping or re-landscaping and reducing bluegrass lawns as much as possible. Native plants and wildlife-friendly (ex: pollinators, butterflies, songbirds) landscaping and maintenance are also encouraged. Please refer to the Fort Collins Native Plants document available online and published by the City of Fort Collins Natural Areas Department for guidance on native plants is: <http://www.fcgov.com/naturalareas/pdf/nativeplants2013.pdf>.
4. If the site contains trees note: LUC Section 3.2.1(C) requiring developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "... (4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment." Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or tbuchanan@fcgov.com) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
5. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens now and generations from now. Thus, the City of Fort Collins has many sustainability programs and goals that may benefit this project. Of particular interest may be:

1) ClimateWise program: fcgov.com/climatewise/

2) Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf, contact Caroline Mitchell at 970-221-6288 or cmtichell@fcgov.com

3) Green Building Program: fcgov.com/enviro/green-building.php, contact Tony Raeker at 970-416-4238 or traeker@fcgov.com

4) Solar Energy: www.fcgov.com/solar, contact Norm Weaver at 970-416-2312 or nweaver@fcgov.com

5) Integrated Design Assistance Program: <http://fcgov.com/idap>, contact Gary Schroeder at 970-224-6003 or gschroeder@fcgov.com

Please consider City sustainability goals and ways this development can engage with these efforts. Let me know if I can help connect you to these programs.

Department: Engineering Development Review

Contact: Katie Andrews, 970-221-6501, kandrews@fcgov.com

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so

that they do meet current ADA standards as a part of this project.

5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. The property will be required to improve its Bueno Dive frontage – this includes new asphalt, curb, gutter, parkway, and sidewalk. The Land Use Code also requires that the project have improved street access to the nearest arterial (College Ave). Bueno Drive is currently in poor condition and has not been accepted by the City for maintenance – Division 3.3.F of the code requires Bueno to be improved to LCUASS standards out to College Avenue at which time it may be accepted by the City. We can determine more specific requirements when the project is submitted.
7. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. Most easements to be dedicated need to be public easements dedicated to the City. This shall including the standard utility easements that are to be provided behind the right-of-way (9 foot Bueno Drive). Information on the dedication process can be found at: <http://www.fcgov.com/engineering/devrev.php>
8. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
9. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
10. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
11. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.
12. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
13. Any rain gardens within the right-of-way cannot be used to treat the development/ site storm runoff. We can look at the use of rain gardens to treat street flows – the design standards for these are still in development.
14. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
15. In regards to construction of this site: the public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

Department: Electric Engineering

Contact: Rob Irish, 970-224-6167, rirish@fcgov.com

1. Light & Power has existing electric facilities running North & South along the East edge of the property and along the North side of Bueno Dr. Power for this site could come from splicing in a switch cabinet into the existing 3-phase primary.

2. Any relocation or modification to existing electric facilities will be at the expense of the owner/developer. If Light & Power's existing electric facilities are to remain within the limits of the project they must be located within a utility easement.
3. Transformer locations need to be within 10' of an asphalt surface accessible by a line truck. A minimum clearance of 8' must be maintained in front of the transformer doors and a minimum of 3' on the sides. Transformer and meter locations will need to be coordinated with Light & Power Engineering. Certain building materials and or building design may require more clearance. Please click on the following link for Electric Service Standards.
<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations>
4. A commercial service information form (C-1 form) and a one line diagram will need to be submitted to Light & Power Engineering for all proposed commercial buildings and multi-family (commercial) buildings larger than a duplex. A link to the C-1 form is below:
<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations>
5. Electric Capacity Fee, Building Site charges, and any system modification charges necessary will apply to this development. Please contact us if you have any questions regarding the fees for the project and reference our fee estimator at:
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees>

Planning Services

Contact: Clay Frickey, 970-224-6045, cfrickey@fcgov.com

1. The perimeter and interior of the parking lot must be landscaped per the standards outlined in section 3.2.1(E)(4)-(5). The perimeter should screen 75% of the shine from headlights and provide buffering from adjacent properties. This can be accomplished through shrubs, berms, low walls, or fences. 6% of the interior must be landscaped. Please include a diagram and/or calculation that demonstrates how you meet this standard.
2. Due to the neighborhood immediately adjacent to this property to the north, you must provide enhanced landscape buffering from this neighborhood. Staff will be looking for significant amounts of evergreen trees and shrubs with a wide spread to screen the building from the adjacent neighborhood year-round.
3. As part of this project, you will likely need to bring your frontage on Bueno Dr. up to current standards in terms of curb, gutter, sidewalk, and landscape strip. You will need to provide street trees in this landscape strip that is between the curb and the sidewalk. Please show all of these elements in your site and landscape plan.
4. Since the proposed building is over 40' in height, you must submit a shadow analysis as part of your formal submittal. This analysis should show the shadow cast by the building on the summer and winter solstice. The building should be designed to minimize the shadows cast on neighboring properties.
5. This development must comply with section 3.5.1(J) of the Land Use Code, which deals with operational compatibility. A marijuana growing facility of this scale immediately adjacent to a neighborhood could produce a number of negative impacts to the adjacent neighborhood. How will the smell of the operation be mitigated? How much noise will the mechanical equipment generate? What will the hours of operation of the facility be? How much light will be generated from the project and how will that light be screened from the neighborhood? These are very important considerations staff will be looking for responses to upon your formal submittal with the City.
6. The proposed building does not meet the architectural compatibility requirements in section 3.5.3(D) of the Land Use Code. While there is a change in color and a significant number of windows to break up the mass, there is no change of planes shown to further break up the

large mass of this building. The building also does not have a clear base, middle, and top. Please add more articulation to the building to help reduce its perceived mass and impact on the surrounding area.

7. The proposed development is subject to a Basic Development Review, please contact the Zoning Department regarding your formal submittal.