

# Conceptual Review Agenda

Schedule for 05/16/16 to 05/16/16

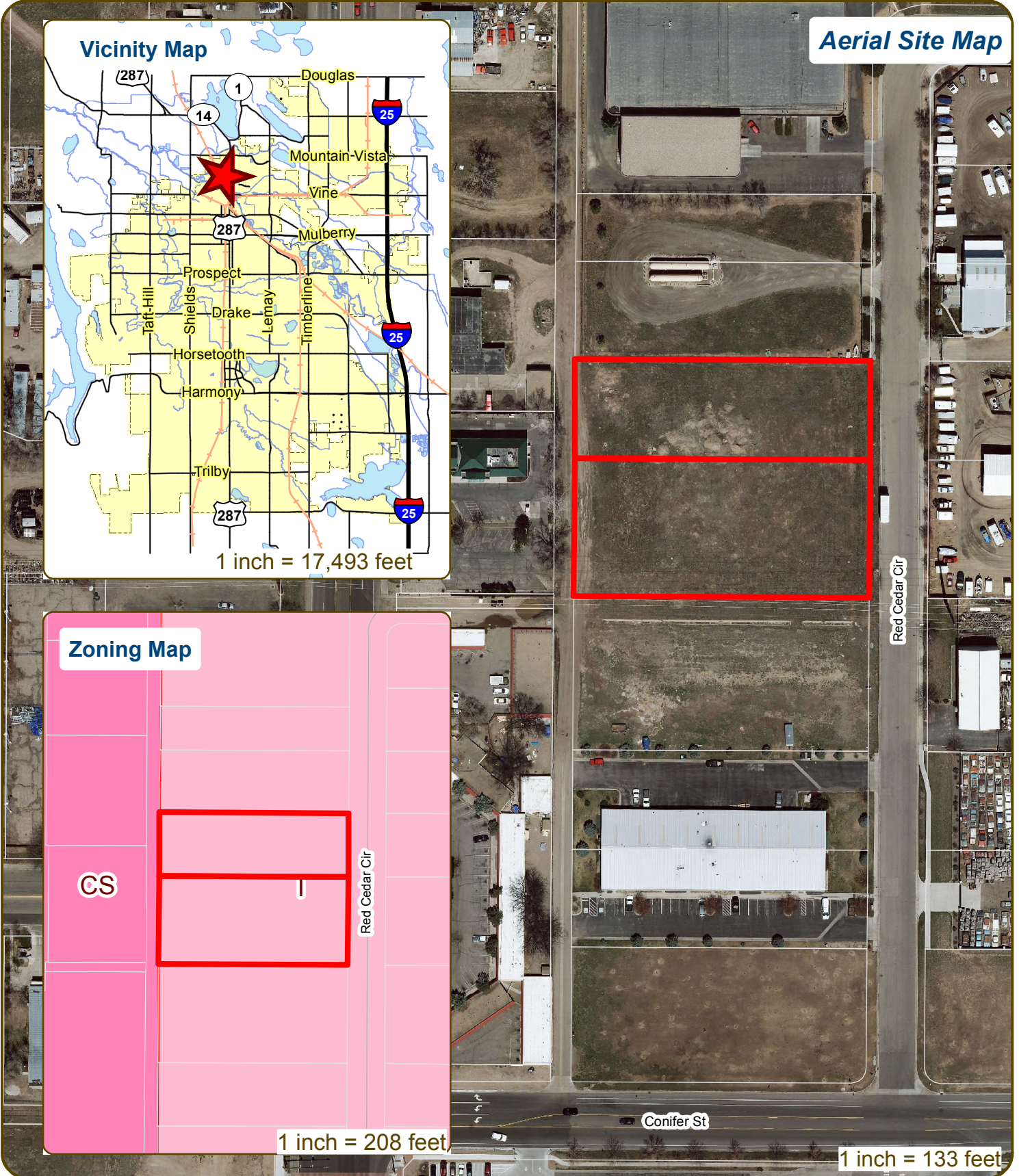
281 Conference Room A

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## Monday, May 16, 2016

Time	Project Name	Applicant Info	Project Description	Planner
9:30	Evergreen Park - Office and Vehicle Minor Repair CDR160039	Don Shields (970) 493-2025 <a href="mailto:dons@wgarchitects.com">dons@wgarchitects.com</a>	This is a request to build an office with vehicle service bays on Lots 15 and 16 of Evergreen Park (parcel #'s 9701213015 and 9701213016). The building would be 5,500 sq. ft. split between office and vehicle minor repair. The western portion of the site will be a fenced yard with 17 truck parking spaces. The site is located in the Industrial (I) zone district. This proposal will be subject to Administrative (Type I) review.	Clay Frickey
10:15	516 N Grant Ave - Carriage House CDR160040	Gary Wockner (970) 218-8310 <a href="mailto:gary@garywockner.com">gary@garywockner.com</a>	This is a request to build an accessory dwelling unit at 516 N Grant Ave (parcel #9711216021). The new building would be two stories with a garage on the main level and dwelling unit on the second story. The parcel is 11,000 sq. ft. and has alley access. The site is located in the Neighborhood Conservation, Medium Density (NCM) zone district. This proposal will be subject to Administrative (Type I) review.	Clay Frickey
11:00	Johnston Annex - Single-family Attached CDR160041	Lonny Phelps (303) 298-1644 <a href="mailto:lphelps@phelpsenineering.net">lphelps@phelpsenineering.net</a>	This is a request to build 166 single-family attached units in the Johnston Annexation (parcel #8607400010). 112 of the units will be served by alleys with their parking located next to the alleys while the remaining 54 units will have an 18' parking area in front of the unit. The development will also contain .7 acres of open space. The site is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Administrative (Type I) review.	Ted Shepard

# Evergreen Park Office and Vehicle Minor Repair



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Perry Schrader, Owner
Don Shields, Project Manager/Consultant Schrader Propane
320 N. College, Ave,
Fort Collins, CO 80524
ph: (970) 484-1225
email: pschrader@schraderoil.com
Business Name (if applicable) \_WG Architects
Your Mailing Address P.O. Box 270788, Ft. Collins, CO 80528
Phone Number (970) 493-2025 Ext. 02 Email Address dons@wgarchitects.com

Site Address or Description (parcel # if no address)
Parcel # 97012-13-015 and the northern 56 feet of Parcel #97012-13-016

Description of Proposal (attach additional sheets if necessary) Construct a 5,500 s.f. pre-engineered metal building with a 10' deep covered front porch. The southern 3,000 s.f. will be offices and the northern 2,500 s.f. will be service bays for minor truck repair of the Owner's trucks. We propose 8 car parking spaces and 8 bike spaces. The western part of the site will be used for 17 truck parking spaces. The driving surface of the fenced western parking area will be crushed recycled asphalt.

Proposed Use Office/Vehicle Servicing & Maintenance Existing Use Vacant Land

Total Building Square Footage 5,500 S.F. Number of Stories 1 Lot Dimensions 156' x 300'

Age of any Existing Structures No existing structures.

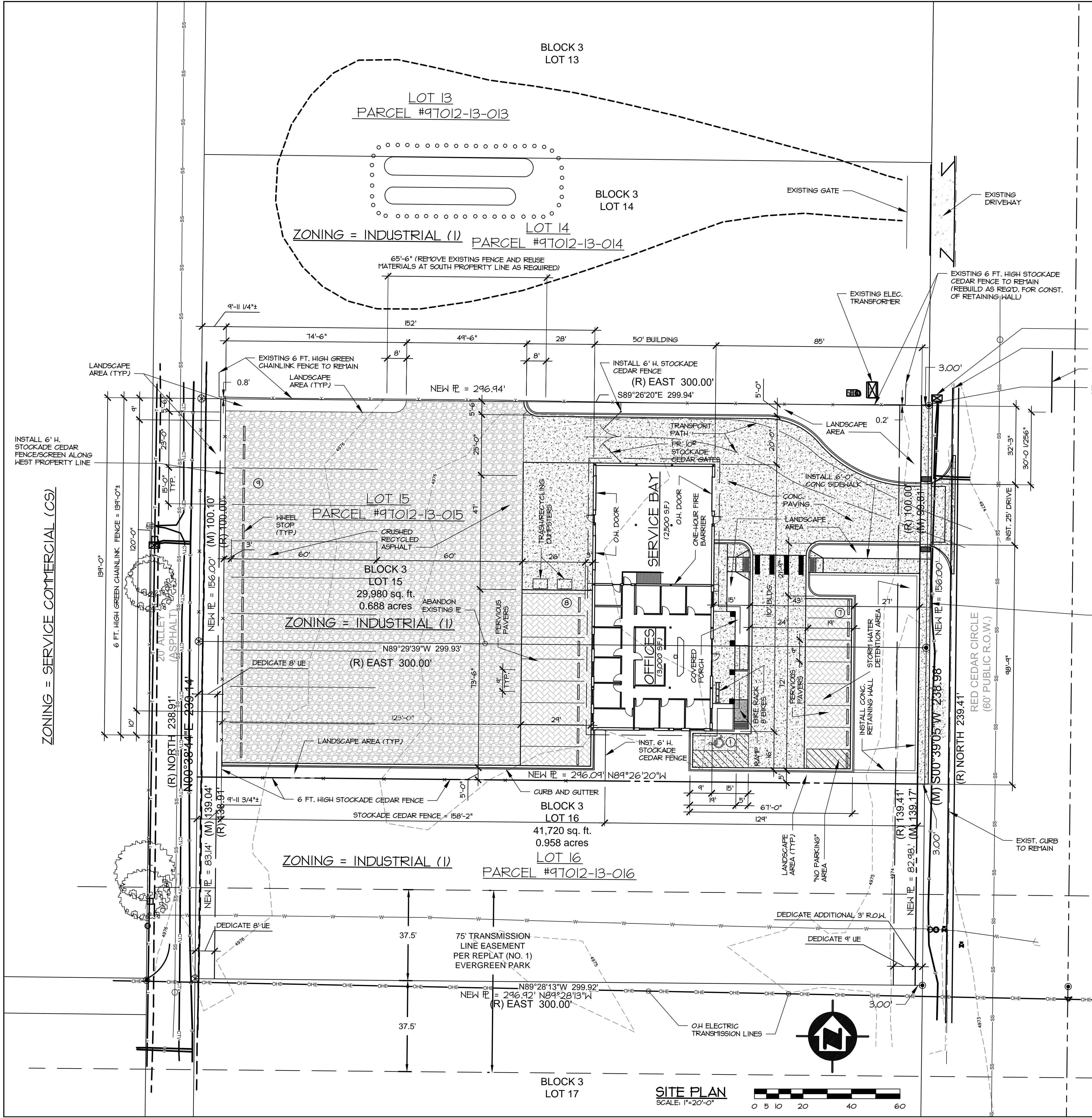
Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm
If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [ ] Yes [X] No If yes, then at what risk is it?
Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 37,798 S.F. (5,500 s.f. bldg., 400 s.f. porch, 13,899 s.f. paving/walks, 17,999 s.f. gravel.) (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

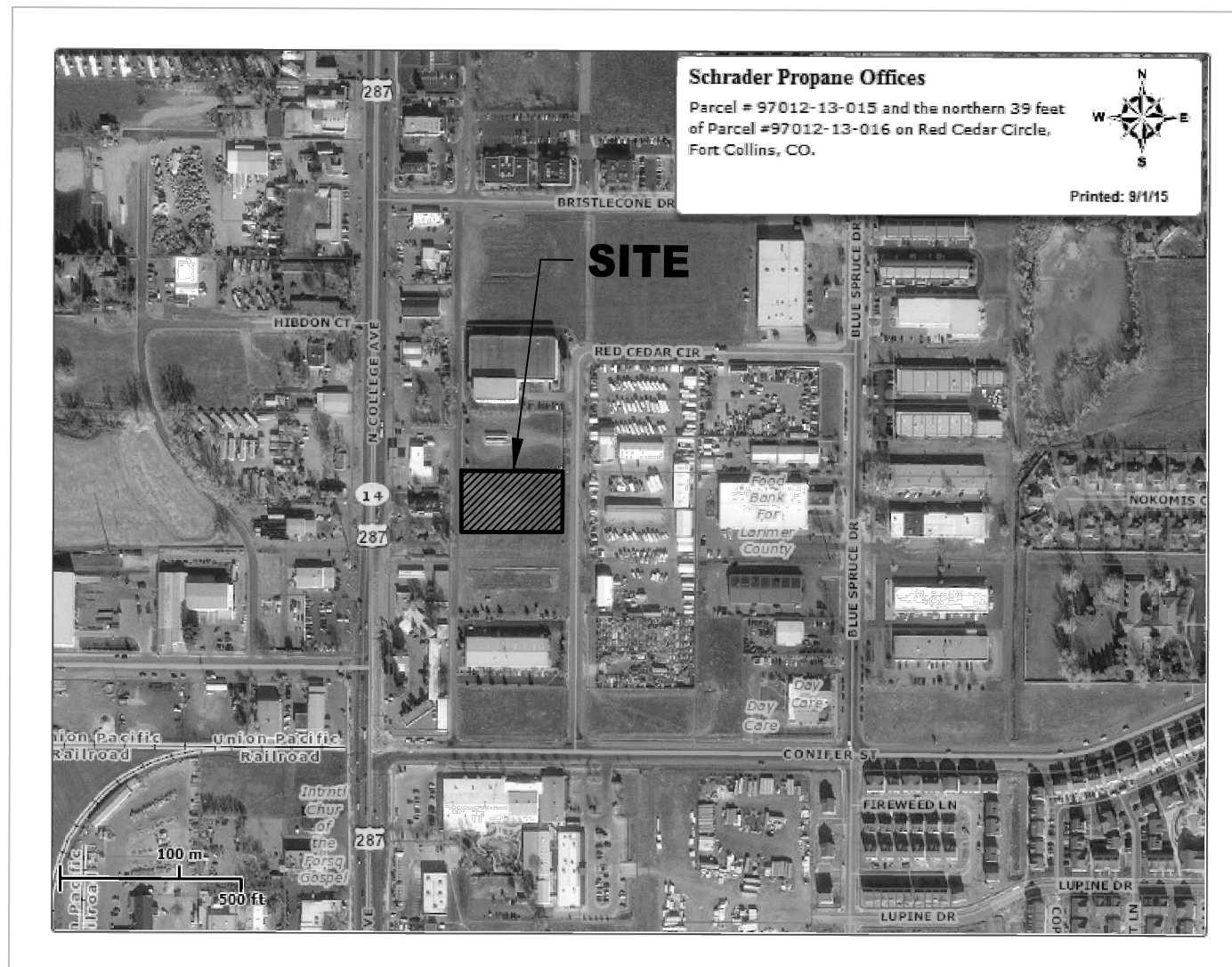
Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



BUILDING SQUARE FOOT DATA	
OFFICES	3,000 SF.
SERVICE BAYS	2,500 SF.
<b>TOTAL BUILDING SQUARE FOOTAGE</b>	<b>5,500 SF.</b>
TYPE V-B CONSTRUCTION, NON-SPRINKLED W/ FIRE BARRIER AT 5,000 SF OR LESS	

LAND USE TABLE (NEW LOT 15)		
AREA	TOTAL	PERCENTAGE
BUILDING FOOTPRINT	5,900.00 SF.	12.1%
IMPERVIOUS PAVED AREAS (DRIVES, SIDEWALKS, AND CURBS)	10,466.51 SF.	22.6%
PERVIOUS PAVING	3,432.50 SF. (24.1% OF TOTAL PAVED AREA)	7.4%
CRUSHED RECYCLED ASPHALT	17,914.34 SF.	38.9%
AREA OF LANDSCAPING	8,522.96 SF.	18.4%
<b>NET LOT AREA</b>	<b>46,321.42 SF. (1.04 ACRES)</b>	<b>100%</b>
R.O.W. DEDICATION	468.00 SF.	
<b>TOTAL LOT AREA</b>	<b>46,789.42 SF. (1.074 ACRES)</b>	
ZONING = INDUSTRIAL (I)		

PARKING SUMMARY		
PARKING TYPE	MINIMUM	MAXIMUM
<b>VEHICLES</b>		
GENERAL OFFICE (1/1000 SF. MIN. x 3,000 SF. (3/1000 SF. MAX) x 3,000 SF.)	3 SPACES	4 SPACES
VEHICLE SERVICING AND MAINT. (2/1000 SF. MIN. x 2,500 SF. (5/1000 SF. MAX) x 2,500 SF.)	5 SPACES	13 SPACES
<b>TOTAL REQUIRED</b>	<b>8 SPACES</b>	<b>22 SPACES</b>
<b>TOTAL PROVIDED</b>	<b>8 SPACES</b>	<b>8 SPACES</b>
<b>BIKES</b>		
GENERAL OFFICE (1/4000 SF. x 3,000 SF.)	MIN. 4 SPACES REQ'D.	0.15 SPACES
VEHICLE SERVICING AND MAINT.	MIN. 4 SPACES REQ'D.	
<b>TOTAL BIKE PARKING REQUIRED</b>	<b>8 BIKE SPACES</b>	
<b>TOTAL BIKE SPACES PROVIDED</b>	<b>8 BIKE SPACES</b>	



VACINITY MAP  
SCALE: NONE

**SITE PLAN**  
SCALE: 1"=20'-0"



NO.	DATE	REVISION	BY
1	04-06-16	REV. I AND USE TABLE, REV. NOTES AND DIMENSIONS	DGS
2	04-11-16	MOVED BLDG. 5' N. & SOUTH FL. 4' SOUTH	DGS
3	04-11-16	MOVED HC PRKG. & PEDESTRIAN ACCESS SOUTH	DGS
4	04-18-16	REV. HC PARKING SPACE	DGS
5	03-21-16	MOVED BUILDING PER OWNER	DGS
6	03-21-16	MOVE BUILDING 40' WEST AND 10' SOUTH	DGS
7	03-28-16	MOVE DRIVE FAR NORTH AS POSSIBLE	DGS

PREPARED BY:

WG ARCHITECTS  
p.o. box 270788  
ft. collins, co 80528  
tele 970-493-2025 fax 970-493-2026

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**PRELIMINARY - NOT FOR CONSTRUCTION**

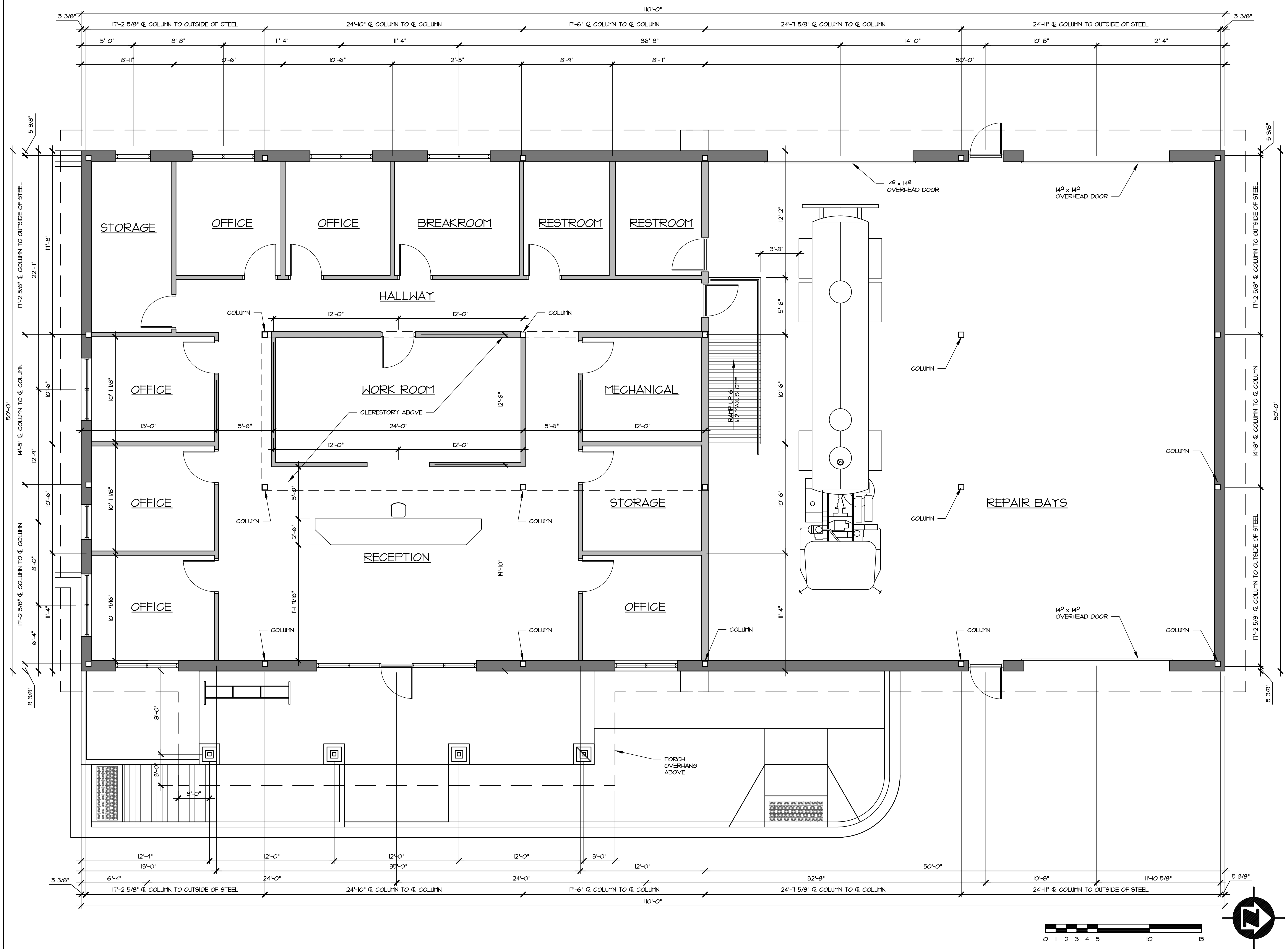
SCHRADER PROPANE OFFICES  
BLOCK 3, LOTS 15 & 16  
EVERGREEN PARK REPLAT  
FORT COLLINS, CO 80524

PREPARED FOR:  
SCHRADER PROPANE  
320 NORTH COLLEGE  
FORT COLLINS, CO 80524

**PRELIMINARY SITE PLAN**

DRAWN BY: DGS  
DATE: 06-22-15  
DRAWING NUMBER: 3069-15

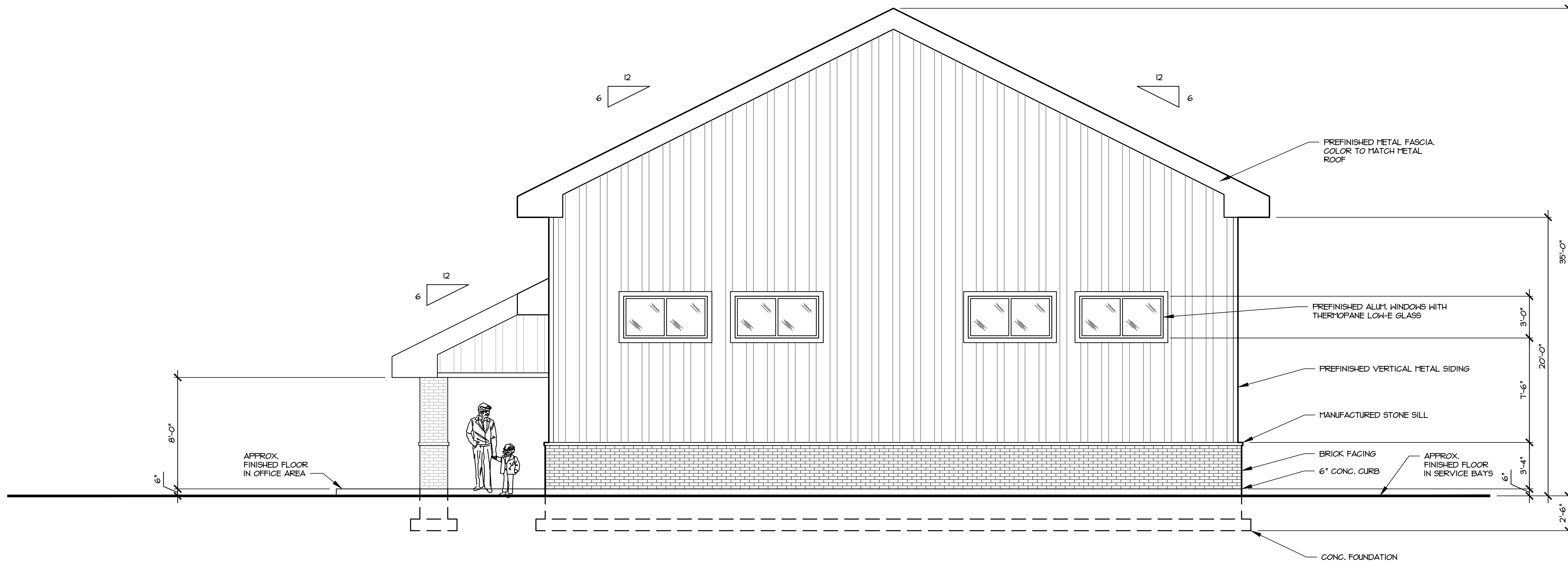
CHECKED BY: .  
SCALE: 1" = 20'-0"  
SHEET NUMBER: PCI.1



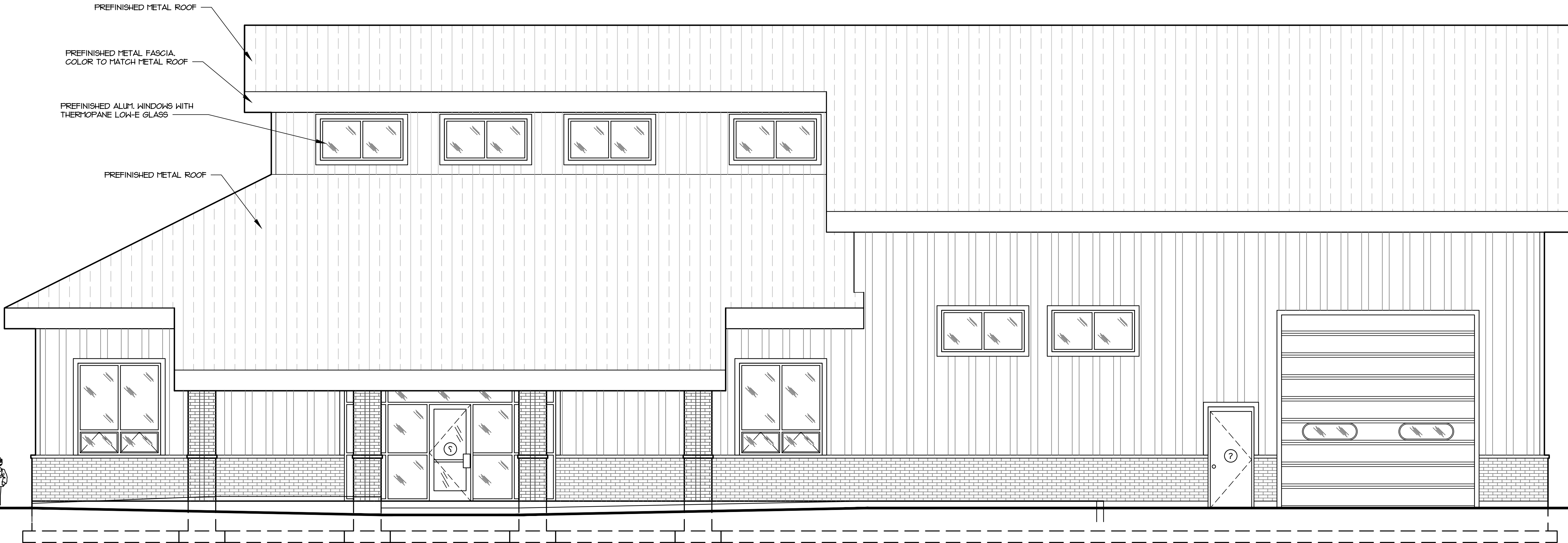
**PRELIMINARY-NOT FOR CONSTRUCTION**

<b>PRELIMINARY FLOOR PLAN</b> CHECKED BY: . SCALE: 1/4" = 1'-0" SHEET NUMBER:		<b>PAI</b>	
DRAWN BY: DGS DATE: 01-27-16 DRAWING NUMBER:		<b>3069-15</b>	
PREPARED FOR: <b>SCHRADER PROPANE</b> BLOCK 3, LOTS 15 & 16 EVERGREEN PARK REPLAT FORT COLLINS, CO 80524			
PREPARED BY: <b>WG ARCHITECTS</b> p.o. box 270788 ft. collins, co 80528 tele 970-493-2025 fax 970-493-2026			
NO. DATE 1 04-18-16		REVISION 1. REFER BLDG. ADD SPACE BETWEEN OFFICE AREA AND REPAIR BAY	
BY DGS		DATE	

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**NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



**EAST ELEVATION**  
SCALE: 1/4"=1'-0"



**PRELIMINARY-NOT FOR CONSTRUCTION**

NO.	DATE	REVISION	BY
1	04-18-16	REV. ROOF LINES, FLIP BUILDING	DGS

PREPARED BY:  
  
 p.o. box 270788  
 ft. collins, co 80528  
 tele 970-493-2025 fax 970-493-2026

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PREPARED FOR:  
**SCHRADER PROPANE OFFICES**  
 BLOCK 3, LOTS 15 & 16  
 EVERGREEN PARK REFLAT  
 FORT COLLINS, CO 80524

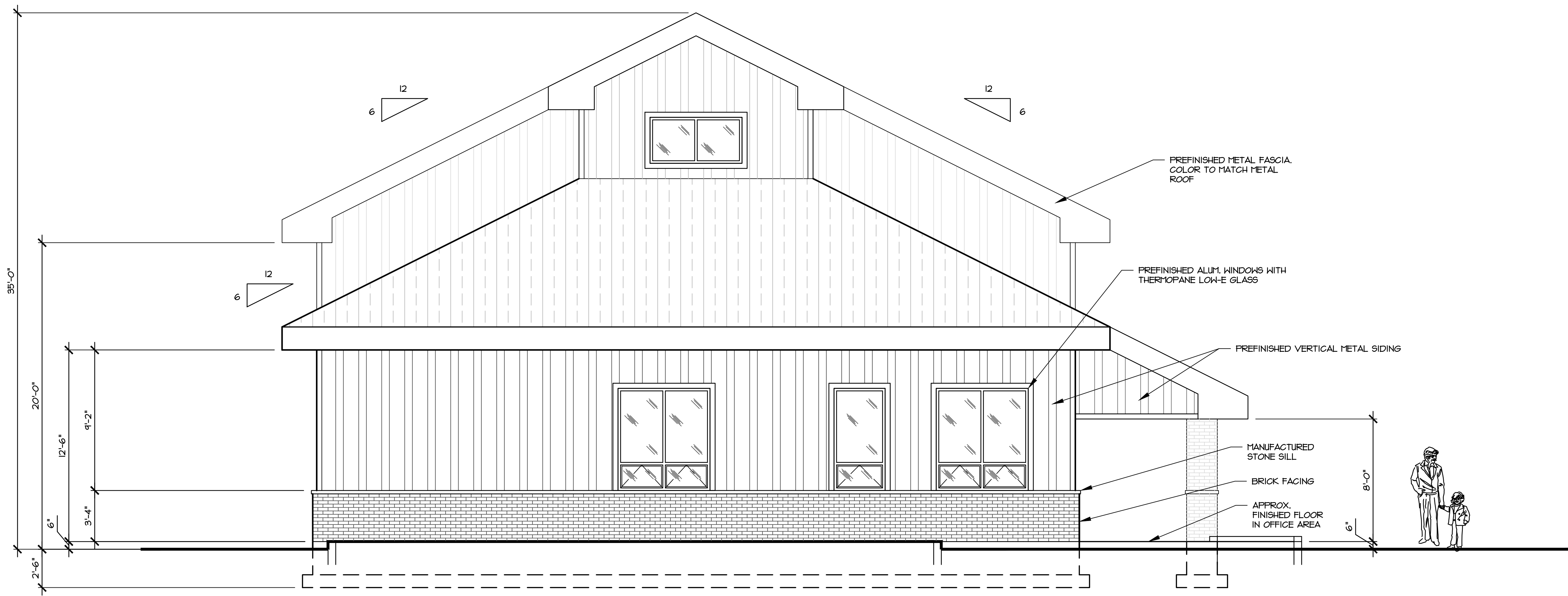
PREPARED BY:  
**PA4.1**

CHECKED BY:  
 .

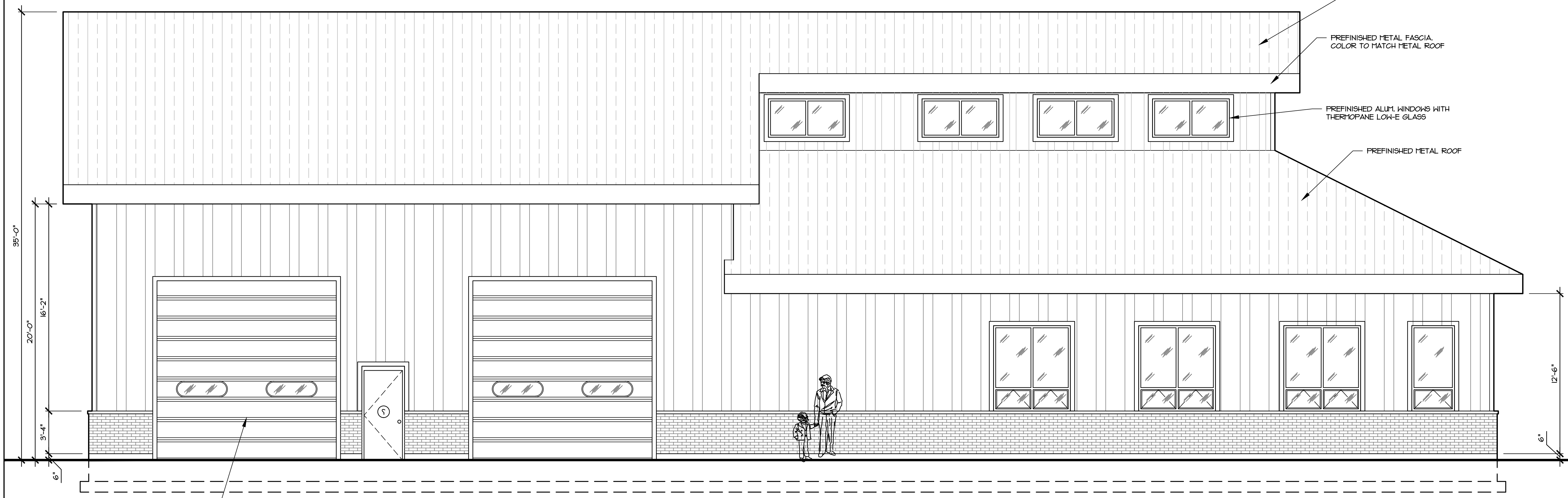
SCALE: 1/4" = 1'-0"  
 SHEET NUMBER:  
**3069-15**

DRAWING NUMBER:  
**3069-15**

DRAWN BY: DGS  
 DATE: 04-20-16



**SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"



**WEST ELEVATION**  
SCALE: 1/4"=1'-0"

**PRELIMINARY-NOT FOR CONSTRUCTION**

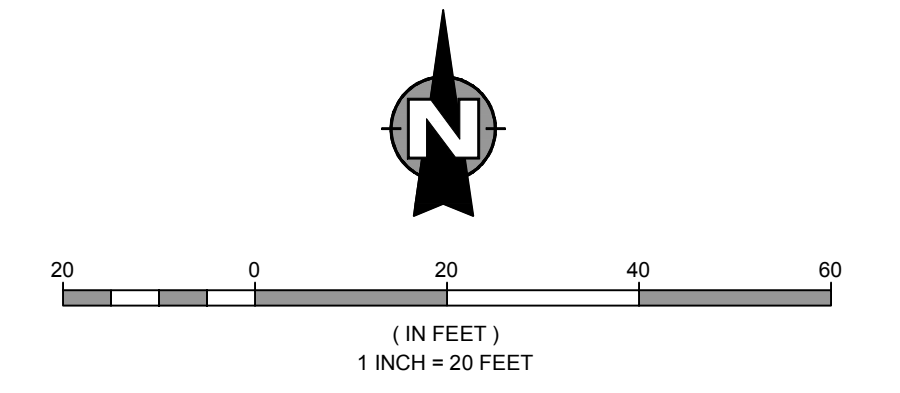
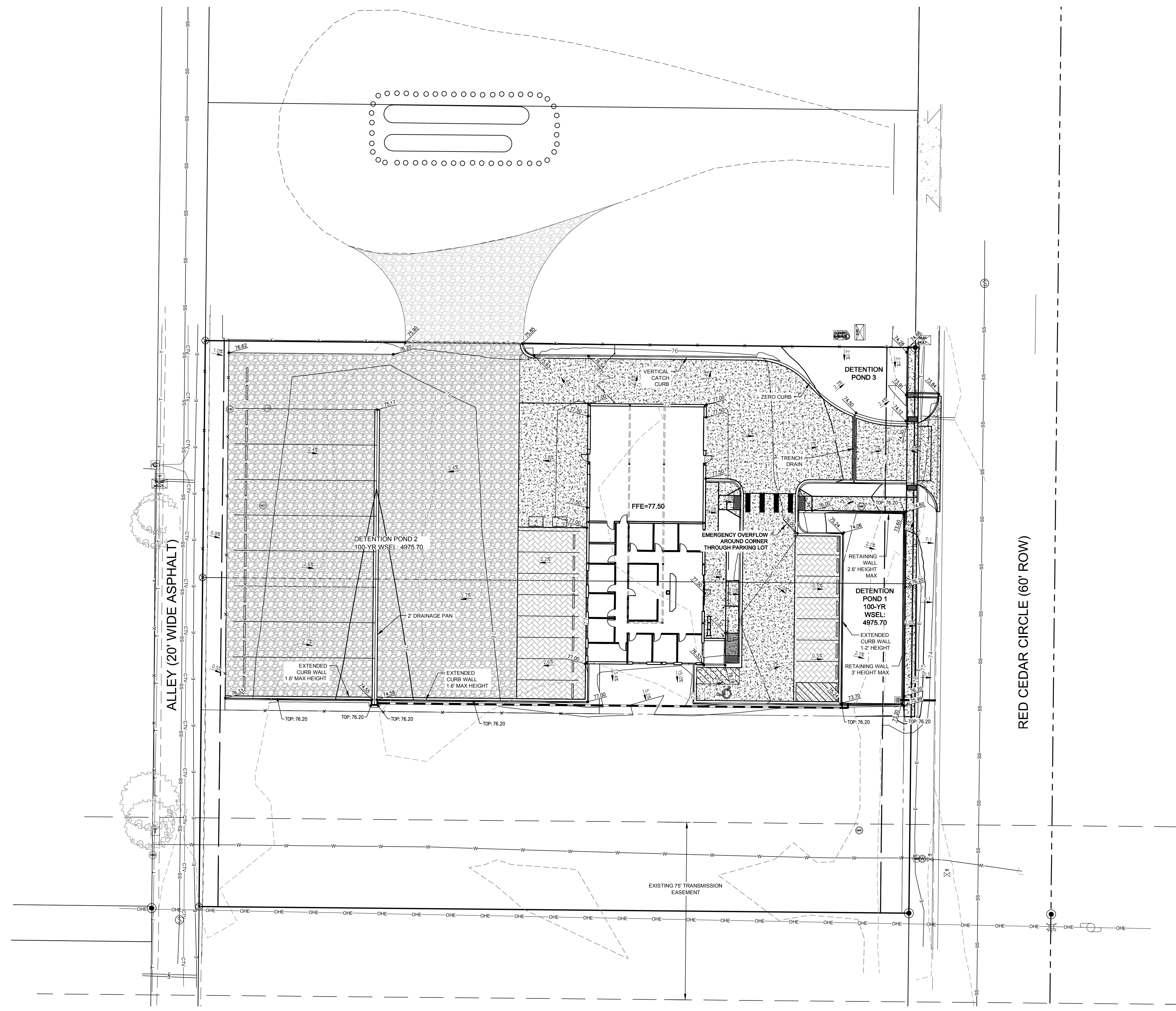
<b>PRELIMINARY EXTERIOR ELEVATIONS</b> DRAWN BY: DGS DATE: 04-20-16 DRAWING NUMBER: 3069-15		SCHRADER PROPANE OFFICES BLOCK 3, LOTS 15 & 16 EVERGREEN PARK REFLAT FORT COLLINS, CO 80524		PREPARED FOR: <b>SCHRADER PROPANE</b> 320 NORTH COLLEGE FORT COLLINS, CO 80524	
CHECKED BY: SCALE: 1/4" = 1'-0" SHEET NUMBER: <b>PA4.2</b>		REVISION REV. ROOF LINES, FLIP BUILDING		BY DGS	
NO. 1 DATE 04-18-16					

PREPARED BY:

**WG ARCHITECTS**  
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ft. collins, co 80528  
tele 970-493-2025 fax 970-493-2026

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DRAWING FILENAME: C:\Projects\14-01\Drawings\14-01\_G1\_G1D.dwg LAYOUT NAME: G1 DATE: Apr 14, 2016 11:23am CAD OPERATOR: hshshsh  
 LIST OF SHEETS: [14-01\_G1] [14-01\_G2] [14-01\_G3] [14-01\_G4] [14-01\_G5] [14-01\_G6] [14-01\_G7] [14-01\_G8] [14-01\_G9] [14-01\_G10] [14-01\_G11] [14-01\_G12] [14-01\_G13] [14-01\_G14] [14-01\_G15] [14-01\_G16] [14-01\_G17] [14-01\_G18] [14-01\_G19] [14-01\_G20] [14-01\_G21] [14-01\_G22] [14-01\_G23] [14-01\_G24] [14-01\_G25] [14-01\_G26] [14-01\_G27] [14-01\_G28] [14-01\_G29] [14-01\_G30] [14-01\_G31] [14-01\_G32] [14-01\_G33] [14-01\_G34] [14-01\_G35] [14-01\_G36] [14-01\_G37] [14-01\_G38] [14-01\_G39] [14-01\_G40] [14-01\_G41] [14-01\_G42] [14-01\_G43] [14-01\_G44] [14-01\_G45] [14-01\_G46] [14-01\_G47] [14-01\_G48] [14-01\_G49] [14-01\_G50] [14-01\_G51] [14-01\_G52] [14-01\_G53] [14-01\_G54] [14-01\_G55] [14-01\_G56] [14-01\_G57] [14-01\_G58] [14-01\_G59] [14-01\_G60] [14-01\_G61] [14-01\_G62] [14-01\_G63] [14-01\_G64] [14-01\_G65] [14-01\_G66] [14-01\_G67] [14-01\_G68] [14-01\_G69] [14-01\_G70] [14-01\_G71] [14-01\_G72] [14-01\_G73] [14-01\_G74] [14-01\_G75] [14-01\_G76] [14-01\_G77] [14-01\_G78] [14-01\_G79] [14-01\_G80] [14-01\_G81] [14-01\_G82] [14-01\_G83] [14-01\_G84] [14-01\_G85] [14-01\_G86] [14-01\_G87] [14-01\_G88] [14-01\_G89] [14-01\_G90] [14-01\_G91] [14-01\_G92] [14-01\_G93] [14-01\_G94] [14-01\_G95] [14-01\_G96] [14-01\_G97] [14-01\_G98] [14-01\_G99] [14-01\_G100]



**LEGEND:**

- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SWALE
- PROPOSED CURB AND GUTTER
- PROPERTY BOUNDARY
- PROPOSED LOT LINE
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED SLOPES
- GRAVEL PARKING
- POROUS PAVERS
- PEDESTRIAN ACCESS RAMPS
- PROPOSED CONCRETE CROSS PAN (TYP.)

**NOTES:**

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. REFER TO THE PLAN FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
3. ALL PROJECT DATA IS ON THE CITY OF FORT COLLINS VERTICAL DATUM; NAVD88. SEE COVER SHEET FOR BENCHMARK REFERENCE.

DETENTION POND	
WQV Required (cu. ft.)	0
100-yr Storage Required (cu. ft.)	8342
Storage Volume Provided (cu. ft.)	8342
100-year WSE	4975.70
2-year Release Rate (cfs)	0.20

Revisions:  
 No. \_\_\_\_\_ Date: \_\_\_\_\_  
**REVIEW SET**  
**NOT FOR CONSTRUCTION**  
 04/14/16

These drawings are provided by Northern Engineering Services, Inc. for the purpose of construction. No liability is assumed by Northern Engineering Services, Inc. for any use of these drawings for any purpose other than that intended. A Professional Engineer in the State of Colorado must sign and seal these drawings.

**NORTHERN ENGINEERING**  
 957 North Meade Street, Suite 100  
 Fort Collins, Colorado 80521  
 PHONE: 970.251.4168  
 www.northernengineering.com

**NE**

PROJECT: 14-01  
 DATE: 04/14/2016  
 DESIGNED BY: S. Thomas  
 SCALE: 1"=50'  
 DRAWN BY: A. Boese  
 REVIEWED BY: R. BANNING

**SCHRADER**  
**GRADING PLAN**

Sheet  
**G1**  
 Of 1 Sheets





Community Development and  
Neighborhood Services  
281 North College Avenue  
PO Box 580  
Fort Collins, CO 80522

970.221.6750  
970.224.6134 - fax  
[fcgov.com](http://fcgov.com)

May 20, 2016

Don Shields  
WG Architects  
PO Box 270788  
Fort Collins, CO 80528

**Re:** Evergreen Park - Office and Vehicle Minor Repair

**Description of project:** This is a request to build an office with vehicle service bays on Lots 15 and 16 of Evergreen Park (parcel #'s 9701213015 and 9701213016). The building would be 5,500 sq. ft. split between office and vehicle minor repair. The western portion of the site will be a fenced yard with 17 truck parking spaces. The site is located in the Industrial (I) zone district. This proposal will be subject to Administrative (Type I) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clay Frickey, at 970-224-6045 or [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Ali van Deutekom, 970-416-2743, [avandeutekom@fcgov.com](mailto:avandeutekom@fcgov.com)

1. LUC 3.2.2(C)(4)(b) You will need to provide 1-2 enclosed bicycle parking spaces.
2. LUC 3.2.5 All development shall provide adequately sized conveniently located, accessible trash and recycling enclosures.
3. Light sources shall be concealed and fully shielded and shall feature sharp cut-off capability so as to minimize up-light, spill-light, glare and unnecessary diffusion on adjacent property.
4. LUC 3.5.1 (I) (6) All rooftop mechanical equipment shall be screened from public view from both above and below by integrating it into building and roof design
5. A minimum thirty-foot deep landscaped yard shall be provided along any district boundary line that does not adjoin a residential land use.
- 5.

**Department: Water-Wastewater Engineering**

**Contact:** Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)

1. Existing water mains in the vicinity include an 8-inch water main in Red Cedar Circle and a 36-inch water main along the southern boundary line of Lot 16. There is also a 75' wide "Trans Line Easement" that straddles the lot line (37.5' easement on Lot 16). It is unknown if the 36-inch water main is within that easement or not.
2. Existing sewer mains in the vicinity include and 8-inch sewer main in Red Cedar Circle and an 8-inch main in the alley to the west of the property.
3. There does not appear to be existing water or sewer services stubbed into Lot 15 or 16 at this time.
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
5. Development fees and water rights will be due at building permit.

**Department: Traffic Operations**

**Contact: Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)**

1. The anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived.
2. The frontage improvements as shown along Red Cedar look great!

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Dry Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. This site is located within the Northeast College Corridor Outfall (NECCO) area, and as such, there are generally two requirements:
  - a. The site will be assessed NECCO system charges for its portion of the NECCO pond and outfall system, \$28,007/acre. The fees would be due prior to receiving a building permit.
  - b. This site looks to be situated in basin 426 of the NECCO drainage basins, and will be required to provide onsite detention. Standard water quality will be provided for 50% of the site in the regional pond and doesn't need to be provided onsite. Onsite detention is required for the runoff volume difference between the 100-year developed inflow rate and the 2-year historic release rate. In the Dry Creek Basin, the 2-year historic release rate is 0.20 cfs/acre.
3. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot.
4. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. There is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization.
5. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options:
  - a. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.

- b. 75% of all newly added or modified impervious area must be treated by LID techniques.
6. Standard operating procedures (SOPs) for all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at: <http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
  7. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins.
  8. The city wide Stormwater development fee (PIF) is \$8,217/acre (\$0.1886 sq.-ft.) for new impervious area over 350 sq.-ft., and there is a \$1,045/acre (\$0.024/sq.-ft.) review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. FIRE LANES**

Fire access is required to within 150' of all exterior portions of the building, or facility as measured by an approved route around the perimeter. All fire lanes or private roads serving as fire lanes shall be dedicated as an Emergency Access Easement and be designed to standard fire lane specifications. Code language provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

**2. FIRE LANE SPECIFICATIONS**

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
- > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
- > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
- > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
- > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
- > Be visible by painting and/or signage, and maintained unobstructed at all times.

> Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details. International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

### 3. SECURITY GATES

> IFC 503.6: The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times.

> IFC D103.5: Gates securing fire apparatus access roads shall comply with all of the following criteria:

1. The minimum gate width for vehicle access shall be 20 feet.
2. Gates shall be of the swinging or sliding type.
3. Construction of gates shall be of materials that allow manual operation by one person.
4. Gate components shall be maintained in an operative condition at all times and replaced or repaired when defective.
5. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official.
6. Manual opening gates shall not be locked with an unapproved padlock, or chain and padlock, unless they are capable of being opened by means of forcible entry tools or when a key box containing the key(s) to the lock is installed at the gate location.
7. Gate design and locking device specifications shall be submitted for approval by the fire code official prior to installation.
8. Electric gate operators, where provided, shall be listed in accordance with UL 325.
9. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200.

### 4. MARKING

> IFC503.3: Where required by the fire code official, approved signs or other approved notices that include the words NO PARKING - FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.

### 5. WATER SUPPLY

A hydrant is required within 300' of the building as measured along an approved path of vehicle travel. The existing utility infrastructure available in the area appears to support minimum code requirements, however it is the applicant's responsibility to verify location, pressure and volume. Code language provided below.

> IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building.

### 6. FIRE CONTAINMENT

The building exceeds 5000 square feet and shall be sprinklered or fire contained. If containment is used, the containment construction shall be reviewed and approved by the Poudre Fire Authority prior to installation.

**Department: Environmental Planning**

**Contact: Kelly Kimple, 970-416-2401, [kkimple@fcgov.com](mailto:kkimple@fcgov.com)**

1. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native and wildlife-friendly landscaping is encouraged as well.

2. In regard to LED light fixtures, cooler color temperatures are harsher at night and cause more disruption to circadian rhythms for both humans and wildlife. Please consider a warmer color temperature (warm white, 3000K or less) for your LED light fixtures. Please also consider fixtures with dimming capabilities so that light levels can be adjusted as needed.
3. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens and has many sustainability programs and goals that may benefit your project. Of particular interest may be the:
  1. ClimateWise program: [fcgov.com/climatewise/](http://fcgov.com/climatewise/)
  2. Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): [fcgov.com/recycling/pdf/\\_20120404\\_WRAP\\_ProgramOverview.pdf](http://fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf), contact Caroline Mitchell at 970-221-6288 or [cmtichell@fcgov.com](mailto:cmtichell@fcgov.com)
  3. Green Building Program: [fcgov.com/enviro/green-building.php](http://fcgov.com/enviro/green-building.php), contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)
  4. Solar Energy: [www.fcgov.com/solar](http://www.fcgov.com/solar), contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)
  5. Integrated Design Assistance Program: [fcgov.com/idap](http://fcgov.com/idap), contact Gary Schroeder at 970-224-6003 or [gschroeder@fcgov.com](mailto:gschroeder@fcgov.com)

Please consider the City's sustainability goals and ways for your development to engage with these efforts, and let me know if I can help connect you to these programs.

**Department: Engineering Development Review**

**Contact: Marc Ragasa, 970.221.6603, [mragasa@fcgov.com](mailto:mragasa@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveway will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. Most easements to be dedicated need to be public easements dedicated to the City. This shall including the standard utility easements that are to be provided behind the right-of-way (8 foot along an alley, and 9 foot along Red Cedar Cir). Information on the dedication process can be found at: <http://www.fcgov.com/engineering/devrev.php>
7. A reimbursement is due to the City for the construction of the public alley to the west of the site prior to the issuance of the first building permit. The alley was installed with the North College Improvements

8. Show sidewalk improvements to the north and how the sidewalk will connect to the existing infrastructure.
9. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
10. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
11. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
12. A utility coordination meeting on this site is suggested. Utility coordination meetings if requested are typically scheduled after the preliminary submittal of the project, but can be scheduled prior to submittal upon request. Please provide a site plan with preliminary utility layout for routing with the meeting notice. If you are interested in having a utility coordination meeting, please contact the development review engineer for scheduling.
13. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.
14. LCUASS driveway spacing (Table 7-3) requirements apply and must meet the minimum driveway spacing for a minor collector roadway.
15. The retaining wall running along the sidewalk needs to be at least 2' setback from the sidewalk. More information will be needed for the retaining wall about the height to determine if it will be allowed within the utility easement.
16. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
17. Any rain gardens within the right-of-way cannot be used to treat the development/ site storm runoff. We can look at the use of rain gardens to treat street flows – the design standards for these are still in development.
18. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
19. In regards to construction of this site. The public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

**Department: Electric Engineering**

**Contact: Luke Unruh, 9704162724, [lunruh@fcgov.com](mailto:lunruh@fcgov.com)**

1. Light & Power has three phase facilities available in this area.
2. Electric Capacity Fee, Building Site charges, and any necessary system modification charges will apply. Please see the Electric Estimating Calculator and Electric Construction Policies, Practices & Procedures at the following link:  
<http://www.fcgov.com/utilities/business/builders-and-developers>

3. Contact Light and Power Engineering to coordinate the transformer and electric meter locations, please show the locations on the utility plans. Transformer must be within 10' of an asphalt/concrete surface. Pay close attention to the transformer clearances in the Electric Construction Policies, Practices & Procedures.

**Department: Building Inspection**

**Contact: Sarah Carter, 970-416-2748, [scarter@fcgov.com](mailto:scarter@fcgov.com)**

1. Please schedule a pre-submittal meeting for this project. Pre-Submittal meetings assist the designer/builder by assuring, early on in the design, that the new projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective. Applicants of new projects should email [scarter@fcgov.com](mailto:scarter@fcgov.com) to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

**Planning Services**

**Contact: Clay Frickey, 970-224-6045, [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com)**

1. While this building is exempt to the build-to line standards in Land Use Code section 3.5.3(C) (2), staff would prefer if the parking was located behind the building.
2. It appears that chain link fencing is being proposed for the northern property line to screen the service yard in the rear of the site. Chain link is not allowed for screening. Please continue the cedar fencing proposed elsewhere along the north property line as well to screen the service yard.
3. The site plan shows a connection to Lot 14 to the north. What is this planned connection for?
4. For your landscape plan, please look at the recent submittal from Raw Urth Designs. Staff would like a similar species mix to create a consistent look and feel to the district. Staff can provide you with a copy of this submittal.
5. Will you be replatting as a part of this development proposal? The current proposal shows the development occurring on two different lots. A replat might be beneficial in the event of future redevelopment.
6. Per the fee schedule available at [http://www.fcgov.com/developmentreview/pdf/developmentreviewfeeschedule\\_3.3.10.pdf](http://www.fcgov.com/developmentreview/pdf/developmentreviewfeeschedule_3.3.10.pdf), the fees for this project would be the Project Development Plan with Plat (\$5,879 plus \$0.75 for each APO label), plus the Final Plan with Plat fee (\$1,000) plus the \$50.00 sign posting fee, which amounts to \$6,929 plus the APO label fee. For Development Review Engineering's fee, please consult the fee schedule at <http://www.fcgov.com/developmentreview/pdf/tdr-fee-schedule.pdf>.
7. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.

- 8.** Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
- 9.** This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
- 10.** If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
- 11.** Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
- 12.** The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
- 13.** When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.



## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2012 International Building Code (IBC)*  
*2012 International Residential Code (IRC)*  
*2012 International Energy Conservation Code (IECC)*  
*2012 International Mechanical Code (IMC)*  
*2012 International Fuel Gas Code (IFGC)*  
*2012 International Plumbing Code (IPC) as amended by the State of Colorado*  
*2014 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

#### Energy Code Use

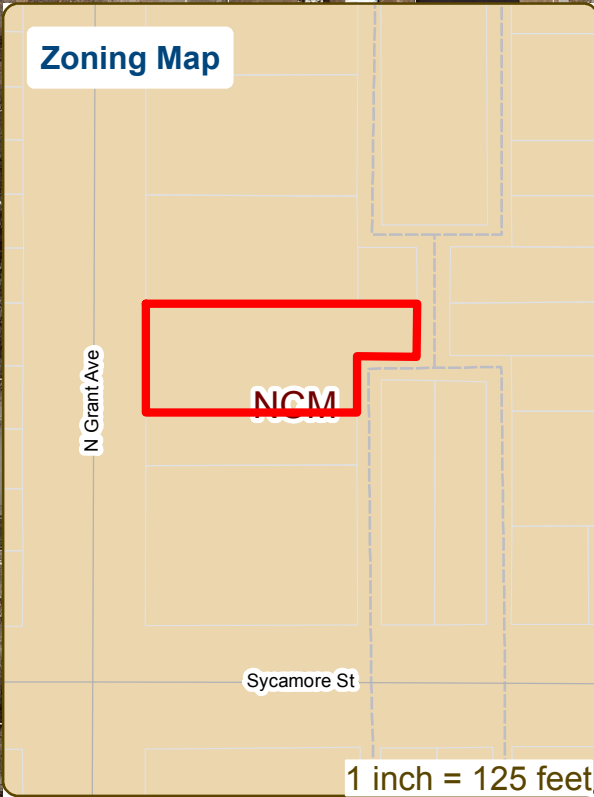
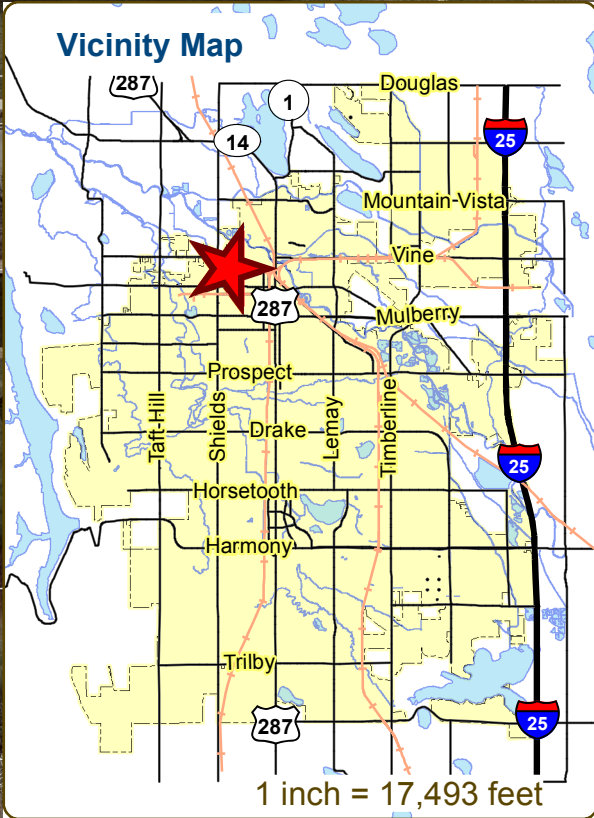
1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
970-416-2341

# 516 N Grant Ave Carriage House

Aerial Site Map



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970.224.6134 - fax

fcgov.com/development

City of  
**Fort Collins**

**Clay Frickey**  
Associate Planner

Community Development &  
Neighborhood Services

## Development Review Guide – STEP 2 of 8

### CONCEPTUAL REVIEW: APPLICATION

Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to [currentplanning@fcgov.com](mailto:currentplanning@fcgov.com). If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

**Contact Name(s) and Role(s)** (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Gary Wockner, owner

**Business Name** (if applicable) \_\_\_\_\_

**Your Mailing Address** PO Box 1066 FORT COLLINS 80522

**Phone Number** 970-218-8310 **Email Address** gary@garywockner.com

**Site Address or Description** (parcel # if no address) \_\_\_\_\_

516 N. Corant Ave. Foco 80521

**Description of Proposal** (attach additional sheets if necessary) I want to build an ADU.

**Proposed Use** 2-bedroom house **Existing Use** €

**Total Building Square Footage** whatever is allowed **S.F. Number of Stories** 2 **Lot Dimensions** 11,000 ft<sup>2</sup>

**Age of any Existing Structures** 1910 house on property

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

**Is your property in a Flood Plain?**  Yes  No **If yes, then at what risk is it?** \_\_\_\_\_

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

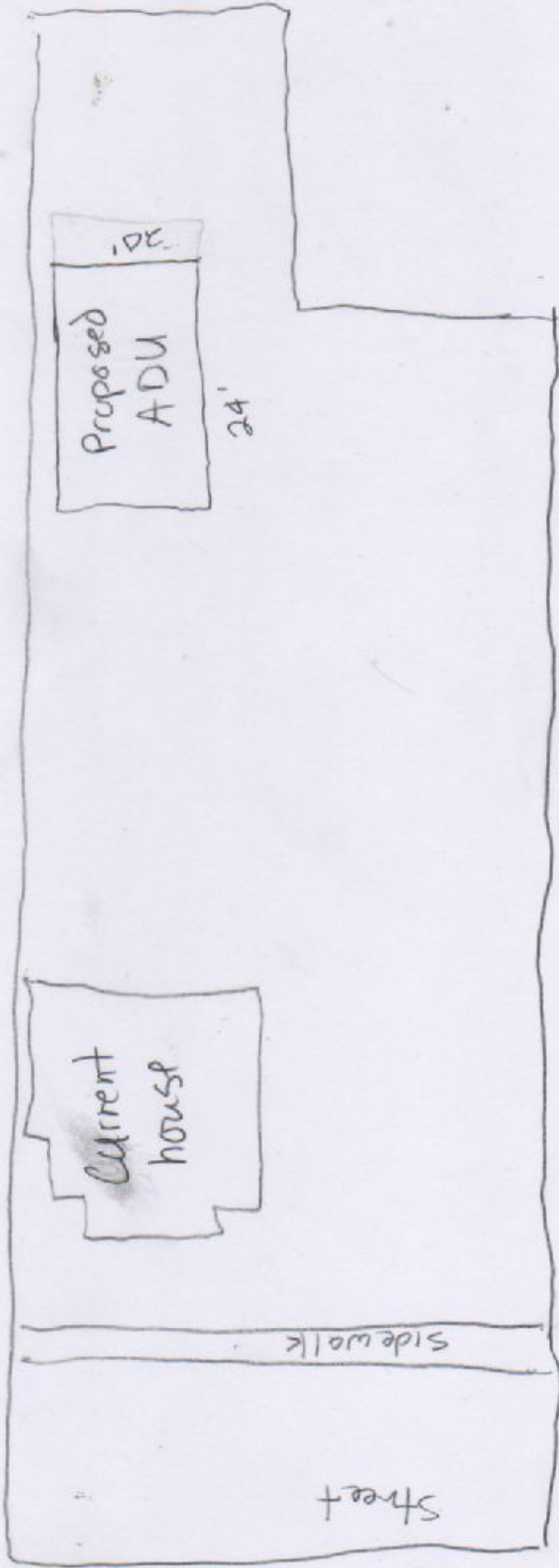
**Increase in Impervious Area** not sure \_\_\_\_\_ S.F.  
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

#### Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

Conceptual Plan

516 N. Grant Ave





May 20, 2016

Gary Wockner  
PO Box 1066  
Fort Collins, CO 80522

**Re:** 516 N Grant Ave - Carriage House

**Description of project:** This is a request to build an accessory dwelling unit at 516 N Grant Ave (parcel #9711216021). The new building would be two stories with a garage on the main level and dwelling unit on the second story. The parcel is 11,000 sq. ft. and has alley access. The site is located in the Neighborhood Conservation, Medium Density (NCM) zone district. This proposal will be subject to Administrative (Type I) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clay Frickey, at 970-224-6045 or [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact: Marcus Glasgow, 970-416-2338, [mglasgow@fcgov.com](mailto:mglasgow@fcgov.com)**

1. LUC 4.8(D)(2)(a)(3) On a lot that is more than ten thousand (10,000) square feet, the allowable floor area for single-family dwellings and buildings accessory to single-family dwellings shall not exceed thirty-five (35) percent of the lot area, plus two hundred fifty (250) square feet for a detached accessory structure.
2. LUC 4.8(D)(3) Allowable Floor Area on Rear Half of Lots. The allowable floor area on the rear half of a lot shall not exceed thirty-three (33) percent of the area of the rear fifty (50) percent of the lot.
3. NCM setbacks: Minimum front yard setback shall be fifteen (15) feet. Setbacks from garage doors to the backs of public walks shall not be less than twenty (20) feet. Minimum rear yard setback shall be five (5) feet from existing alleys and fifteen (15) feet in all other conditions.
4. LUC 4.8(F)(1)(a) All exterior walls of a building that are greater than six (6) feet in length shall be constructed parallel to or at right angles to the side lot lines of the lot whenever the lot is rectilinear in shape.
5. LUC 4.8(F)(1)(g) The minimum pitch of the roof of any building shall be 2:12 and the maximum pitch of the roof of any building shall be 12:12, except that new, detached accessory buildings and additions to existing dwelling units may be constructed with a pitch that matches any roof pitch of the existing dwelling unit. Additionally, the roof pitch of a dormer, turret or similar architectural feature may not exceed 24:12 and the covered porch

may be flat whenever the roof of such porch is also considered to be the floor of a second-story deck.

6. LUC 4.8(F)(2)(a) 2. The height of a detached dwelling unit at the rear of the lot or an accessory building containing habitable space shall not exceed twenty-four (24) feet.
7. LUC 4.8(F)(2)(b) 1. The exterior eave height of an eave along a side lot line shall not exceed thirteen (13) feet from grade for a dwelling unit located at the rear of the lot or an accessory building with habitable space.
8. LUC 4.8(F)(3)  
Carriage Houses.
  1. Water and sewer lines may be extended from the principal building on the lot to the carriage house.
  2. A minimum of one (1) off-street parking space must be provided for every bedroom contained within a carriage house.
9. Will the access be from the alley or street?

**Department: Water-Wastewater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. There is an existing 4-inch water main in Grant Avenue and an existing ¾-inch domestic water tap to the house. The existing water service may be utilized and extended to the carriage house as long as the conditions of Section 26-94 of the Municipal Code are met.
2. There is an existing 8-inch sewer main in Grant Avenue which is where your sewer tap comes from. Like the requirements for the water service, the existing sewer service may be utilized and extended to the carriage house as long as the conditions of Section 26-256 of the Municipal Code are met.
3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. Development fees and water rights will be due at building permit.
5. Per the applicants request to know what the approximate water fees will be for the carriage house: included in the fees is a water plant investment fee (PIF), a wastewater PIF and Raw Water Rights (RWR) required for the additional unit. The total additional fees are approximately \$4350. For an exact quote and for additional questions about fees, please contact Jean Pakech or Jill White at 416-4252.

**Department: Traffic Operations**

**Contact: Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)**

1. The anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived.
2. You'll need to work with the Engineering department on access to the Carriage House, and any improvements needed to the alley.

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Old Town Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.

2. When improvements are being added to an existing developed site onsite detention is only required if there is an increase in impervious area greater than 5000 square feet. If it is greater, onsite detention is required with a 2-year historic release rate for water quantity. The submitted application indicates that the proposed building footprint is around 500 sf, and even with added driveways or patios, it is not anticipated that you would hit the 5000 sf threshold for the detention requirement.
3. Any added stormwater drainage onto unimproved alleys in the Old Town Basin can be problematic, causing damage to downstream and neighboring properties. As such, a drainage report and construction plans are required and they must be prepared by a Professional Engineer registered in the State of Colorado. The drainage report should address any additional stormwater runoff created by the improvement and will be required to show how conveyance of this additional stormwater runoff is conveyed to an adequate public facility (public street or storm sewer) without impacting downstream or neighboring properties.
4. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
5. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

#### 1. FIRE LANES

Fire access is required to within 150' of all exterior portions of the building, or facility as measured by an approved route around the perimeter. For the purposes of this section, fire access cannot be measured from the alley. In such cases when minimum fire access cannot be achieved, the residence may be equipped with a fire sprinkler system to offset the requirement. Code language provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

#### 2. WATER SUPPLY

A hydrant is required within 400' of any residential structure as measured along an approved route of vehicle travel. Code language provided below.

> IFC 508.1 and Appendix B: RESIDENTIAL REQUIREMENTS: Within the Urban Growth Area, hydrants to provide 1,000 gpm at 20 psi residual pressure, spaced not further than 400

feet to the building.

### 3. PREMISE IDENTIFICATION

The accessory living unit shall be addressed separately from the existing residence. The address shall be posted so as to be visible from the street and an accessible route to the building from Grant Ave is needed. The address shall be posted on the ALU. Code language provided below.

> IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

#### **Department: Environmental Planning**

**Contact: Kelly Kimple, 970-416-2401, [kkimple@fcgov.com](mailto:kkimple@fcgov.com)**

1. In regard to LED light fixtures, cooler color temperatures are harsher at night and cause more disruption to circadian rhythms for both humans and wildlife. Please consider a warmer color temperature (warm white, 3000K or less) for your LED light fixtures. Please also consider fixtures with dimming capabilities so that light levels can be adjusted as needed.
2. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native and wildlife-friendly landscaping is encouraged as well.
3. The applicant should make note of Article 3.2.1(C) that requires developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.

#### **Department: Engineering Development Review**

**Contact: Katie Sexton, 970-221-6501, [ksexton@fcgov.com](mailto:ksexton@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveway will need to be evaluated to determine if the slopes and



width will meet ADA requirements or if they need to be reconstructed so that they do.

4. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
5. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. This shall including the standard utility easements that are to be provided behind the right-of-way (8 foot along the alley, and 9 foot along Grant).
6. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
7. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
8. Any rain gardens within the right-of-way cannot be used to treat the development/ site storm runoff. We can look at the use of rain gardens to treat street flows – the design standards for these are still in development.
9. In regards to construction of this site: the public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

**Department: Electric Engineering**

**Contact: Luke Unruh, 9704162724, [lunruh@fcgov.com](mailto:lunruh@fcgov.com)**

1. This property is currently feed from the back alley.
2. Any changes to the existing electric capacity and or location will initiate electric development and system modification charges. Please coordinate power requirements with Light and Power Engineering at 221-6700.
3. Please contact Light & Power Engineering if you have any questions at 221-6700. Please reference our policies, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>.

**Department: Building Inspection**

**Contact: Sarah Carter, 970-416-2748, [scarter@fcgov.com](mailto:scarter@fcgov.com)**

1. Please schedule a pre-submittal meeting for this project. Pre-Submittal meetings assist the designer/builder by assuring, early on in the design, that the new projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective. Applicants of new projects should email [scarter@fcgov.com](mailto:scarter@fcgov.com) to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being

proposed.

## Planning Services

Contact: Clay Frickey, 970-224-6045, [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com)

1. How many off-street parking spaces does the site currently have? Since the house has more than 50 feet of street frontage, one off-street parking space is required for the existing single-family home. You will also need to provide one parking space per bedroom for the carriage house. Please show on the site plan how you meet this parking requirement and where the parking will be located.
2. While bicycle parking is not required for carriage houses, staff encourages providing a secure location for parking bikes considering the project's proximity to downtown and the trail network in the City.
3. How large is the existing home and how many square feet will the proposed carriage house be? The maximum floor area allowed in the NCM is 35% plus 250 square feet for a detached accessory structure. Please provide this calculation on your submittal and demonstrate how your proposal meets this standard.
4. The maximum allowable floor area for the rear half of the lot is 33%. Please show how your proposal meets this requirement.
5. The maximum floor area for the proposed carriage house is 1,000 square feet with a maximum building footprint of 600 square feet. Your carriage house must also be located at least 10 feet away from the existing single-family home.
6. The minimum setbacks for the carriage house are 5 feet from the alley and 5 feet from the side yard.
7. Since there is a one story, single-family detached structure to the north of your property and you are proposing a two-story structure, the solar access setbacks in Land Use Code section 4.8(E)(4)(a) will apply. The building must be setback an additional foot for every foot the wall exceeds 14 feet. Your current site plan shows the carriage house very close to the lot line so it will be important to design and locate the building appropriately so that you meet this code standard.
8. The site must contain a 120 square foot yard that will serve the carriage house and existing home. Please show this yard on the site plan and how it meets this code standard.
9. The maximum height of the carriage house is 24 feet.
10. The maximum eave height along the side lot line is 13 feet.
11. The roof line for the proposed carriage house must have a pitch between 2:12 and 12:12.
12. Below are the modification criteria outlined in Land Use Code section 2.8.2(H):

The decision maker may grant a modification of standards only if it finds that the granting of the modification would not be detrimental to the public good, and that:

(1)

the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested; or

(2)

the granting of a modification from the strict application of any standard would, without impairing the intent and purpose of this Land Use Code, substantially alleviate an existing, defined and described problem of city-wide concern or would result in a substantial benefit to the city by reason of the fact that the proposed project would substantially address an

important community need specifically and expressly defined and described in the city's Comprehensive Plan or in an adopted policy, ordinance or resolution of the City Council, and the strict application of such a standard would render the project practically infeasible; or

(3)

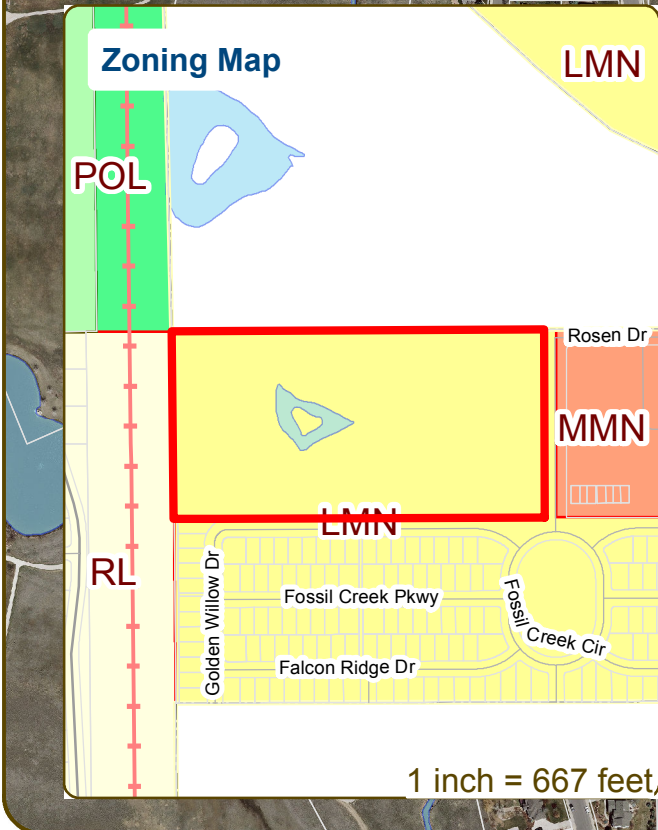
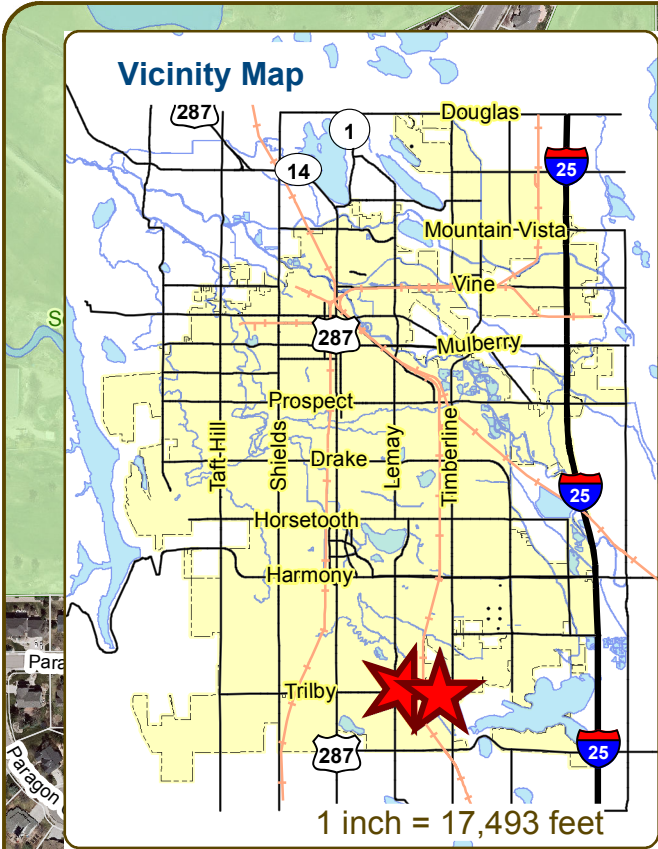
by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant; or

(4)

the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

13. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
14. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
15. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
16. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
17. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.
18. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
19. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

# Johnston Annex Single-family Attached



These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.





CONCEPTUAL REVIEW:  
APPLICATION

**General Information**

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. **Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.**

Conceptual Reviews are scheduled on three Monday mornings per month on a “first come, first served” basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. **Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date.** Application materials must be e-mailed to [currentplanning@fcgov.com](mailto:currentplanning@fcgov.com). If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

**\*BOLDED ITEMS ARE REQUIRED\*** *\*The more info provided, the more detailed your comments from staff will be.\**

**Contact Name(s) and Role(s)** (Please identify whether Consultant or Owner, etc) :

Steve Laffey (owner)

Lonny Phelps (owner rep./engineer)

Business Name (if applicable) : Phelps Engineering Services, Inc.

Your Mailing Address: 7200 E. Hampden Ave., suite 300, Denver, CO 80224

**Phone Number: 303-298-1644** Email Address: [lphelps@phelpsenengineering.net](mailto:lphelps@phelpsenengineering.net)

**Site Address or Description** (parcel # if no address): 1801 Rosen Drive, Ft. Collins, Co

**Description of Proposal** (attach additional sheets if necessary): Development of a 19.875 acre tract that is zoned LMN for residential use to consist of 170 single-family attached dwelling units.

**Proposed Use: Residentail-SFA** Existing Use: **One (1) single family dwelling structure.**

Total Building Square Footage: 1,700 S.F. Number of Stories: 2 Lot Dimensions: 1300'x550'

**Age of any Existing Structures: Approximately 20 years**

Info available on Larimer County’s Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

**If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.**

**Is your property in a Flood Plain?**  Yes  No If yes, then at what risk is it? not in mfllooddplain

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

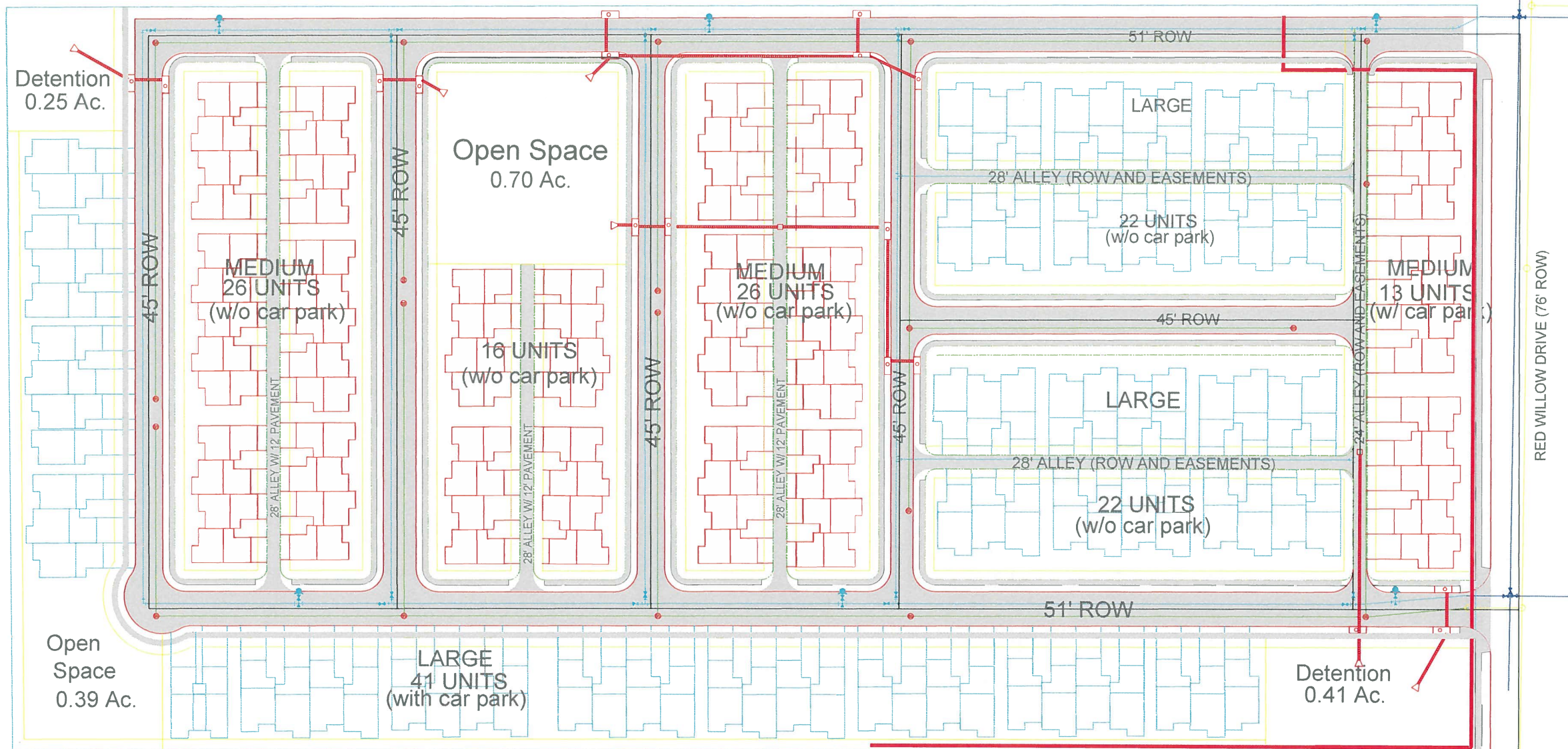
Increase in Impervious Area: approximately 30% of site or 259,725 S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

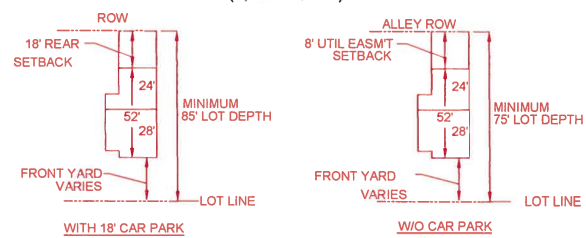
**Suggested items for the Sketch Plan:**

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

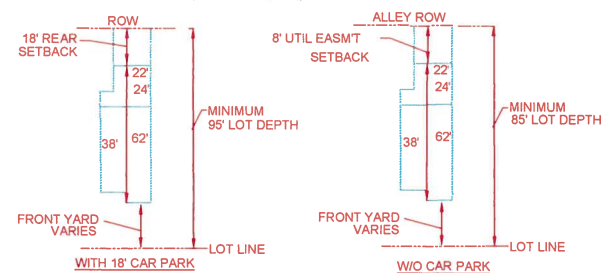
Drawing name: S:\Entitlement\Engineering\15145 - Harmony\CADD\SiteOps\CONCEPT -CURRENT.dwg LAYOUT-ROADWAY Apr 22, 2016 10:59am by J.Martin



**MEDIUM UNIT TEMPLATES**  
(1,462 SQ. FT.)



**LARGE UNIT TEMPLATES**  
(2,022 SQ. FT.)



**PLAN LAND USE TABULATION:**

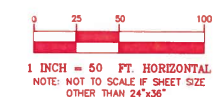
TOTAL AREA: 19.875 acres  
 ROW: 5.66 acres (incl. util easmt's in alleys)  
 LOTTING AREA: 12.46 acres (incl. util easmt's)  
 OPEN SPACE: 1.09 acres (7.6% of net)  
 DETENTION: 0.66 acres (4.6% of net)

**RESIDENTIAL UNIT MIX TABULATION:**

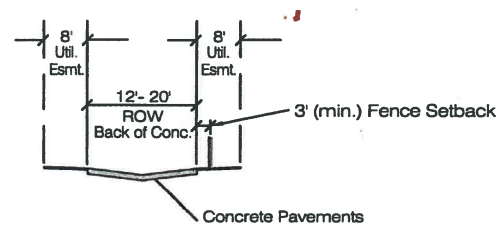
41 SFA UNITS-LARGE (w/ CAR PARK)  
 44 SFA UNITS-LARGE (w/o CAR PARK)  
 13 SFA UNITS-MEDIUM (w/ CAR PARK)  
 68 SFA UNITS-MEDIUM (w/o CAR PARK)  
 166 TOTAL RESIDENTIAL UNITS

**LEGEND:**

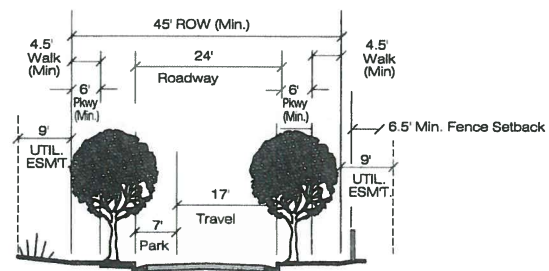
- PROPOSED 8" WATERLINE
- PROPOSED 8" SANITARY SEWER
- PROPOSED STORM SEWER PIPE
- PROPOSED IRRIGATION LATERAL PIPE



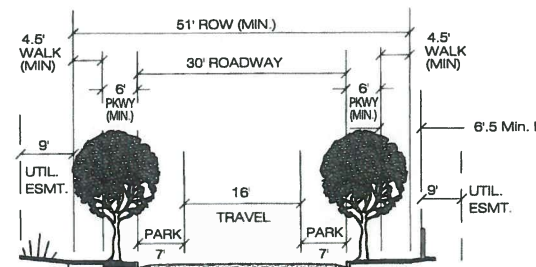
**FT. COLLINS ROADWAY SECTIONS USED**



**28' ALLEY SECTION**



**45' ROW ROADWAY SECTION**



**51' ROW ROADWAY SECTION**



**VICINITY MAP (N.T.S.)**

NO.	REVISIONS	DATE	BY

**PHELPS**  
 ENGINEERING  
 220 E. Hampden Ave., Suite 300 Denver, CO 80224 303.255.6444

SCALE: 1" = 100'  
 DESIGNED BY: KRS  
 DRAWN BY: JAM  
 CHECKED BY: LEP

**CONCEPT LAYOUT**

**JOHNSON ANNEXATION**  
 PROPERTY  
 1801 ROSEN DRIVE

DATE: 03/15/2016  
 PROJECT NO.: 15145



May 31, 2016

Lonny Phelps  
Phelps Engineering  
7200 E Hampden Ave  
Suite 300  
Denver, CO 80224

**Re:** Johnston Annex - Single-family Attached

**Description of project:** This is a request to develop the westerly 19.87 acres of the Johnston Annexation (parcel #8607400010) for the purpose of constructing 168 single family attached dwelling units. The dwellings would be served by the extension of Rosen Drive on the north, by the existing Prairie Hill Drive on the south and by the existing Red Willow Drive on the east. A series of five central greens are planned that are flanked by units facing the green. Garages to these units would be served by five alley-like private drives. 98 units would front on the central greens and 70 units would front on the public streets. As proposed, there would be approximately 1.2 acres of open space. The existing single family detached home and outbuilding would be removed. The site is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Administrative (Type I) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Ted Shepard, at 970-221-6343 or [tshepard@fcgov.com](mailto:tshepard@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact: Marcus Glasgow, 970-416-2338, [mglasgow@fcgov.com](mailto:mglasgow@fcgov.com)**

1. LUC 4.5(D)(1)(b) The maximum density of any development plan taken as a whole shall be nine (9) dwelling units per gross acre of residential land
2. The setbacks for LMN are:
  - Front 15'
  - Rear 8'
  - Side 5'
  - Corner Side 15'
3. The residential building standards found in 3.5.2 will apply.
4. Street trees required as part of LUC 3.2.1(D)

5. LUC 3.2.1 A landscape plan is required.
6. Please show Access, Circulation and Parking as part of LUC 3.2.2
7. LUC 4.5(E)(3) Maximum Residential Building Height in LMN zone. The maximum height of one-, two- and three-family dwellings shall be two and one-half (2.5) stories.
8. LUC 3.5.2 (F) (2) Garage doors may be located on another side of the dwelling ("side- or rear-loaded") provided that the side of the garage facing the front street has windows or other architectural details that mimic the features of the living portion of the dwelling.
9. LUC 3.5.2 (F) (3) Garage doors shall not comprise more than fifty (50) percent of the ground floor street-facing linear building frontage. Alleys and corner lots are exempt from this standard.
10. LUC 3.5.2 (F) (1) Street-facing garage doors must be recessed behind either the front facade of the ground floor living area portion of the dwelling or a covered porch (measuring at least six [6] feet by eight [8] feet) by at least four (4) feet. Any street-facing garage doors complying with this standard shall not protrude forward from the front facade of the living area portion of the dwelling by more than eight (8) feet.

**Department: Water-Wastewater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. This project site is located within the Fort Collins-Loveland Water District and the South Fort Collins Sanitation District. Please contact them for water and sewer requirements.

**Department: Traffic Operations**

**Contact: Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)**

1. The anticipated traffic volume from this development meets the threshold for needing a Traffic Impact Study. Please have your traffic engineer contact me to scope the study. The review will need to include function and operations out on Timberline.
2. You'll need to work carefully with the Engineering Department on appropriate roadway sections / widths. The 16 or 17 ft travelways for 2-way traffic on the road sections you're proposing have been problematic especially in developments without driveways.
3. Area trail connections to adjacent properties should be considered. Also - pedestrian connectivity through the middle of the blocks should be considered.

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Fossil Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. A drainage report and construction plans are required and they must be prepared by a Professional Engineer registered in the State of Colorado. The drainage report must address the four-step process for selecting structural BMPs.
3. Onsite detention is required for the runoff volume difference between the 100-year developed flow rate and the 2-year historic release rate. In the Fossil Creek basin the 2-year historic release rate is 0.2 cfs/acre.
4. The stormwater outfall for the portion of the site that is east of the irrigation lateral appears to be into/through the Linden Park development to the south. All stormwater drainage for the remainder of the site, west of the irrigation lateral, drains into the existing pond and low area and does not drain out of the property. It appears as though the only potential option for a gravity outfall from this site is toward the railroad and to the south to Trilby. Please note that the City of Fort Collins does not allow for retention basins or pumped detention basins.



5. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs).  
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
6. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options:
  - a. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
  - b. 75% of all newly added or modified impervious area must be treated by LID techniques.
7. Standard operating procedures (SOPs) for all onsite drainage facilities (including LID systems) will be included as part of the Development Agreement. More information and links can be found at:  
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
8. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage.
9. There is a final site inspection required when the project construction is complete and the maintenance is handed over to an HOA or another maintenance organization.
10. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq.-ft., and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. FIRE LANES**

Fire access is required to within 150' of all exterior portions of the building, or facility as measured by an approved route around the perimeter. All fire lanes or private roads serving as fire lanes shall be dedicated as an Emergency Access Easement and be designed to standard fire lane specifications. Should the alleys be required to meet minimum fire access, they too shall be dedicated and meet minimum fire lane requirements. Code language provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

## 2. FIRE LANE SPECIFICATIONS

Where required, a fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
  - > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
  - > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
  - > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
  - > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
  - > Be visible by painting and/or signage, and maintained unobstructed at all times.
- International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

## 3. DEAD-END FIRE LANES

Dead-end roads greater than 660' in length require a second point of access. Approved access points are intended to be separated by a distance of no less than 1/2 of the diagonal of the overall project. The proposed accesses do not appear to meet the minimum separation distance and further discussion will be required. Code language provided below.

- > FCLUC 3.6.2(B)2006; IFC 503.2.5 and Appendix D: Dead-end fire apparatus access roads cannot exceed 660 feet in length.
- > IFC D104.3: Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses.

## 4. WATER SUPPLY

> IFC 508.1 and Appendix B: RESIDENTIAL REQUIREMENTS: Within the Urban Growth Area, hydrants to provide 1,000 gpm at 20 psi residual pressure, spaced not further than 400 feet to the building, on 800-foot centers thereafter.

## 5. RESIDENTIAL AUTOMATIC FIRE SPRINKLERS

Single family attached residences require sprinkler systems. Contact the building department for further details.

## 6. PREMISE IDENTIFICATION & WAYFINDING

Further consideration is needed in order to achieve efficient route-finding within the development for emergency services. Private drives required for residential access may need to be named. Each dwelling unit shall be addressed separately. Residences accessed by alleys may need to have the address posted on at least two sides of the building (eg. greenbelt side and alley side). If the most efficient means of access to any residence is from the rear (alley side) of the residence, a man-door will be needed in addition to the garage door. Feel free to contact me with any questions.

> IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

**Department: Environmental Planning**

**Contact: Kelly Kimple, 970-416-2401, [kkimple@fcgov.com](mailto:kkimple@fcgov.com)**

1. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of multiple known natural habitats (aquatic, wetland, and riparian forest). Please note the project will need to be designed in a way that is sensitive to these natural features, and

the buffer zone standards range from 50-100' for these features, as identified in Section 3.4.1(E) of the Land Use Code. The current site design may need to be modified given the results of the ECS.

The Ecological Characterization Study should include a delineation of all wetlands and detailed recommendations for protecting and enhancing the features that are on or adjacent to the site. The report should also address whether the aquatic feature would be considered a concentration area for migratory waterfowl, shorebirds, or songbirds. Surveys may need to be conducted in the spring or summer to make this determination. The buffer distance for such concentration areas is 300 feet.

Please contact Rebecca Everette at [reverette@fcgov.com](mailto:reverette@fcgov.com) or 970-416-2625 if you would like to discuss the scope and requirements of the ECS further. Please note that the Ecological Characterization Study is due a minimum of 10 days prior to the PDP submittal.

2. As you proceed with the ECS and the site design, please note the following general standard in Section 3.4.1, of the Land Use Code:

3.4.1(C) To the maximum extent feasible, the development plan shall be designed and arranged to be compatible with and to protect natural habitats and features and the plants and animals that inhabit them and integrate them within the developed landscape of the community by: (1) directing development away from sensitive resources, (2) minimizing impacts and disturbance through the use of buffer zones, (3) enhancing existing conditions, or (4) restoring or replacing the resource value lost to the community (either on-site or off-site) when a development proposal will result in the disturbance of natural habitats or features.

Thus, the Land Use Code strongly emphasizes the protection of a parcel's natural habitat or features in their current state. In addition, buffer zones may be required on this property to enhance the function of the natural features and to minimize disturbance of the resource.

3. Within the buffer zone, according to Article 3.4.1(E)(1)(g), the City has the ability to determine if the existing landscaping is incompatible with the purposes of the buffer zone. Please ensure that your ECS discusses the existing vegetation and identifies potential restoration options. If it is determined to be insufficient, then restoration and mitigation measures will be required.
4. With respect to lighting, the City of Fort Collins Land Use Code, in Article 3.2.4(D)(6) requires that "natural areas and natural features shall be protected from light spillage from off site sources." Thus, lighting from the parking areas or other site amenities shall not spill over to the buffer areas.
5. In regard to LED light fixtures, cooler color temperatures are harsher at night and cause more disruption to circadian rhythms for both humans and wildlife. Please consider a warmer color temperature (warm white, 3000K or less) for your LED light fixtures. Please also consider fixtures with dimming capabilities so that light levels can be adjusted as needed.
6. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native and wildlife-friendly landscaping is encouraged as well.
7. The applicant should make note of Article 3.2.1(C) that requires developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "... (4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from the proposed

development.

8. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens and has many sustainability programs and goals that may benefit your project. Of particular interest may be the:
  1. Green Building Program: <http://www.fcgov.com/enviro/green-building.php>, contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)
  2. Solar Energy: <http://www.fcgov.com/utilities/residential/renewables/solar-contractors-resources>, contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)
  3. Urban Agriculture: <http://www.fcgov.com/developmentreview/urbanagriculture.php>
  4. Nature in the City Strategic Plan: [fcgov.com/planning/natureinthecity/?key=advanceplanning/natureinthecity/](http://fcgov.com/planning/natureinthecity/?key=advanceplanning/natureinthecity/), contact Justin Scharton at 970-221-6213 or [jscharton@fcgov.com](mailto:jscharton@fcgov.com)

Please consider the City's sustainability goals and ways for your development to engage with these efforts.

**Department: Engineering Development Review**

**Contact: Marc Virata, 970-221-6567, [mvirata@fcgov.com](mailto:mvirata@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveway will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. Most easements to be dedicated need to be public easements dedicated to the City. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along an arterial, 8 foot along an alley, and 9 foot along all other street classifications). Information on the dedication process can be found at: <http://www.fcgov.com/engineering/devrev.php>
7. The plans show the use of narrow residential streets and public alleys. Neither of these would be allowed under LCUASS. If developed as public streets, these would need to be 36 feet in width in accordance with our connector local standards (due to multi-family projects requiring the larger street width). Rear access roadways that function as alleys would need to be private.
8. Access spacing onto Red Willow Drive will need to meet collector spacing requirements.
9. The construction of a public street along the northern boundary of the property would need to ensure that right-of-way is dedicated to the northern boundary of the property to ensure future

development can tie into the property for access (and would allow the ability to seek for reimbursement from the property owner to the north for the abutting proportion of roadway under Section 3.3.2(F)(2) of the Land Use Code.

10. The termination of a public street requires a 100 foot diameter cul-de-sac bulb in accordance with LCUASS. The termination of a public street cannot be an intersecting alley, regardless if public or private.
11. As shown on the plans, the southern road of 41 units results in double frontage lots and would not be allowed due to the homeowner needing to maintain (i.e., sidewalk shoveling) double frontages. There may be a manner in which this occurs provided that there's an HOA maintained tract of land that provides maintenance of the public infrastructure abutting.
12. Sidewalk along Red Willow Drive in accordance with our collector standards would need to be installed by the Developer.
13. There may need to be approvals of a ditch company on the plans and 3 feet of cover for any pipe under a public street (including ditch company pipes) is required.
14. Civil construction plans will be required. A Development Agreement will be required recorded once the project is finalized with recordation costs paid for by the applicant.
15. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
16. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
17. A utility coordination meeting on this site is suggested. Utility coordination meetings if requested are typically scheduled after the preliminary submittal of the project, but can be scheduled prior to submittal upon request. Please provide a site plan with preliminary utility layout for routing with the meeting notice. If you are interested in having a utility coordination meeting, please contact the development review engineer for scheduling.
18. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.
19. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
20. In regards to construction of this site, the public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

**Department: Electric Engineering**

**Contact: Luke Unruh, 9704162724, [lunruh@fcgov.com](mailto:lunruh@fcgov.com)**

1. Light and Power has electric facilities readily accessible to serve the development.
2. Electric Capacity Fee, Building Site charges, and any necessary system modification charges will apply. Please see the Electric Estimating Calculator and Electric Construction Policies, Practices & Procedures at the following link:  
<http://www.fcgov.com/utilities/business/builders-and-developers>
3. Streetlights will be placed along public streets. A 40 feet separation on both sides of the light is required between canopy trees and streetlights. A 15 feet separation on both sides of the light is required between ornamental trees and streetlights.

4. Contact Light and Power Engineering to coordinate the transformer locations, please show the locations on the utility plans. Transformer must be within 10' of an asphalt/concrete surface.
5. Please contact Light & Power Engineering if you have any questions at 221-6700.

### **Department: Building Inspection**

**Contact: Sarah Carter, 970-416-2748, [scarter@fcgov.com](mailto:scarter@fcgov.com)**

1. Please schedule a pre-submittal meeting for this project. Pre-Submittal meetings assist the designer/builder by assuring, early on in the design, that the new projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective. Applicants of new projects should email [scarter@fcgov.com](mailto:scarter@fcgov.com) to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.
2. The City of Fort Collins has amended the 2012 IRC definition of "Townhome" by adding the stipulation that, to qualify as a townhome, each dwelling unit must be on its own individually-platted lot. If more than one dwelling unit is planned on each platted lot, these buildings will be considered R2 multifamily buildings under the 2012 IBC.

### **Planning Services**

**Contact: Ted Shepard, 970-221-6343, [tshepard@fcgov.com](mailto:tshepard@fcgov.com)**

1. The fundamental organizing principle for the site plan must be to utilize all three existing public streets. This includes the logical extensions of Rosen Drive and Prairie Hill Drive. In addition, the street system must respect the ecological attributes of the site per the Ecological Characterization Study. It appears that the existing pond would make for a dramatic amenity and central feature for the proposed neighborhood.
2. Staff recommends that Rosen Drive be extended along the north property line and be single loaded like what Linden Park did along Prairie Hill Drive. That way, when the property to the north develops, buildings can be loaded on the north side of Rosen Drive.
3. Buildings must front (front door, front porch, street address, connecting walkway to public street sidewalk) on the three existing public streets to the maximum extent feasible.
4. Where it is not possible to front a building on an existing public street, the applicant has the following options, in order of preference:
  - Introduce a new public street at the Connector Local classification;
  - Private Street per Section 3.6.2(M);
  - Street Like Private Drive per Section 3.6.2(N).
5. Please note that if the Private Street or Street-Like Private Drive is selected, such roadway must include a 4.5 foot wide detached sidewalk and a six-foot wide parkway with street trees placed at no less than 40-foot intervals.
6. Alleys are encouraged as this allows for a more attractive streetscape as well as wider front porches. Alleys must be private. Be sure that the drainage and grading plan is designed such that the alleys can properly handle the stormwater runoff from both a volume and water quality perspective.
7. All private roadways, except alleys, must be designed in accordance with the access requirements of the Poudre Fire Authority.
8. Where it is not possible to provide alley access, and garages are placed in front, please note that per Section 3.5.2(F), garage doors must be recessed four feet behind either the front

façade of the ground floor living area portion of the dwelling or a covered porch (measuring at least six feet by eight feet, but certainly may be larger). This section also contains an Alternative Compliance provision in order to encourage the design to consider other creative solutions that meet the underlying design intent of the standard.

9. Along the west property line, the existing bicycle and pedestrian path established by Linden Park must be extended the project's north property line. The path must be concrete and match the width of the existing path.
10. Access to this path must be conveniently located and highly visible for residents. For example, access could be extended from the westerly termination points of Rosen Drive and Prairie Hill Drive or centrally located between the two.
11. The minimum number of off-street parking spaces is based on the number of bedrooms per unit in the following manner:

One or less bedrooms	1.5 spaces per dwelling
Two bedrooms	1.75 spaces per dwelling
Three bedrooms	2.0 spaces per dwelling
Four and above	3.0 spaces per dwelling

12. Per Section 3.2.2(K)(1)(b), parking on an internal street fronting on a lot containing single family attached dwellings, may be counted to meet the parking requirements for the development. An internal street (public or private) is considered to be a street that does not directly connect to a larger neighborhood.
13. Existing trees must be evaluated by the City Forester per Section 3.2.1(F). Significant trees must be preserved or properly mitigated based on evaluation. Russian Olives are exempt from tree protection standards.
14. In the L-M-N zone, for sites less than 20 acres, the minimum required average density is 3.00 dwelling units per net acre. The maximum density is 9.00 dwelling units per gross acre. (Section 4.5(D)(1)).
15. In the L-M-N zone, for sites that are 10 acres or larger, a small neighborhood park is required. Such park may be public or private. In this case, the park must be private as a future public neighborhood park is planned for north of Bacon School. The private park must be no less than one acre. 90% of the units must be within one-third of a mile of this park. Section 4.5(D)(6)(a-e) provides the standards for this private park.
16. Staff recommends a bike/pedestrian path around the pond and that this path then connects to the perimeter trail that will be required along the west property line.
17. Staff recommends that since the existing house is only 18 years old, it should be preserved. If not able to be preserved, then it should be deconstructed and not simply demolished. Please contact the Institute for the Built Environment at Colorado State University for details. Please contact Mr. Brian Dunbar, 491-5041, <http://www.ibe.colostate.edu/>
18. Staff recommends a neighborhood meeting be conducted. Staff will set up and facilitate this meeting. For the mailing, we charge \$0.75 cents per address. We provide 14 days notice prior to the meeting.
19. The City of Fort Collins Parks and Recreation Department (P & R) has constructed and maintained the "Power Trail" located on the west side of the Union Pacific railroad tracks. P & R has indicated that they are looking for locations to cross these tracks to serve the existing and future neighborhoods east of the tracks with either an underpass or overpass, at one, or possibly two, locations between Trilby Road on the south and Battle Creek/Keenland Drives on the north. The trail is described as follows:

The Power Trail follows the west side of the Union Pacific Railroad south from Edora Park to north of Harmony Road via Golden Meadows Park then south on McMurry Avenue and Keenland Drive to the west side of the railroad to Trilby Road. Future phases will extend the 10-foot concrete trail and 5-foot gravel path south beyond Harmony Road eventually to Loveland's trail system. Funding is from Conservation Trust (Lottery) revenue. The Power

Trail is 3.89 paved miles.

- 20.** The applicant is encouraged to participate in the discussion as to the number, and location(s) and type(s) of crossing(s). Convenient and safe access to the Power Trail from the subject site would be advantageous for future residents. In fact, the below grade level of the tracks adjacent to the subject site lends itself to an overpass. As these discussions ensue, opportunities to connect to this trail, whether on-site or off-site, perhaps in partnership with P & R, should be considered. Please contact Kurt Friesen, director, parks planning, 970-221-6618 or kfriesen@fcgov.com for further information.
- 21.** Planning supports the comment from Engineering regarding extending the internal north-south public street southerly to intersect with Prairie Hill Drive. Such a connection will have the added benefit of providing right-of-way and easements for fire access and utilities.
- 22.** Please graphically show and label the full extent of Prairie Hill Drive as the southern tier of dwelling units will front on this existing public street even though it's off-site.
- 23.** The east-west alley appears as if it could be reduced in width versus the other alleys. This is because all units served by this alley will have their utilities come in from the two public streets and there will be no need for this alley to be flanked by utility easements. Also, the two public streets will provide the added benefit of allowing for on-street parallel parking in front of the units. It seems with the on-street parking, there would be less traffic on this alley. Also, with street-facing addresses, the Poudre Fire Authority will serve from the public street, not the alley. This will allow a reduction in the width and the turning radii.
- 24.** Since all alleys will be private, the plans do not need to label the alley cross-section detail as a "Fort Collins Roadway." The detail should be labeled as "Private Alley."
- 25.** The alley cross-section indicates an eight-foot wide utility easement on either side but this detail is derived from LCUASS Figures 7-11(F) and 7-12(F) as if the alleys are public and this cross-section assumes the units will front on a public street. As noted, the alleys will be private and the units will front on the "central green" not a public street.
- 26.** For the north-south alleys, easements may have to be adjusted in order to accommodate the "central green" layout. For example, while water and sewer may prefer to serve from the front (central green), other utilities, such as electric, gas, phone and cable, will then need to serve from the alley. Additional easement width may be needed to provide proper horizontal separations. When the team is ready to lay out the utilities, our Engineering Department can set up a Utility Coordination meeting. A two week routing is typically needed.
- 27.** While additional easement width may be necessary in the private alleys, the actual roadway width, flowline to flowline, could be reduced. As indicated, 28 feet seems excessive for a private alley. Please explore with the Poudre Fire Authority their required minimum width (and turning radii) which may allow the private alley widths to be reduced. As noted, addresses and man-doors will be needed on both sides of the units that front on the central green and take fire access from the alley.
- 28.** By reducing the private alleys in width, perhaps some of the units that do not have sufficient driveway length to park a car in front of the garage ("w/o car park") can be upgraded to have such parking.
- 29.** Semantically speaking, the north-south "Alleys" will function as "Private Drives" given that the units will front on a central green and not a public street. The ultimate design of these Private Alleys/Drives must be carefully considered. Please consider the overall intent of these drives. For example, if these drives are intended to encourage lower speeds, then a narrow cross-section is recommended. But if easements are needed which widen the cross-section, then the cross-section may need to include sidewalks and street trees, both of which can be placed in the utility easements. Other design considerations may be desired to achieve the desired intent.
- 30.** As noted, for private alleys/drives, you have the option of whether or not to provide illumination. If illumination is provided, it may be at any level, by any source, and not tied to public roadway lighting standards. Our preference is to advise that you not over-illuminate and to use warm color tones (Kelvin temperatures no greater than 2,700 – 3,000 degrees).



(Note, we get more requests to reduce roadway lighting for viewing the dark sky than to increase illumination. Further, at low speeds, headlights provide sufficient visibility and roadway illumination is not necessary.) Perhaps garage-mounted fixtures, like porch lights, would provide a comfortable and safe level of lighting. Per Section 3.2.4, all private lighting must be fully-shielded and down-directional.

- 31.** At the recommendation of the Poudre Fire Authority, the north-south alleys need to be named. Here is the link to the Larimer County website which allows you to check for duplicates and phonetic sound-alikes. <http://www.larimer.org/streets/>
- 32.** The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
- 33.** Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
- 34.** This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
- 35.** If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
- 36.** Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.
- 37.** The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
- 38.** When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.