

# Conceptual Review Agenda

Schedule for 09/26/16 to 09/26/16

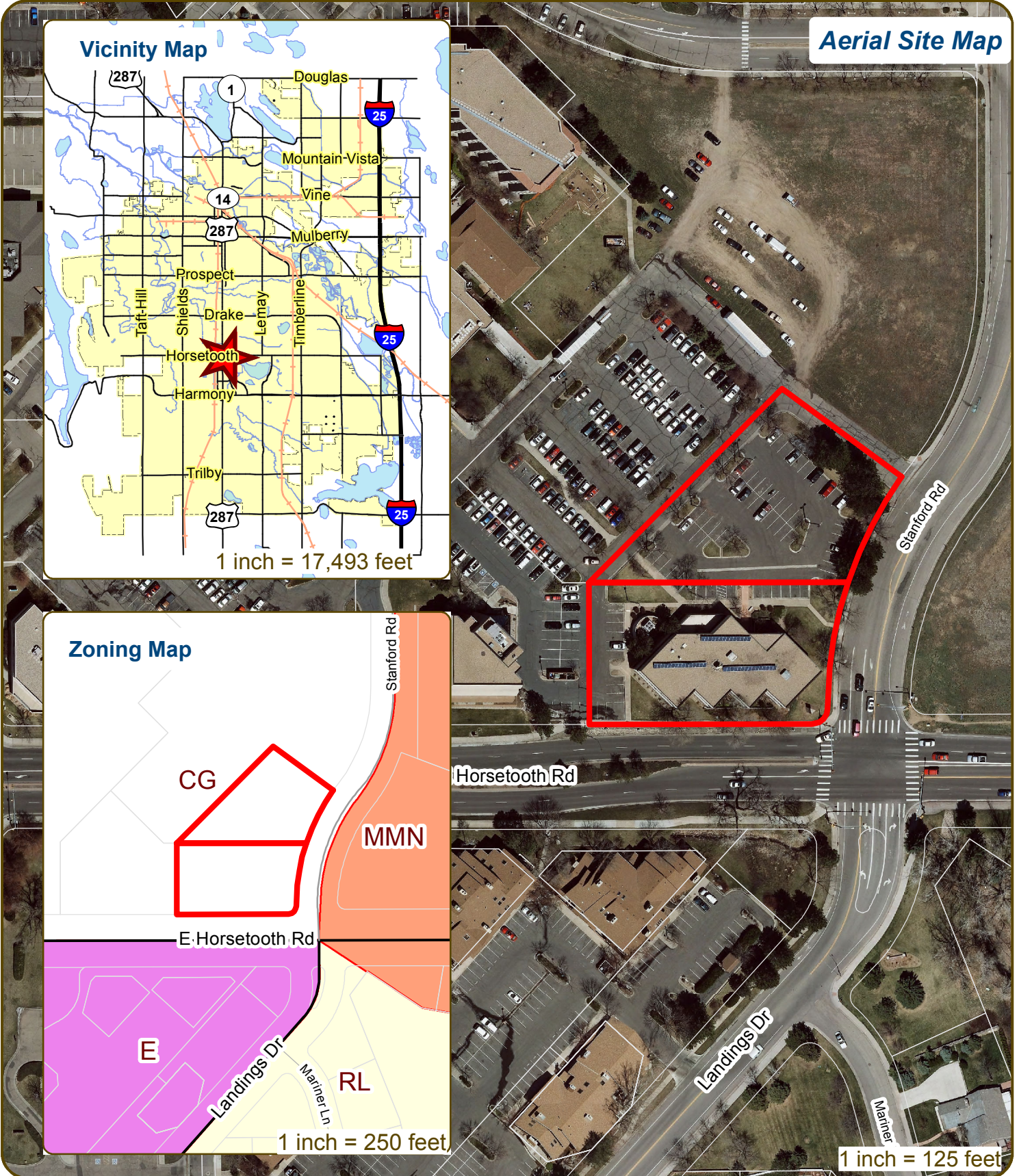
281 Conference Room A

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## Monday, September 26, 2016

Time	Project Name	Applicant Info	Project Description	Planner
9:30	3555 Stanford Dr. - Addition	Tim Lago (970) 493-1220 <a href="mailto:timlago@aplusarch.com">timlago@aplusarch.com</a>	This is a request to construct an addition to the building at 3555 Stanford Dr. (parcel #'s 9725313007 and 9725313009). The building addition would be 3-stories in height and add 12,000 sq. ft. of floor area. The existing parking lot would be reconfigured to accommodate the new addition and will contain 62 spaces. The site is located in the General Commercial (CG) zone district. This project will be subject to a Major Amendment.	Jason Holland
10:15	3040 S Taft Hill Rd. - Residential	Deanne Frederickson (970) 535-9318 <a href="mailto:dfrederickson@agpros.com">dfrederickson@agpros.com</a>	This is a request to build 20 single-family units at 3040 S Taft Hill Rd (parcel #'s 9727231002, 9727231001, and 9727205013). Each home would be served by alleys with access onto Kinnison Dr. The homes would be on lots ranging from 3,405 sq. ft. up to 14,162 sq. ft. The site is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Administrative (Type I) review.	Pete Wray
11:00	4101 S Taft Hill Rd. - Retail	Jim Bray (303) 579-3609 <a href="mailto:brayarch@yahoo.com">brayarch@yahoo.com</a>	This is a request to build a retail building at 4101 S Taft Hill Rd. (parcel #9733400024). The retail building would be a two-story structure with 7,200 sq. ft. of floor area. The site is in Larimer County and would be zoned Urban Estate (UE) per the Structure Plan. The applicant is seeking Neighborhood Commercial (NC) zoning as part of the annexation and initial zoning process.	Clay Frickey

# 3555 Stanford Dr. Addition



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc)

Tim Lago, Architect, Consultant; Precept Properties, Owner (Stephen Greenlee, and Tom Peterson)

Business Name (if applicable) Architecture Plus; Precept Properties

Your Mailing Address 318 East Oak Street, Fort Collins, CO 80524

Phone Number 970-493-1220 Email Address timlago@aplusarch.com

Site Address or Description (parcel # if no address) 3555 Stanford Road, Fort Collins, 80525; Parcel No: 97253-13-007 & 97253-13-009

Description of Proposal (attach additional sheets if necessary)

Addition to Existing Office Building: 3 floors plus Basement totalling 12,000 SF

Proposed Use Office/Business Existing Use Office/Business

Total Building Square Footage 12,000 S.F. Number of Stories 3 Lot Dimensions

Age of any Existing Structures 35 years

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [ ] Yes [X] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 3,300 S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

AREA HIGHLIGHTED IN YELLOW DEPICTS SEWER LINE EASEMENT PER ORIGINAL DRAWINGS

CENTERLINE IN RED DEPICTS CENTER OF SEWER LINE EASEMENT

AREA TO REMAIN OPEN FOR ADJACENT PARKING TURN AISLE.

NEW STORM DRAINAGE TO EXISTING PIPE

NEW 3-STORY OFFICE ADDITION

REROUTE STORM DRAINAGE TO EXISTING INLET/PIPE

(3) EXISTING STORM DRAINAGE LINES TO REMAIN.

AREA SHOWN IN RED DOT HATCH NEEDED TO ADD IN TO THE EASEMENT VACATION FROM 1995, RESOLUTION PZ95-20

NEW EXISTING ENTRANCE IMPROVEMENTS

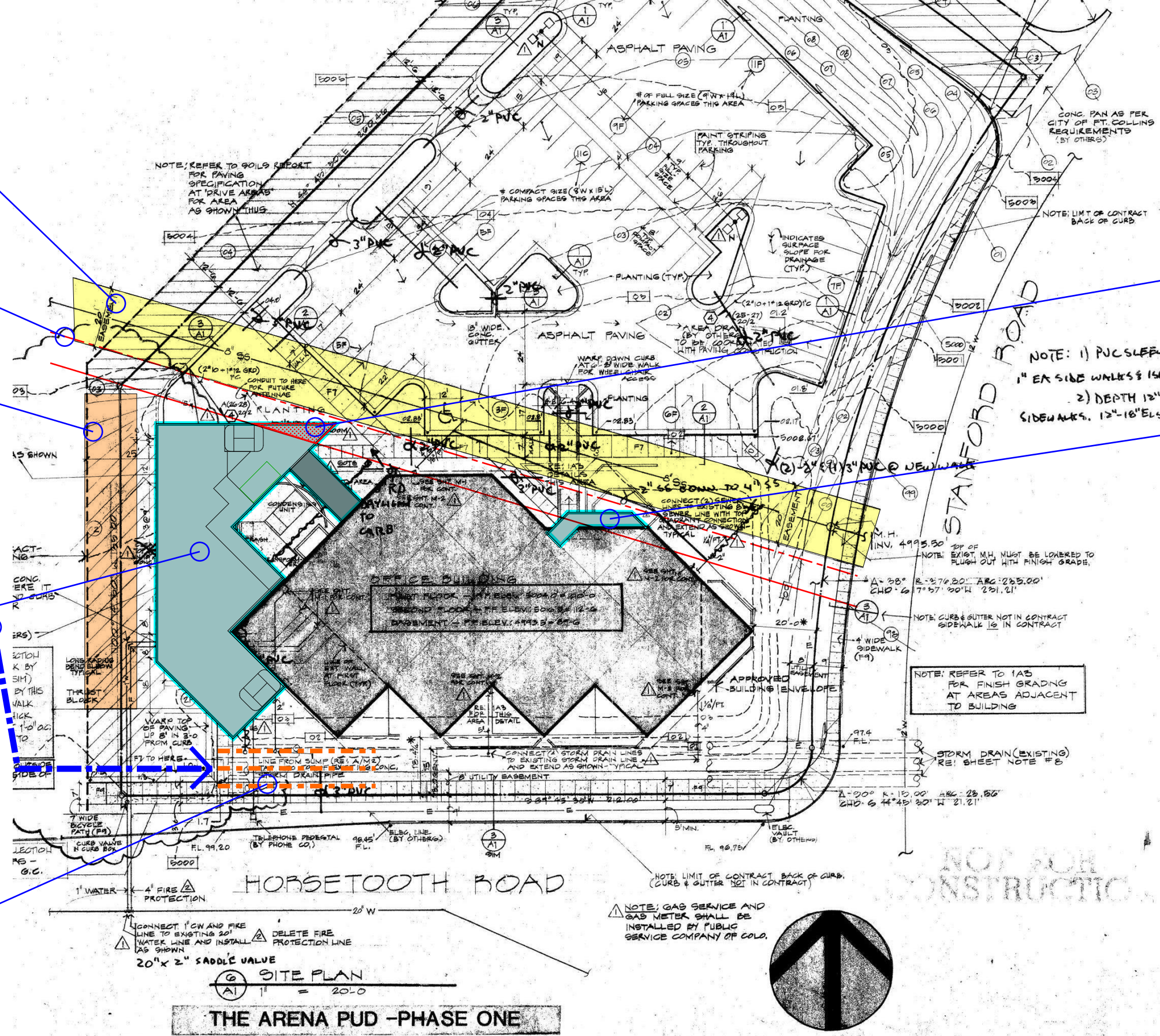
**PARKING**  
62 EXISTING SPACES

**EXISTING BUILDING**  
18178 GSF  
= 19 SPACES

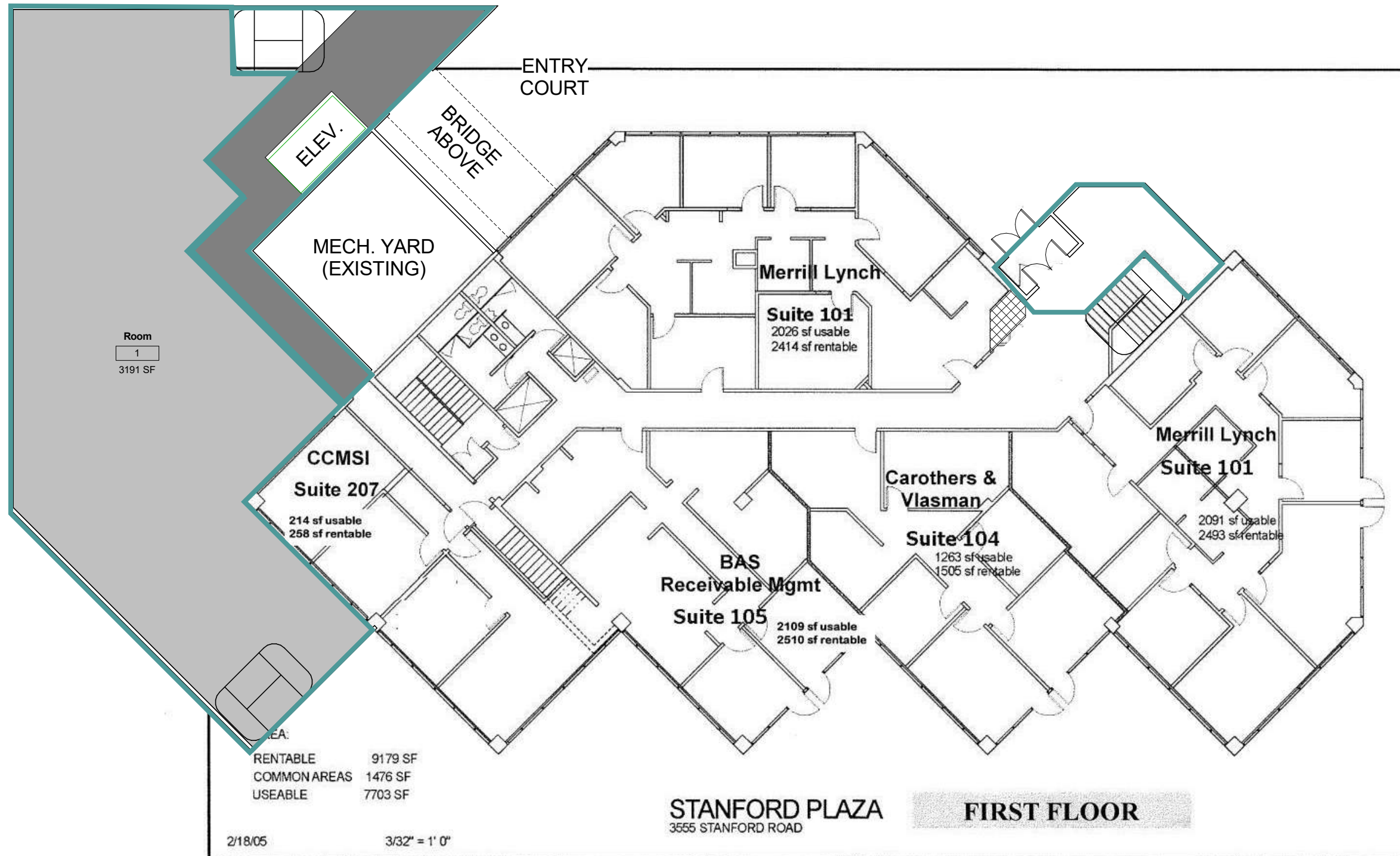
**ADDITIONS**  
9600 NSF (SUITES)  
ON 3 FLOORS  
= +10 SPACES  
= 29 SPACES REQUIRED

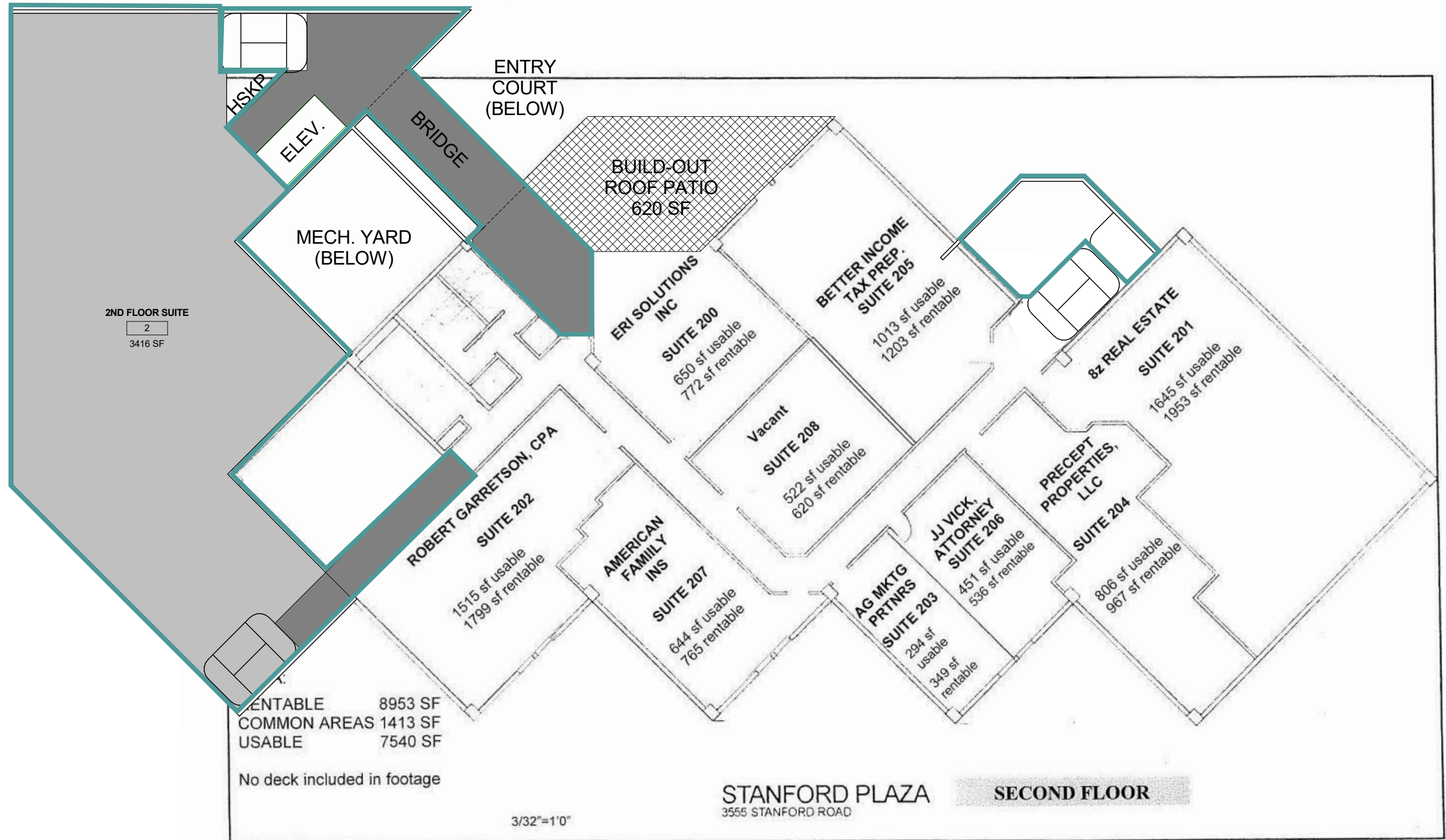
**PARCEL INFO:**  
NORTH LOT PARCEL ID:  
9725313009

SOUTH LOT PARCEL ID:  
9725313007









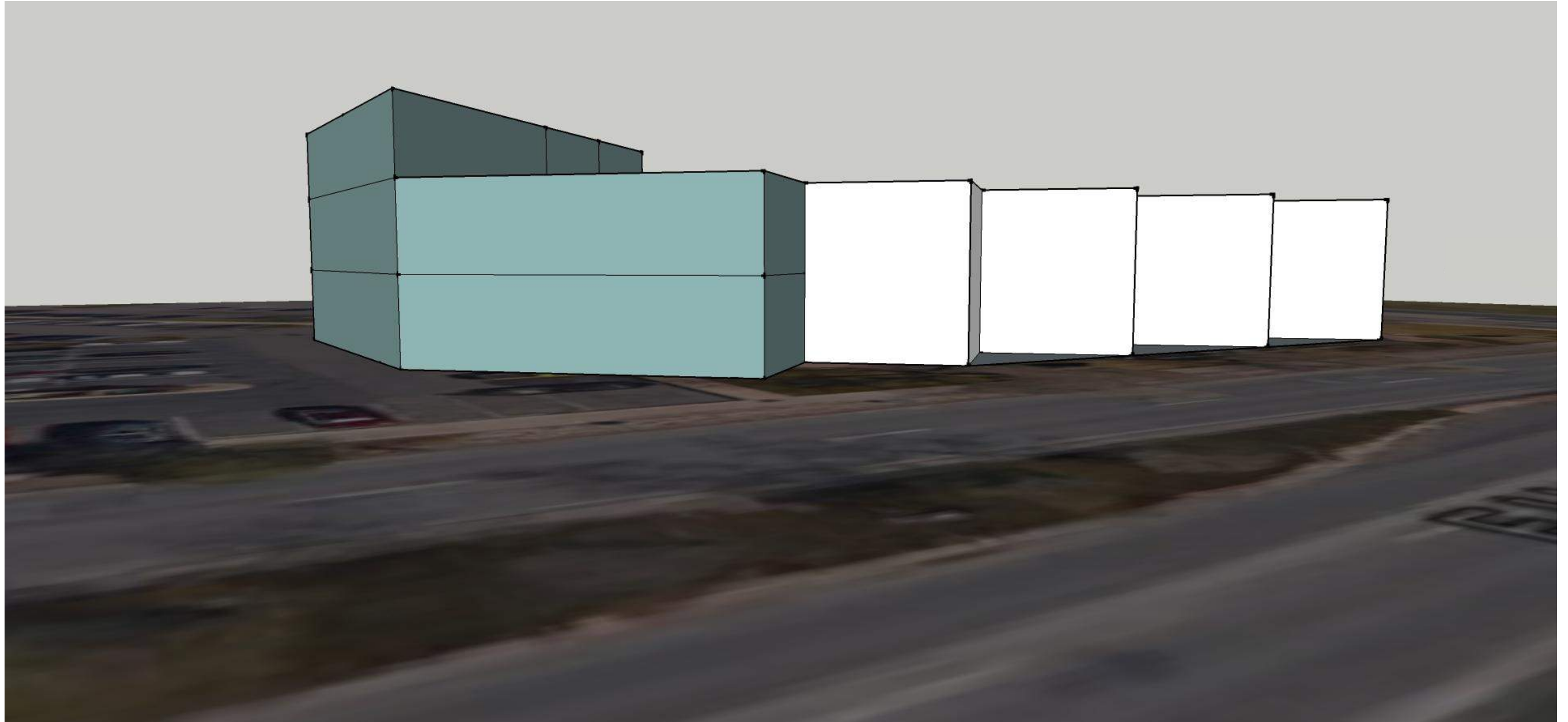


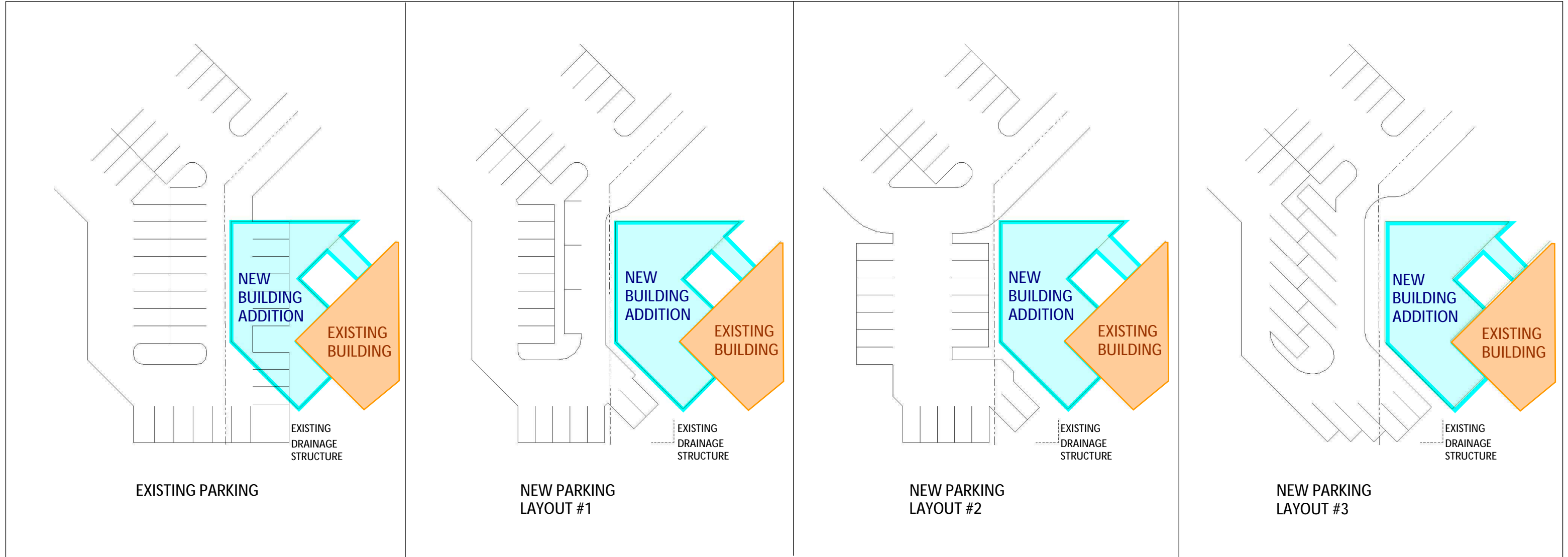




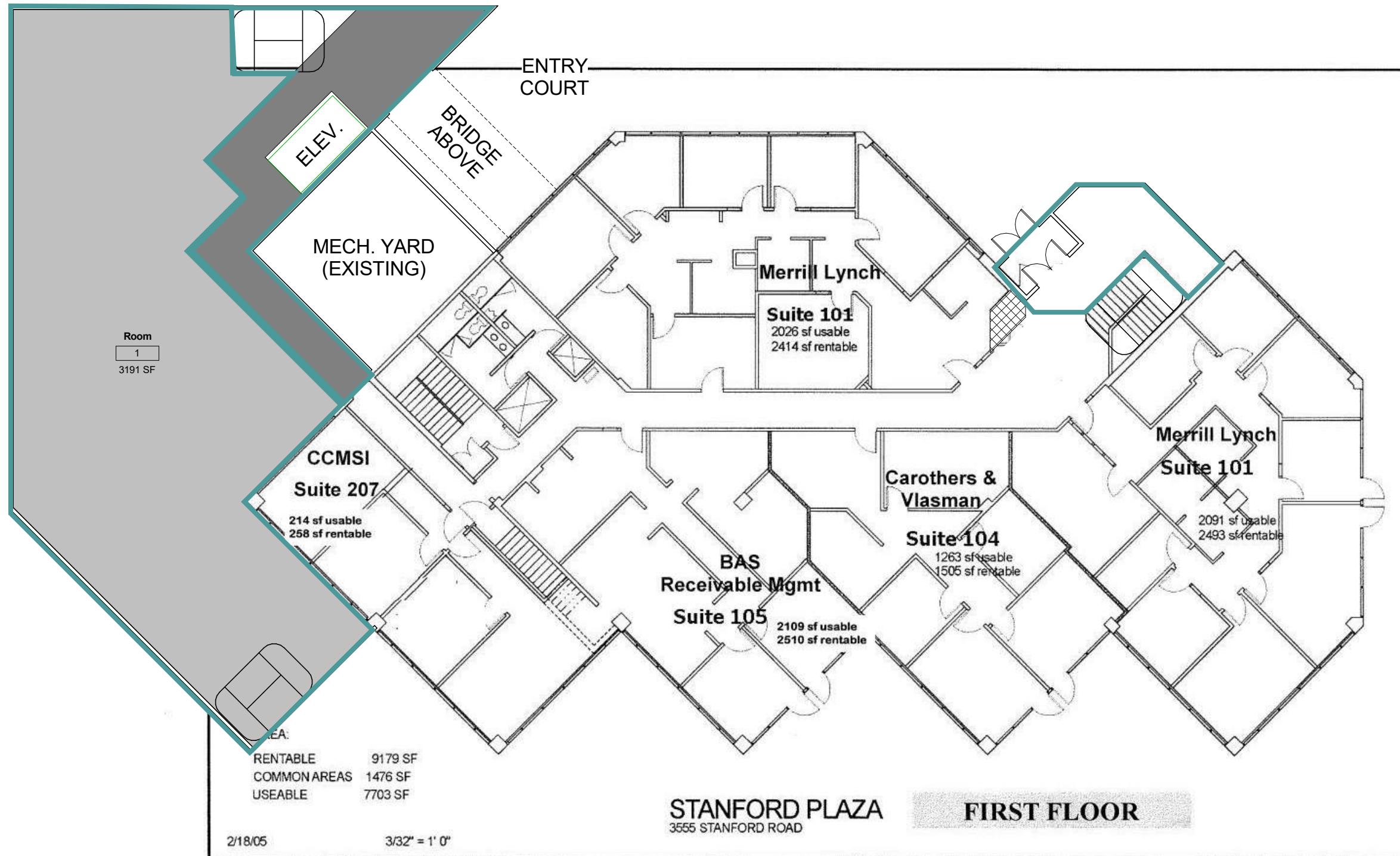


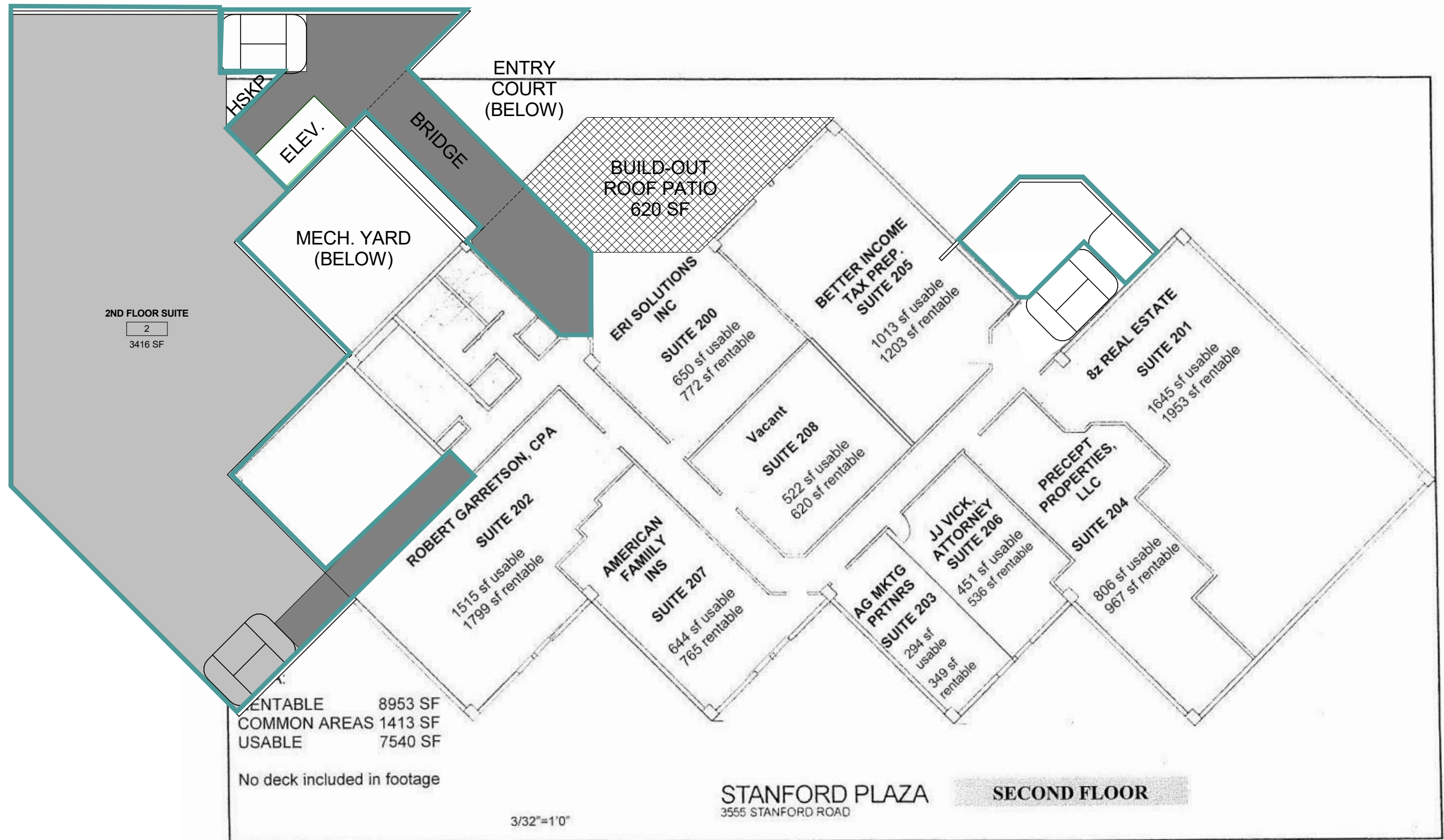












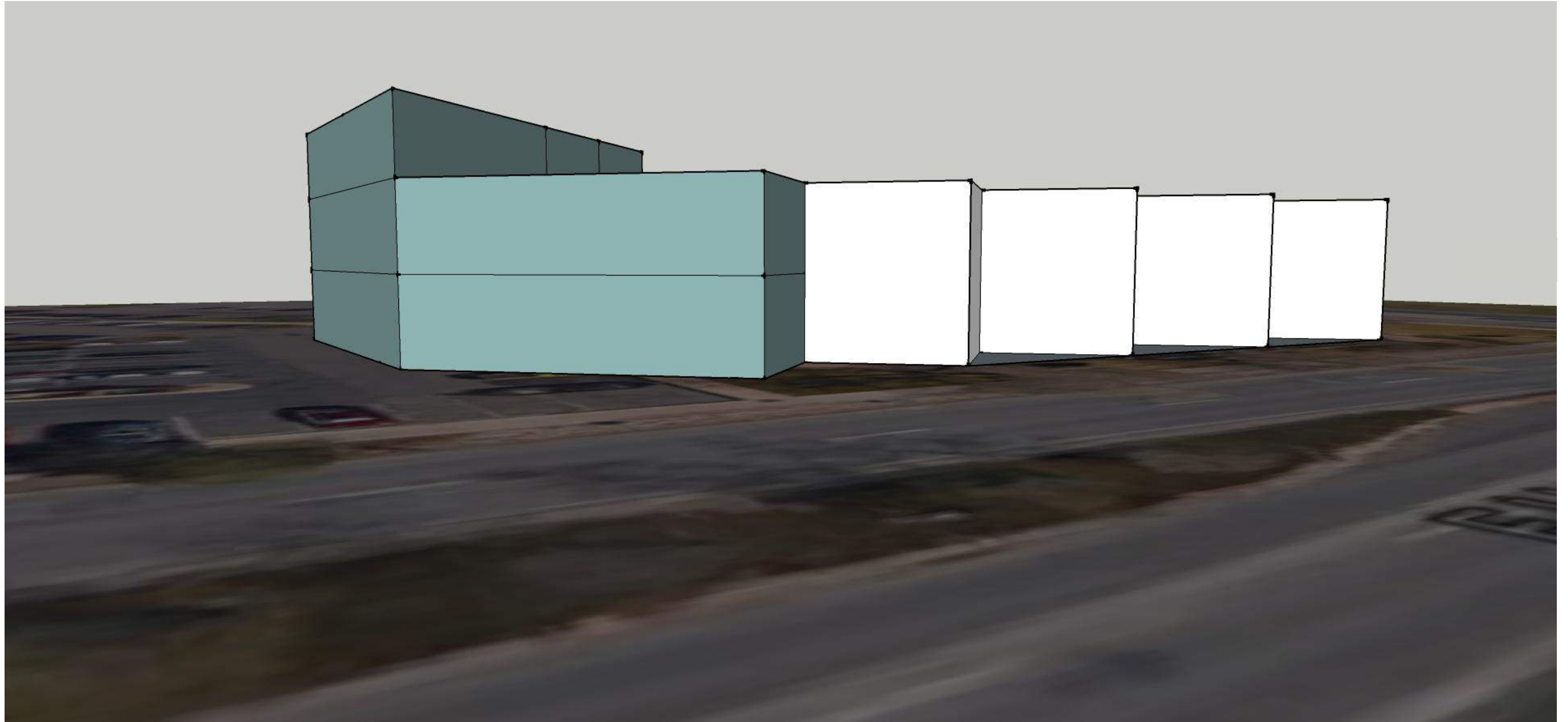














EXISTING BUILDING - SOUTHWEST VIEW FROM HORSETOOTH RD



EXISTING BUILDING - NORTHEAST VIEW FROM LOT / STANFORD RD

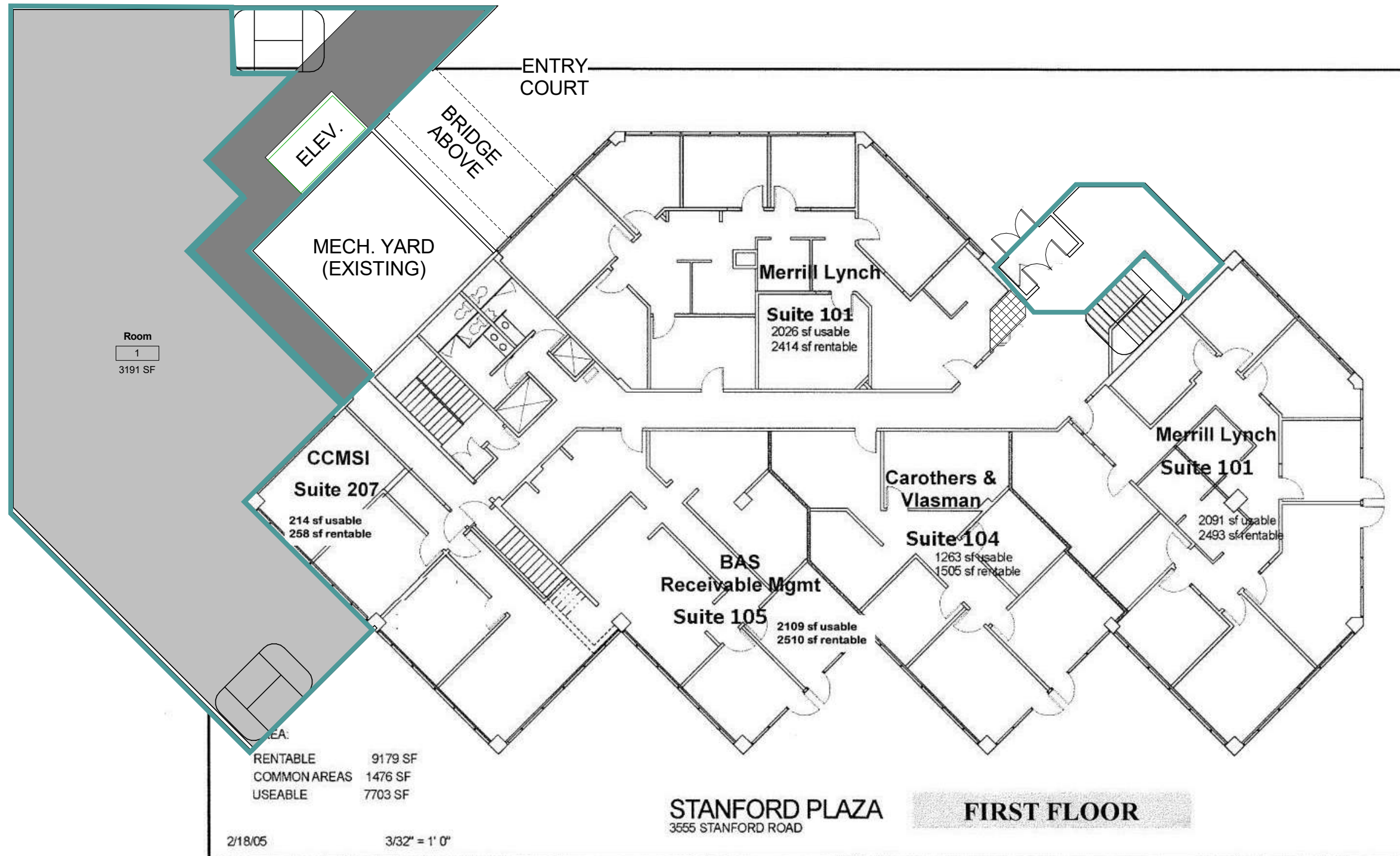


PROPOSED ADDITION - SOUTHWEST VIEW FROM HORSETOOTH RD

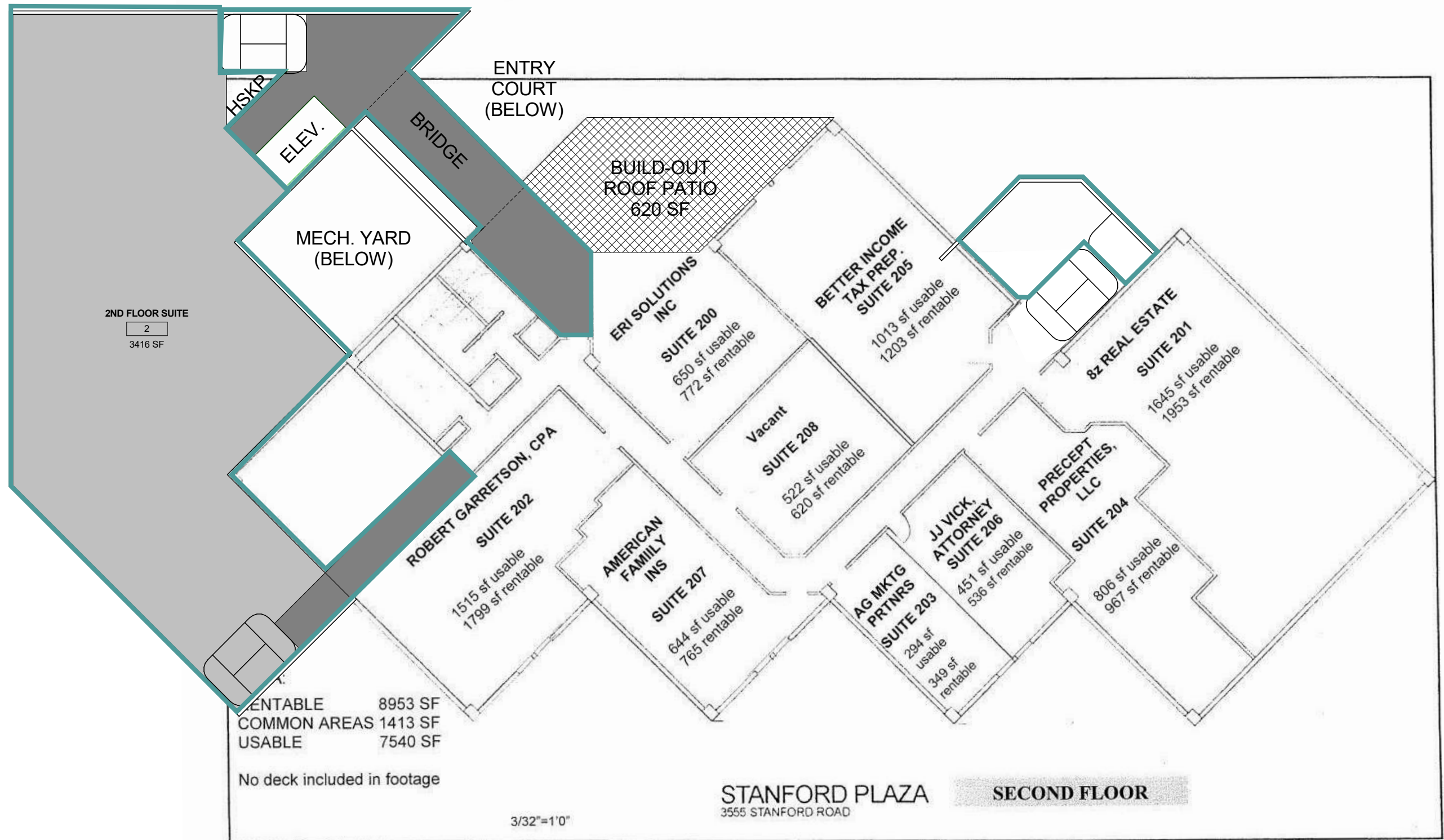


PROPOSED ADDITION - NORTHEAST VIEW FROM LOT / STANFORD RD







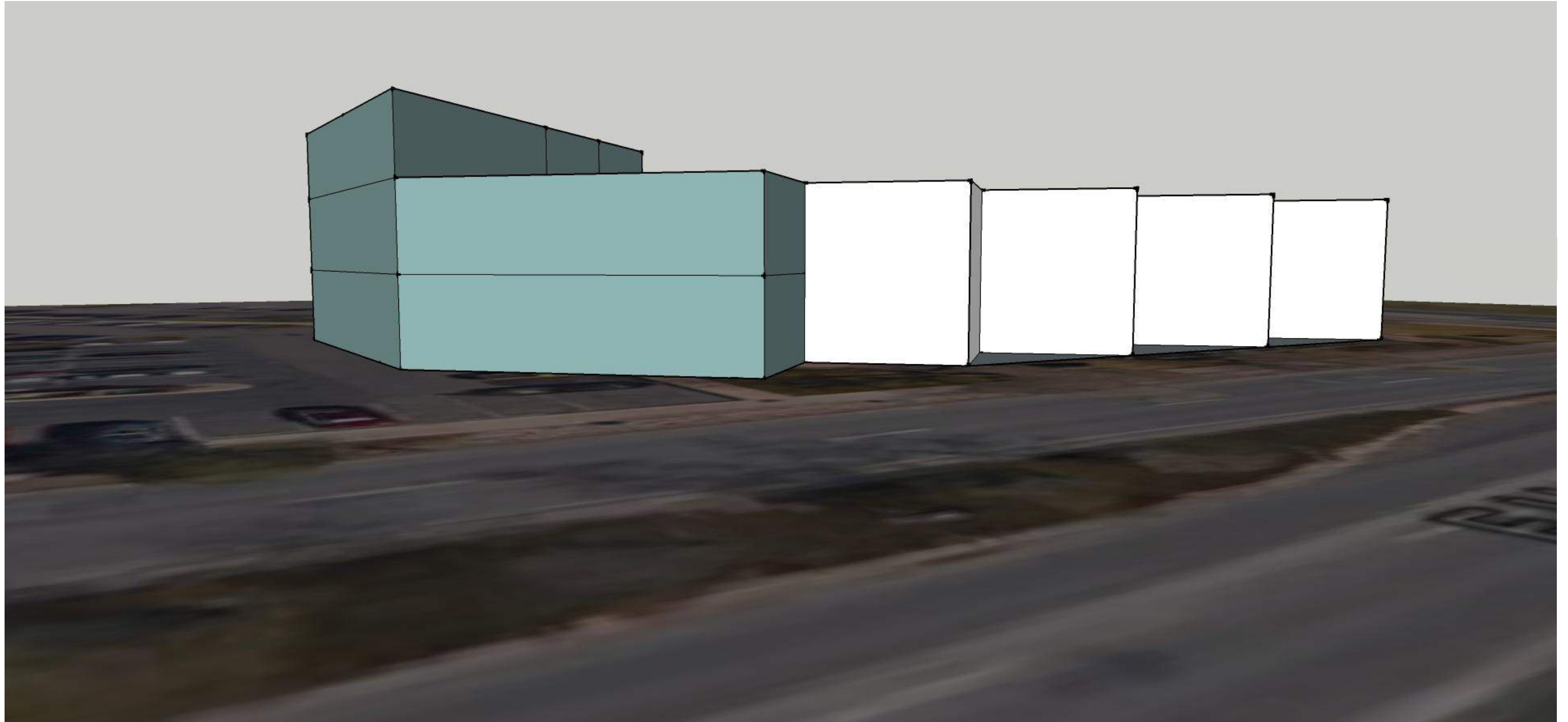














December 05, 2016

Tim Lago  
Architecture Plus  
318 E Oak St  
Fort Collins, CO 80524

**Re:** 3555 Stanford Dr. - Addition

**Description of project:** This is a request to construct an addition to the building at 3555 Stanford Dr. (parcel #'s 9725313007 and 9725313009). The building addition would be 3-stories in height and add 12,000 sq. ft. of floor area. The existing parking lot would be reconfigured to accommodate the new addition and will contain 62 spaces. The site is located in the General Commercial (CG) zone district. This project will be subject to a Major Amendment.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Jason Holland, at 970-224-6126 or [jholland@fcgov.com](mailto:jholland@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact: Ryan Boehle, 970-416-2401, [rboehle@fcgov.com](mailto:rboehle@fcgov.com)**

1. All developments need to submit a landscaping and tree protection plan, with the intent to establish groves and belts of trees along all city streets, parking lots, and in all landscaped areas in order to establish at least a partial urban tree canopy as per 3.2.1 .
2. All developments shall provide adequately sized, conveniently located, accessible trash and recycling enclosures each in an enclosure and screened from public view. Each enclosed area shall be designed to have a separate walk-in access as per 3.2.5.
3. All mechanical equipment, meters, conduit, vents and RTU's shall be screened from public view both from above and below by integrating it into the building and roof design as per 3.5.1(l)(6).
4. Site lighting shall be provided as per 3.2.4 (C). A lighting plan is required, including photometrics and fixture cut sheets. Use of warmer color temperatures (3000 Kelvin) in site light fixtures is preferred.
5. An additional minimum of 4 additional bicycle parking spaces must be provided to accommodate the new square footage, of which 20 % must be enclosed and 80% must be fixed as per 3.2.2 (C)(4)(b)
6. The minimum amount of handicap spaces for this lot is 3 spaces (if not exceeding 75 total spaces), if the total exceeds 75 there will need to have additional spaces provided as per 3.2.2(K)(5)(d)

**Department: Water-Wastewater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. There is an existing 12-inch water main in Stanford Road and an existing 20-inch water main in Horsetooth. The existing water service to this building is a 1-inch service and comes from the 20-inch main in Horsetooth. The Utility Plans for Strachan Third indicate that a fire service stems off of the water service, but our database indicates that there is an irrigation line stemming from the 1-inch domestic service. If a larger service or fire line is needed then the irrigation feed will need to be separated into its own tap at the main.
2. The size of the existing water service and meter for this building is a 1-inch size service. It appears as though you're adding approximately another 30% to the building so the existing service size will need to be validated using the AWWA M22 manual design procedure. A sizing justification letter that includes demand calculations for maximum flows and estimated continuous flows will need to be provided as a part of the final submittal package for this project.
3. There is an existing 8-inch sewer main located to the north of the existing building and within the existing parking lot. Any building additions (including foundation footings) will need to remain a minimum of 10' away from the sewer main and outside of the 20' wide easement. (The sewer easement should be re-dedicated to be centered along the sewer line.)
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
5. Development fees and water rights will be due at building permit.

**Department: Traffic Operations**

**Contact: Nicole Hahn, 970-221-6820, [nhahn@fcgov.com](mailto:nhahn@fcgov.com)**

1. Based on the addition square footage listed in your proposal the anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived.
- 1.

**Department: Technical Services**

**Contact: Jeff County, 970-221-6588, [jcounty@fcgov.com](mailto:jcounty@fcgov.com)**

1. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Foothills Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. When improvements are proposed to an existing developed site and there is an increase in impervious area greater than 1000 square feet, onsite detention is required with a 2-year historic release rate for water quantity. Parking lot detention for water quantity is allowed as long as it is not deeper than one foot.
3. The provided exhibit indicates that you plan to re-route the existing storm pipes around the building addition. This is fine as long as there is sufficient slope (typical minimum slope on storm pipes is 0.40%) on the re-routed pipes and as long as drainage easements are dedicated along the new alignment. Also, we will want to make sure that all public stormwater pipes within this property are within a drainage easement, so if an easement



doesn't already exist or is not big enough to house the storm pipes, we will want you to dedicate a new drainage easement for these.

4. A drainage report and construction plans are required and they must be prepared by a Professional Engineer registered in the State of Colorado. The drainage report must address the four-step process for selecting structural BMPs.
5. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
6. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs).  
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
7. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options:
  - a. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
  - b. 75% of all newly added or modified impervious area must be treated by LID techniques.
8. The erosion control report requirements are in Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Stormwater Criteria Manual. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or [jschlam@fcgov.com](mailto:jschlam@fcgov.com).
9. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins.
10. There will be a final site inspection of the stormwater facilities when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. Standard operating procedures (SOPs) for on-going maintenance of all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at:  
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
11. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 square feet and there is a \$1,045/acre of site review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jill White at 416-4252 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

## 1. FIRE LANES

Fire access is required to within 150' of all exterior portions of any building, or facility as measured by an approved route around the perimeter. For the purposes of this section, fire access cannot be measured from an arterial road.

Unless emergency access has already been provided for in prior easements, the existing, non-sprinkled building is currently considered out-of-access by definition. The proposed building additions will only magnify the existing problem. If a dedicated fire lane has not been previously provided on this site, one will be required at this time.

Any private drive serving as a fire lane shall be dedicated as an Emergency Access Easement (EAE) and be designed to standard fire lane specifications. In addition, aerial apparatus access requirements are triggered for buildings in excess of 30' in height. Code language and fire lane specifications provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

## 2. STRUCTURES EXCEEDING 30' IN HEIGHT

> IFC Appendix D; Poudre Fire Authority Administrative Policy 85-5: In order to accommodate the access requirements for aerial fire apparatus (ladder trucks), required fire lanes shall be 30 foot wide minimum on at least one long side of the building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. This condition may be resolved with a cross property, Emergency Access Easement allowing use of the drive aisle on the west side of the proposed building.

## 3. FIRE CONTAINMENT

The proposed building addition exceeds 5,000 square feet and shall be sprinklered or fire contained. As the existing building is not equipped with an automatic fire sprinkler system, the existing building will need to be sprinklered unless fire separation can be approved by the City of Fort Collins building department. If fire containment is approved, the containment construction shall be reviewed and approved by the Poudre Fire Authority prior to installation.

## 4. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM TEST

> IFC 510: New buildings require a fire department, emergency communication system evaluation after the core/shell but prior to final build out. For the purposes of this section, fire walls shall not be used to define separate buildings. Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority.

LOCAL EXCEPTION: PFA will waive the testing requirement and system installation in all buildings less than 10,000 sq. ft. and any Type V construction building less than 15,000 sq. ft. PFA policy P15-510.1

## 5. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. A hydrant is required within 300' of any Commercial Building as measured along an approved path of vehicle travel. There are three hydrants in the area at an approximate distance of 375' and 450' to the building. There is a third hydrant that may place the building within 300' if fire access has been provided for across property boundaries. Code language provided below.

> IFC 507.5 and PFA Policy: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter

**Department: Environmental Planning**

**Contact: Stephanie Blochowiak, 970-416-4290, [sblochowiak@fcgov.com](mailto:sblochowiak@fcgov.com)**

1. Generally, an Ecological Characterization Study (ECS) is required by Section 3.4.1 (D)(1) as the site is within 500 feet of known natural habitats and features (Warren Lake). However, as there are intervening parcels and a road (Horsetooth Rd) between the natural features and the standard buffer would not extend to this project's parcel, the ECS is waived for this site.
2. If upgrades to lighting are proposed note: blue light is harsher at night and can cause disruption to circadian (biological) rhythms for both humans and wildlife. Please consider a warmer color temperature (warm white, 3000K or less) for any LED light fixtures and fixtures with dimming capabilities so that light levels can be adjusted as needed. Site light sources shall be fully shielded and down-directional to minimize up-light, light spillage and glare [see LUC 3.2.4(D)(3)]. For further information regarding health effects please see: <http://darksky.org/ama-report-affirms-human-health-impacts-from-leds/>
3. A detailed landscape plan including scientific and common names of species is required. City of Fort Collins Land Use Code [Section 3.2.1 (E)(3)], requires that to the extent reasonably feasible, all plans be designed to incorporate water conservation materials and techniques. This includes use of low-water-use plants and grasses in landscaping or re-landscaping and reducing bluegrass lawns as much as possible. Native plants and wildlife-friendly (ex: pollinators; songbirds) landscaping and maintenance are also encouraged. Please refer to the Fort Collins Native Plants document available online and published by the City of Fort Collins Natural Areas Department for guidance on native plants; the link is: <http://www.fcgov.com/naturalareas/pdf/nativeplants2013.pdf>.
4. If significant trees are to be removed note: Land Use Code defines a significant as one having a DBH (Diameter at Breast Height) of six inches or more. If significant trees will be impacted by this development project, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from development [3.2.1(C)].
5. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens now and generations from now. Thus, the City of Fort Collins has many sustainability programs and goals that may benefit this project. For example:
  - 1) ClimateWise program: [fcgov.com/climatewise/](http://fcgov.com/climatewise/)
  - 2) Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): [fcgov.com/recycling/pdf/\\_20120404\\_WRAP\\_ProgramOverview.pdf](http://fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf), contact Caroline Mitchell at 970-221-6288 or [cmtichell@fcgov.com](mailto:cmtichell@fcgov.com)
  - 3) Green Building Program: [fcgov.com/enviro/green-building.php](http://fcgov.com/enviro/green-building.php), contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)
  - 4) Solar Energy: [www.fcgov.com/solar](http://www.fcgov.com/solar), contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)
  - 5) Integrated Design Assistance Program: <http://fcgov.com/idap>, contact Gary Schroeder at 970-224-6003 or [gschroeder@fcgov.com](mailto:gschroeder@fcgov.com)
  - 6) Nature in the City Strategic Plan: <http://www.fcgov.com/natureinthecity/>, contact Justin Scharon at 970-221-6213 or [jscharon@fcgov.com](mailto:jscharon@fcgov.com)

Please consider City sustainability goals and ways this development can engage with these efforts. Let me know if I can help connect you to these programs.

**Department: Engineering Development Review**

**Contact: Marc Virata, 970-221-6567, [mvirata@fcgov.com](mailto:mvirata@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see:  
<http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The access ramp at the northwest corner of Horsetooth Road and Stanford Road abutting the property will need to be reconstructed with truncated dome detection.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:  
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating 7.5' of right-of-way along Horsetooth Road in accordance with the 4 lane arterial standards (50' appears to be the existing half street right-of-way and 57.5' is half of the 4 lane arterial street width of 115'). To the extent that 8' utility easement already exists behind the right-of-way, the conversion of the 8 foot utility easement into an 8 foot right-of-way via dedication should occur. Information on the dedication process can be found at: <http://www.fcgov.com/engineering/devrev.php>
7. Civil construction plans will be required.
8. Depending on development requirements, a Development Agreement may be required and recorded once the project is finalized with recordation costs paid for by the applicant.
9. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
10. Depending on the amount of public improvements required with the project, a Development Construction Permit (DCP) may need to be obtained prior to starting any work on the site.
11. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
12. The public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

**Department: Electric Engineering**

**Contact: Tyler Siegmund, 970-416-2772, [tsiegmund@fcgov.com](mailto:tsiegmund@fcgov.com)**

1. Light and Power currently has 3 phase electric facilities on this site, west of the existing building. If the existing electrical lines or transformer need to be relocated due to the building expansion then they must be relocated within a utility easement. Any relocation or modification of the existing electrical system on the site will be at the expense of the Developer/Owner.
2. Are any changes to the existing electrical service anticipated?
3. Electric capacity fees, development fees, building site charges and any system modification charges necessary to feed the site may apply to this development. Please visit the following website for an estimate of charges and fees:

<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees>

4. Any changes to the existing electric capacity and or location will initiate electric development and system modification charges. Please coordinate power requirements with Light and Power Engineering at 221-6700.
5. Please contact Tyler Siegmund at Light & Power Engineering if you have any questions at 970.416.2772. Please reference our policies, construction practices, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>

**Planning Services**

**Contact: Jason Holland, 970-224-6126, [jholland@fcgov.com](mailto:jholland@fcgov.com)**

1. The main design and review consideration will be the reconfiguration of the parking lot. This will need to be done in a way that meets the city's parking dimensional requirements and provides interior islands that are at least 8 feet in width and with sufficient interior landscape space (6%). Screening of the parking lot from Horsetooth is also required.
2. The parkway along Horsetooth needs refreshing. The railing adjacent to the sidewalk is rusting, the rock mulch falls into the street and is hazardous, and there is no perimeter landscaping screening/softening the parking area.
3. Landscaping surrounding the building foundation is spotty, lacks cohesion and is generally in decline.
4. If the trash enclosure is proposed to be relocated, we will need details for the new enclosure with a design that meets city code.
5. Re-worked parking area needs to include a north/south sidewalk along the west side of the addition. If using standard 19' deep spaces, the sidewalk needs to be 5 feet in width.
6. The land use table provided with the new site plan will need to show both the required parking (based on the GSF of both buildings using the parking), and the total amount of parking provided.
7. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.

- 8.** Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
- 9.** This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
- 10.** If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
- 11.** Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
- 12.** The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
- 13.** When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2012 International Building Code (IBC)*  
*2012 International Residential Code (IRC)*  
*2012 International Energy Conservation Code (IECC)*  
*2012 International Mechanical Code (IMC)*  
*2012 International Fuel Gas Code (IFGC)*  
*2012 International Plumbing Code (IPC) as amended by the State of Colorado*  
*2014 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

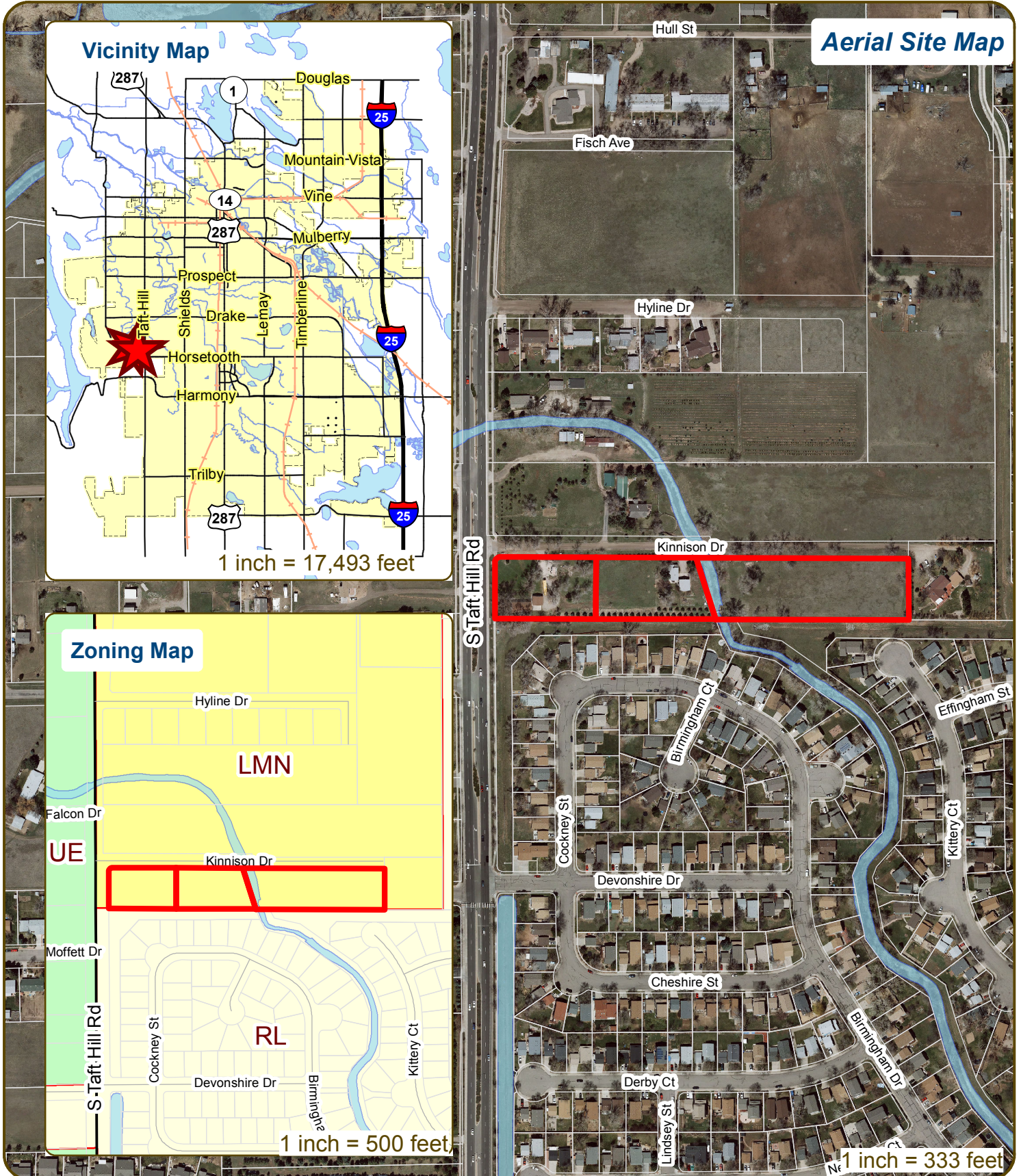
#### Energy Code Use

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
970-416-2341

# 3040 S Taft Hill Rd Residential



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Deanne Frederickson

Planning Consultant. AJ and Brad Hau, Applicants

Business Name (if applicable) AGPROfessionals

Your Mailing Address 3050 67th Ave. Greeley, CO 80634

Phone Number (970) 535-9318 Email Address dfrederickson@agpros.com

Site Address or Description (parcel # if no address) 1951 Kinnison Drive / 3040 S. Taft

Description of Proposal (attach additional sheets if necessary) Please review 3 development concepts for residential development on the subject property.

Proposed Use Residential Existing Use Residential

Total Building Square Footage S.F. Number of Stories 2 Lot Dimensions See concept

Age of any Existing Structures 1935- Photos attached

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? Yes No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?







































December 05, 2016

Deanne Frederickson  
AGPROfessionals  
3050 67th Ave.  
Greeley, CO 80634

**Re:** 3040 S Taft Hill Rd. - Residential

**Description of project:** This is a request to build 20 single-family units at 3040 S Taft Hill Rd (parcel #'s 9727231002, 9727231001, and 9727205013). Each home would be served by alleys with access onto Kinnison Dr. The homes would be on lots ranging from 3,405 sq. ft. up to 14,162 sq. ft. The site is located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Administrative (Type I) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Pete Wray, at 970-221-6754 or [pwray@fcgov.com](mailto:pwray@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact: Marcus Glasgow, 970-416-2338, [mglasgow@fcgov.com](mailto:mglasgow@fcgov.com)**

1. LUC 3.2.1 A landscape plan is required.
2. LUC 3.2.1 (D) (2) Planting of street trees shall occur in the adjoining street right-of-way in connection with the development
3. The residential building standards found in 3.5.2 will apply.
4. LUC 4.5(E)(3) The maximum height of one-, two- and three-family dwellings shall be two and one-half (2.5) stories.

**Department: Water-Wastewater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. There is an existing 16-inch water main in Taft Hill Road with an existing 6-inch stub into the Kinnison Drive area. A new water main will be required to be installed within Kinnison Drive (8-inch diameter) to serve this new development. The new water main may be extended to a maximum distance of 660' without a secondary point of connection into the existing water system. Any water main extension beyond the 660' will be required to tie into another existing water line, probably within the Rossborough neighborhood.
2. There is an existing 12-inch sewer main in Taft Hill Road. A new sewer main will be required

to be installed within Kinnison Drive (8-inch diameter) to serve this new development.

3. Single-family-attached units and single-family-detached units will each be required to have their own separate water and sewer services.
4. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
5. Development fees and water rights will be due at building permit.

**Department: Traffic Operations**

**Contact: Nicole Hahn, 970-221-6820, [nhahn@fcgov.com](mailto:nhahn@fcgov.com)**

1. There will need to be some adjacent street frontage improvements. Work with the engineering department on specifics.
2. The anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS (based on option C). Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived. We would like to continue to work with you on the site circulation.

**Department: Technical Services**

**Contact: Jeff County, 970-221-6588, [jcounty@fcgov.com](mailto:jcounty@fcgov.com)**

1. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
2. If submitting a replat for this property/project, addresses are not acceptable in the Subdivision Plat title/name.

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Spring Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. Pleasant Valley and Lake Canal bisects the property. However, this irrigation ditch cannot be utilized as the stormwater outfall for this project. There is an existing drainage channel located within the Rossborough neighborhood to the south of this site that is a regional drainage conveyance (owned and maintained by the City) and must be utilized for the stormwater outfall for this site.
3. A drainage report and construction plans are required and they must be prepared by a Professional Engineer registered in the State of Colorado. The drainage report must address the four-step process for selecting structural BMPs.
4. Onsite detention is required for the runoff volume difference between the 100-year developed inflow rate and the 2-year historic release rate.
5. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
6. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). (<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.

7. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options:
  - a. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
  - b. 75% of all newly added or modified impervious area must be treated by LID techniques.
8. The erosion control report requirements are in Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Stormwater Criteria Manual. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or jschlam@fcgov.com.
9. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins.
10. There will be a final site inspection of the stormwater facilities when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. Standard operating procedures (SOPs) for on-going maintenance of all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at:  
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
11. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 square feet and there is a \$1,045/acre of site review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jill White at 416-4252 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. WATER SUPPLY**

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. A hydrant is required within 400' of any Residential Building as measured along an approved path of vehicle travel, and on 800' centers. Code language provided below.

> IFC 507.5 and PFA Policy: RESIDENTIAL REQUIREMENTS: Within the Urban Growth Area, hydrants to provide 1,000 gpm at 20 psi residual pressure, spaced not further than 400 feet to the building, on 800-foot centers thereafter.

**2. FIRE LANES**

Fire access is required to within 150' of all exterior portions of any building, or facility as measured by an approved route around the perimeter. For the purposes of this section, fire access cannot be measured from an arterial road (in this case, S Taft Hill Rd). Any private alley, private road, or private drive serving as a fire lane shall be dedicated as an Emergency Access Easement (EAE) and be designed to standard fire lane specifications. In addition, aerial apparatus access requirements are triggered for buildings in excess of 30' in height, but this would not likely apply to 2-story residences. Code language and fire lane

specifications provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

### 3. FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
  - > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
  - > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
  - > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
  - > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
  - > Be visible by painting and/or signage, and maintained unobstructed at all times. Sign locations or red curbing should be labeled and detailed on final plans.
  - > Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details.
- International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

### 4. DEAD-END FIRE LANES

Dead-end fire lanes in excess of 660' require a second point of access. In residential situations where a second point of access is not possible, the fire marshal may approve the condition when any home past 660' is equipped with residential fire sprinkler systems. Code language provided below.

> IFC 503.2.5, Appendix D, and FCLUC 3.6.2(B)2006: Dead-end fire apparatus access roads cannot exceed 660 feet in length. Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.

### 5. PREMISE IDENTIFICATION & WAYFINDING

Where possible, the naming of private drives is usually recommended to aid in wayfinding. Addresses shall be posted on each structure and where otherwise needed to aid in wayfinding. Based upon the proposed site plan, some residences (including those fronting S. Taft Hill Rd.) will require their address to be posted on both the front and alley sides of the buildings. Code language provided below.

> IFC 505.1: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible, visible from the street or road fronting the property, and posted with a minimum of six-inch numerals on a contrasting background. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

**Department: Environmental Planning**

**Contact: Stephanie Blochowiak, 970-416-4290, [sblochowiak@fcgov.com](mailto:sblochowiak@fcgov.com)**

1. An Ecological Characterization Study (ECS) is required by City of Fort Collins Land Use Code (LUC) Section 3.4.1 (D)(1) as the site is within 500 feet of known natural habitats and features (riparian forest; Pleasant Valley and Lake Canal; wetlands). Note the buffer zone standards for these features range from 50 to 100 feet, as identified in Section 3.4.1(E) of the LUC, as you proceed with your site design process. The site is uniquely located within a context of natural features and open space providing connectivity, habitat and nutritional resources for local and possibly migratory wildlife. The project site is within 1000 feet of Rossborough Park, within 1500 feet of Tanglewood Natural Area and within 3000 feet of both Cottonwood Glen Park and Spring Canyon Community Park. The project will need to be designed in a way that is sensitive to the natural habitats and features on-site and within 500 feet of the site per LUC 3.4.1. This will affect the site layout that is currently proposed. City Staff highly suggest the site design include sensitivity to the natural features context as well. The ECS document will help inform this decision-making process and is due a minimum of 10 days prior to the PDP submittal. The ECS shall address the ecological value of the site and the site in relation to its natural features context. See LUC 3.4.1(D)(1)(a-l) for a comprehensive list of specific topics to be addressed in the ECS. Feel free to contact me directly or have the hired ecological consultant contact me to discuss the ECS scope and requirements.

Link to City of Fort Collins Land Use Code section 3.4.1, Natural Habitats and Features:  
[https://www.municode.com/library/co/fort\\_collins/codes/land\\_use?nodeId=ART3GEDEST\\_DIV3.4ENNAARRECUREPRST](https://www.municode.com/library/co/fort_collins/codes/land_use?nodeId=ART3GEDEST_DIV3.4ENNAARRECUREPRST)

2. Natural habitat buffer zones can be established according to quantitative and/or qualitative performance metrics. Note that within a designated Natural Habitat Buffer Zone, the City has the ability to determine if the existing landscaping within the zone is incompatible with the purposes and intent of the buffer zone [Section 3.4.1(E)(1)(g)]. Please ensure the ECS discusses existing vegetation on-site and identifies potential restoration options. If existing vegetation is determined to be insufficient, then restoration and mitigation measures will be required.
3. Regarding protection of wildlife and ecological character, note:
  - a. If a development site contains existing natural habitats or features that connect to other off-site natural habitats or features, to the maximum extent feasible the development plan shall preserve such natural connections [LUC 3.4.1(F)(2)].
  - b. If wildlife may create conflicts for future occupants of the development (including, but not limited to, prairie dogs, beaver, deer and rattlesnakes) are known to exist in areas adjacent to or on the development site, then the development plan must, to the extent reasonably feasible, include provisions such as barriers, protection mechanisms for landscaping and other site features to minimize conflicts that might otherwise exist between such wildlife and the developed portion of the site [LUC 3.4.1(F)(3)].
4. With respect to lighting, the City of Fort Collins Land Use Code, Section 3.2.4(D)(6), requires that "natural areas and natural features shall be protected from light spillage from off site sources." Thus, lighting from the parking areas or other site amenities shall not spill over to natural habitat buffer areas.
5. In regard to LED light fixtures, The American Medical Association (AMA) and International Dark-Sky Association (IDA) both recommend using lighting that has a corrected color temperature (CCT) of no more than 3000 degrees Kelvin in order to limit the amount of blue light in the night environment. Cooler color temperatures are harsher at night and cause more disruption to circadian (biological) rhythms for both humans and wildlife; blue light brightens the night sky and creates more glare than any other color of light. Both LED and metal halide fixtures contain large amounts of blue light in their spectrum, and exposure to blue light at night has been shown to harm human health and endanger wildlife. Therefore, use of warmer color temperature (warm white, 3000K or less) for light fixtures is preferred in addition to fixtures with dimming capabilities. Site light sources shall be fully shielded and down-directional to minimize up-light, light spillage and glare [see LUC 3.2.4(D)(3)]. If this

project continues in the design process please submit a photometric plan and manufacture cut sheets of light fixtures at PDP. For further information regarding health effects and lighting please see: <http://darksky.org/ama-report-affirms-human-health-impacts-from-leds/>

6. A detailed landscape plan will need to be submitted that includes scientific and common names of all proposed species. City of Fort Collins Land Use Code [Section 3.2.1 (E)(3)], requires that to the extent reasonably feasible, all plans be designed to incorporate water conservation materials and techniques. This includes use of low-water-use plants and grasses in landscaping or re-landscaping and reducing bluegrass lawns as much as possible. Native plants and wildlife-friendly (ex: pollinators; songbirds) landscaping and maintenance are also encouraged. Please refer to the Fort Collins Native Plants document available online and published by the City of Fort Collins Natural Areas Department for guidance on native plants that are appropriate for our CO Foothills ecotype; the link is: <http://www.fcgov.com/naturalareas/pdf/nativeplants2013.pdf>.
7. It appears the current site design would eliminate mature growth trees. Note LUC Section 3.2.1(C) requiring developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment." Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
8. City Staff highly recommends keeping healthy, mature growth trees in place, as our urban tree canopy helps reduce energy costs in summer months, mitigates heat island effects, adds to the pedestrian environment, and provides habitat for local wildlife including songbirds and pollinators. There is a minimum buffer standard of 25 feet for farmstead windbreaks [LUC 3.4.1(E)]. Maintaining and enhancing the urban forest and tree canopy aligns with both the City of Fort Collins Nature in the City and City Plan goals.
9. If tree mitigation is necessary, please include the following note on the tree mitigation plan and/or landscape plan, as appropriate: "All tree removal shown shall be completed outside of the songbird nesting season (Feb 1 - July 31) or a survey will be conducted of the trees to be removed to ensure that no active nests are present."
10. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens now and generations from now. Thus, the City of Fort Collins has many sustainability programs and goals that may benefit this project. Of particular interest may be the:

1) Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): [fcgov.com/recycling/pdf/\\_20120404\\_WRAP\\_ProgramOverview.pdf](http://fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf), contact Caroline Mitchell at 970-221-6288 or [cmtichell@fcgov.com](mailto:cmtichell@fcgov.com)

2) Green Building Program: [fcgov.com/enviro/green-building.php](http://fcgov.com/enviro/green-building.php), contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)

3) Solar Energy: [www.fcgov.com/solar](http://www.fcgov.com/solar), contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)

4) Integrated Design Assistance Program: [fcgov.com/idap](http://fcgov.com/idap), contact Gary Schroeder at 970-224-6003 or [gschroeder@fcgov.com](mailto:gschroeder@fcgov.com)

5) Nature in the City Strategic Plan: <http://www.fcgov.com/natureinthecity/>, contact Justin Scharton at 970-221-6213 or [jscharton@fcgov.com](mailto:jscharton@fcgov.com)

6) Urban Agriculture: <http://www.fcgov.com/urbanagriculture>, contact Spencer Branson at 970-224-6086 or [sbranson@fcgov.com](mailto:sbranson@fcgov.com). In addition, the Northern Colorado Food Cluster is

sponsored and supported by the City of Fort Collins. The executive Director, Brad Christensen, can be reached at [director@nocofoodcluster.org](mailto:director@nocofoodcluster.org).

Please consider City sustainability goals and ways this development can engage with these efforts. Let me know if I can help connect you to these programs.

**Department: Engineering Development Review**

**Contact: Katie Andrews, 970-221-6501, [kandrews@fcgov.com](mailto:kandrews@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see:  
<http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The ramps will need to be updated to include detectable warnings/truncated domes.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:  
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. Most easements to be dedicated need to be public easements dedicated to the City. This shall include the standard utility easements that are to be provided behind the right-of-way (15 foot along Taft Hill Road and 9 foot along Kinnison Drive). Information on the dedication process can be found at:  
<http://www.fcgov.com/engineering/devrev.php>
7. The narrow residential cross-section is no longer an accepted standard in the City of Fort Collins. Kinnison Drive should be improved according to local residential standards which include a 30 foot roadway, 6 foot parkway, 4.5 foot walk, and 9 foot utility easement behind the ROW.
8. Public alleys will not be permitted for the internal road network of this development. The internal road system shall be constructed and maintained as private drives.
9. Please see LCUASS 7.6.4 C for turnaround requirements for Kinnison Drive.
10. A repayment will be due to the City at time of Building Permit for the cost to construct the local street portion of the property's Taft Hill frontage.
11. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
12. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
13. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
14. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation.



Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.

15. Any rain gardens within the right-of-way cannot be used to treat the development/ site storm runoff. We can look at the use of rain gardens to treat street flows – the design standards for these are still in development.
16. Doors are not allowed to open out into the right-of-way.
17. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
18. In regards to construction of this site: the public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

**Department: Electric Engineering**

**Contact: Tyler Siegmund, 970-416-2772, [tsiegmund@fcgov.com](mailto:tsiegmund@fcgov.com)**

1. Light and Power has 3phase and single phase electric facilities along Kinnison Dr and Taft Hill Rd that can be utilized to feed this development.
2. Electric capacity fees, development fees, building site charges and any system modification charges necessary to feed the site will apply to this development. Please visit the following website for an estimate of charges and fees:

<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees>

3. Light & Power will need AutoCAD files of the approved site plan, utility plans, and landscape drawings before design of the electric facilities will begin.
4. Streetlights will be placed along public streets. A 40 feet separation on both sides of the light is required between canopy trees and streetlights. A 15 feet separation on both sides of the light is required between ornamental trees and streetlights.
5. Please contact Tyler Siegmund at Light & Power Engineering if you have any questions at 970.416.2772. Please reference our policies, construction practices, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>
6. If primary electric lines need to extend into the site/private drives to feed the development then they must be installed within utility easements. A minimum of 10ft of separation is required between any electrical lines and water mains, sewer mains, storm mains, etc.
7. Transformer locations will need to be coordinated with Light & Power. Transformer must be placed within 10 ft of a drivable surface for installation and maintenance purposes. The transformer must also have a front clearance of 10 ft and side/rear clearance of 3 ft minimum.
8. The location of the electric services will need to be coordinated with Light and Power Engineering. Please note that all residential units must be metered individually.

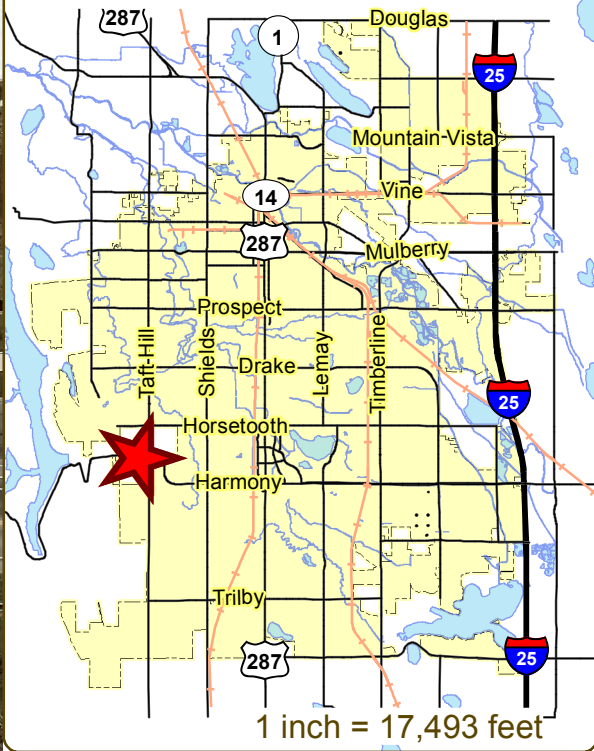
## Planning Services

Contact: Pete Wray, 970-221-6754, [pwray@fcgov.com](mailto:pwray@fcgov.com)

1. It might be worth pursuing a second point of access to connect to Kittery Ct. to the south of site. The City owns the parcel in between properties. This would resolve the requirement by PFA for buildings to have sprinklers.
2. LMN Standards - 4.5 (E) (4) (b): Setbacks from the property line of abutting property containing single-family and two-family dwellings are 25 feet.
3. With revised plans based on staff conceptual comments, it may be beneficial to set up a pre-submittal meeting to coordinate overall design.
4. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
5. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
6. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
7. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
8. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.
9. The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
10. When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

# 4101 S Taft Hill Rd Retail

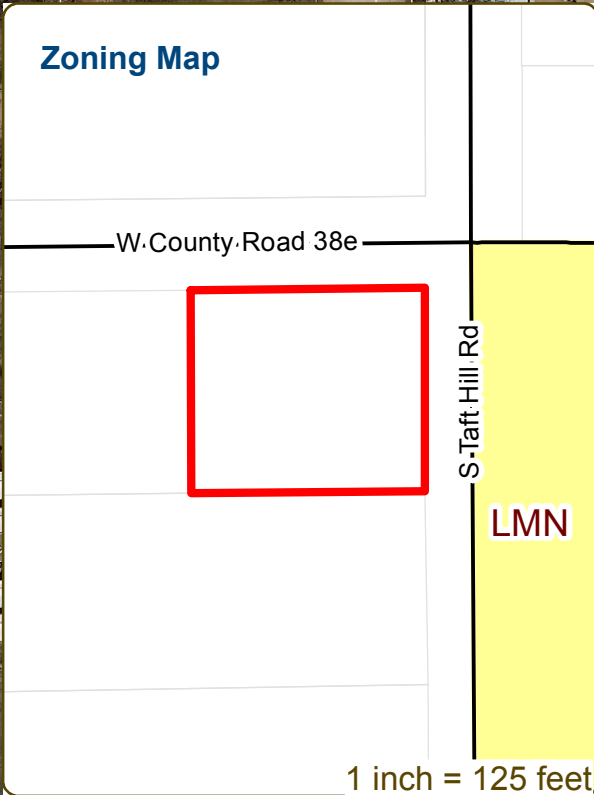
Vicinity Map



Aerial Site Map



Zoning Map



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Jim Bray

Business Name (if applicable) Bray Architecture

Your Mailing Address 1300-C Yellow Pine Boulder, CO 80304

Phone Number 303.579.3609 Email Address brayarch@yahoo.com

Site Address or Description (parcel # if no address) 4101 S Taft Hill Rd. (parcel #9733400024)

Description of Proposal (attach additional sheets if necessary)

Remove existing single-family home and build 7,200 sq. ft. retail building with 20 parking spaces

Proposed Use Retail Existing Use Single-family home

Total Building Square Footage 7,200 S.F. Number of Stories 2 Lot Dimensions

Age of any Existing Structures

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [ ] Yes [X] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

# N-C Neighborhood Commercial District

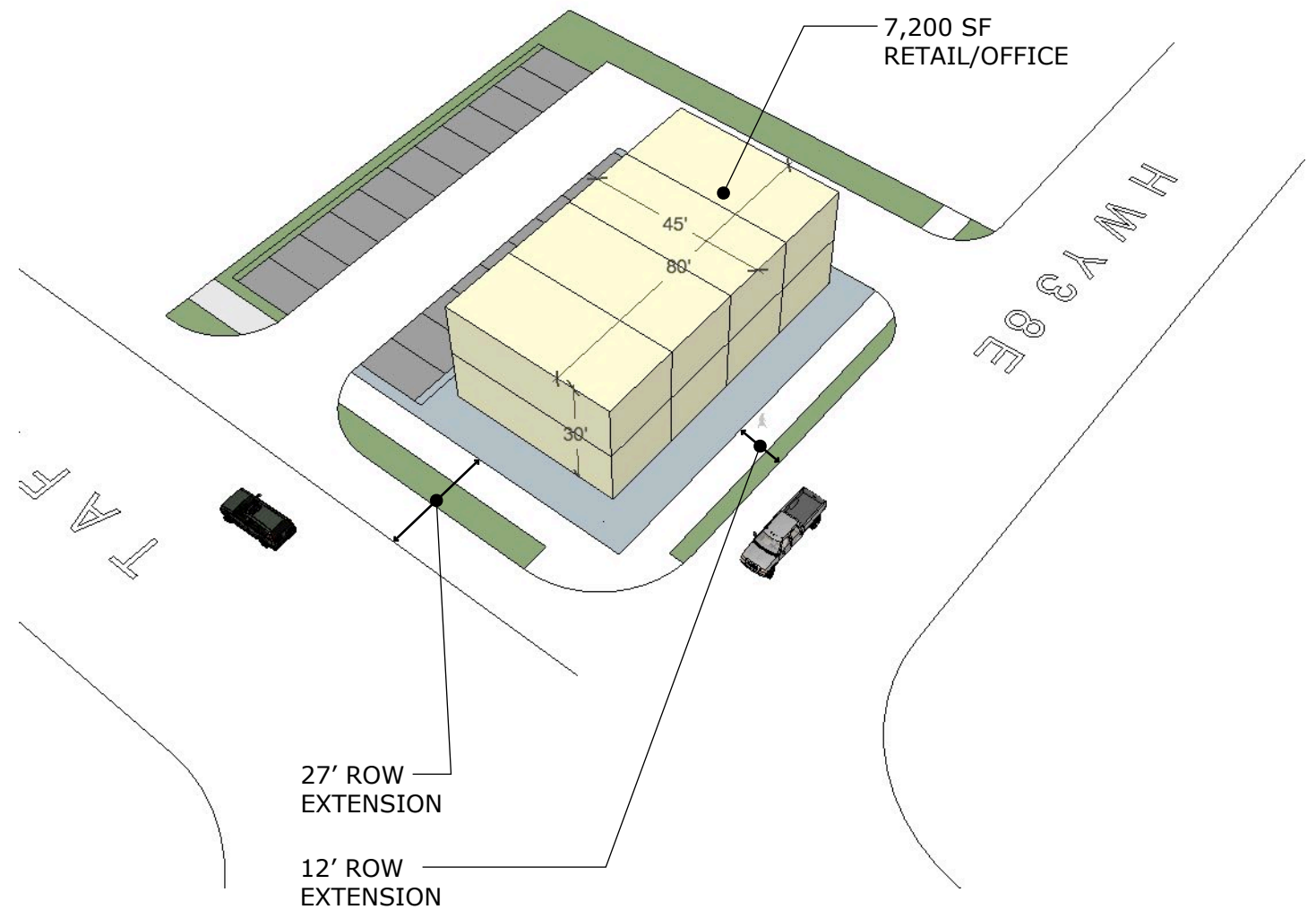
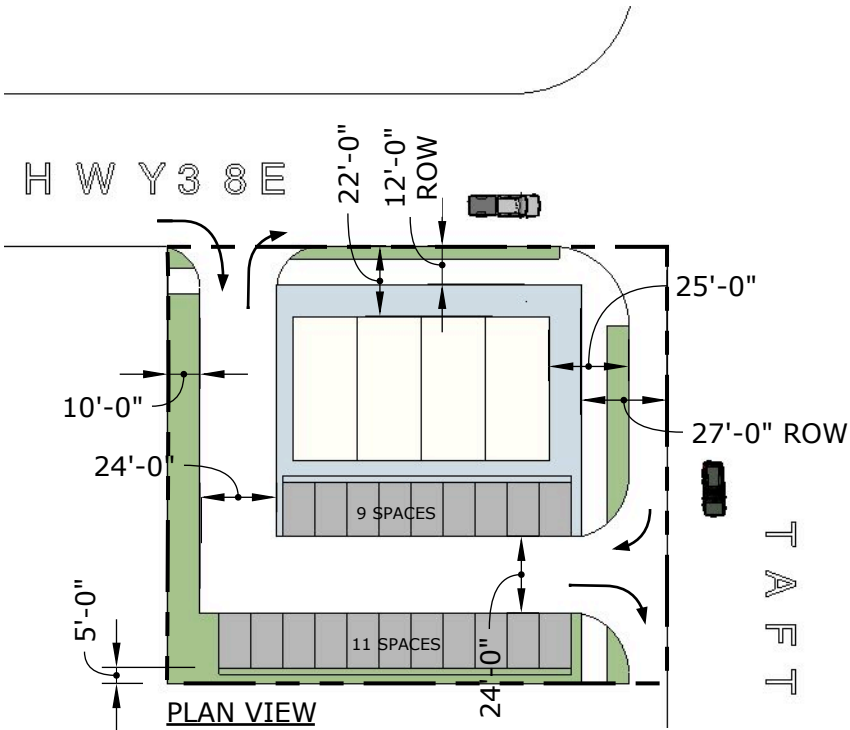
Use: Commercial Retail Use

- Contiguous sidewalk layout, building siting, character, site design
- Central feature or gathering space
- Transit stop in district, centrally located

Site Area: ~19,000 S.F.

Building Frontage Required: 40% each block side or 50% of total	Proposed: 60% / 40%
Building Height: 20' min, 5 stories max.	Proposed: 30', 2 stories
Min. setback from adjoining residential use: 20'	
Min. setback from adjoining nonresidential use: 5'	
Setback from arterial right of way: 10' min, 25' max.	

Nonresidential parking req. for Gen.Retail & Office: 1:4,000 s.f., min. 4	Proposed: 1:300, 20
Bike parking req. (enclosed/unenclosed): 20%/80%	



PROGRESS DRAWING

DATE: 09-06-16  
PROJECT NUMBER: 2016XX  
SHEET TITLE:



December 05, 2016

Jim Bray  
Bracy Architecture  
1300-C Yellow Pine  
Boulder, CO 80304

**Re:** 4101 S Taft Hill Rd. - Retail

**Description of project:** This is a request to build a retail building at 4101 S Taft Hill Rd. (parcel #9733400024). The retail building would be a two-story structure with 7,200 sq. ft. of floor area. The site is in Larimer County and would be zoned Urban Estate (UE) per the Structure Plan. The applicant is seeking Neighborhood Commercial (NC) zoning as part of the annexation and initial zoning process.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clay Frickey, at 970-224-6045 or [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact: Ryan Boehle, 970-416-2401, [rboehle@fcgov.com](mailto:rboehle@fcgov.com)**

1. All developments need to submit a landscaping and tree protection plan, with the intent to establish groves and belts of trees along all city streets, parking lots, and in all landscaped areas in order to establish at least a partial urban tree canopy as per 3.2.1 .
2. All developments shall provide adequately sized, conveniently located, accessible trash and recycling enclosures each in an enclosure and screened from public view. Each enclosed area shall be designed to have a separate walk-in access as per 3.2.5.
3. All mechanical equipment, meters, conduit, vents and RTU's shall be screened from public view both from above and below by integrating it into the building and roof design as per 3.5.1(l)(6).
4. Site lighting shall be provided as per 3.2.4 (C). A lighting plan is required, including photometrics and fixture cut sheets. Use of warmer color temperatures (3000 Kelvin) in site light fixtures is preferred.
5. A minimum of four bicycle parking spaces must be provided, of which 20 % must be enclosed and 80% must be fixed as per 3.2.2 (C)(4)(b)
6. This development shall provide a minimum of 1 handicap parking space as designated by 3.2.2(K)(5)(d). and at least one space shall be designated van accessible and be a minimum of 8' wide and adjoin a minimum 8 ft wide access aisle.

**Department: Water-Wastewater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. This property is located within the Fort Collins-Loveland Water District and the South Fort Collins Sanitation District. Please contact them for water and sewer availability and requirements. The City of Fort Collins does not have adequate water and sewer facilities in the vicinity to service this property if you chose to petition out of the FCLWD and/or SFCSD.

**Department: Traffic Operations**

**Contact: Nicole Hahn, 970-221-6820, [nhahn@fcgov.com](mailto:nhahn@fcgov.com)**

1. The anticipated traffic volume from this development meets the threshold for needing a Traffic Impact Study. Please have your traffic engineer contact me to scope the study.
2. We will need to work with you on selecting an access location, and maximizing the distance from the intersection.
3. There will need to be some adjacent street frontage improvements on both Taft and Harmony. This includes sidewalk. Work with the engineering department on specifics.

**Department: Technical Services**

**Contact: Jeff County, 970-221-6588, [jcounty@fcgov.com](mailto:jcounty@fcgov.com)**

1. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
2. This property is outside of the City limits. If an Annexation Plat will be required, addresses are not acceptable in the Plat title/name.
3. This property is not platted. If submitting a Subdivision Plat for this property/project, addresses are not acceptable in the Plat title/name.

**Department: Stormwater Engineering**

**Contact: Heather McDowell, 970-224-6065, [hmcowell@fcgov.com](mailto:hmcowell@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Mail Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. There is an existing storm pipe located within the intersection that connects two area inlets to a drainage channel at the northeast corner of the intersection. This existing pipe can serve as the stormwater outfall for this project site. However, please note that there is a stormwater master plan improvement planned for this area that includes the installation of a new, larger storm pipe within the Taft Hill and Harmony Road intersection and will extend along the north side of Harmony Road to the east. The details or timeline of this master plan improvement have not yet been determined.
3. A drainage report and construction plans are required and they must be prepared by a Professional Engineer registered in the State of Colorado. The drainage report must address the four-step process for selecting structural BMPs.
4. Onsite detention is required for the runoff volume difference between the 100-year developed inflow rate and the 2-year historic release rate.
5. It is important to document the existing impervious area since drainage requirements and fees are based on new impervious area. An exhibit showing the existing and proposed impervious areas with a table summarizing the areas is required prior to the time fees are calculated for each building permit.
6. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs).

(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.

7. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options:
  - a. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
  - b. 75% of all newly added or modified impervious area must be treated by LID techniques.
8. The erosion control report requirements are in Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Stormwater Criteria Manual. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or [jschlam@fcgov.com](mailto:jschlam@fcgov.com).
9. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins.
10. There will be a final site inspection of the stormwater facilities when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. Standard operating procedures (SOPs) for on-going maintenance of all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at:  
<http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
11. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 square feet and there is a \$1,045/acre of site review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at:  
<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jill White at 416-4252 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. FIRE LANES**

Fire access is required to within 150' of all exterior portions of the building as measured by an approved route around the perimeter. For the purposes of this section, fire access cannot be measured from an arterial road (neither S. Taft Hill or CR38E). Any private drive on the property serving as a fire lane shall be dedicated as an Emergency Access Easement (EAE) and be designed to standard fire lane specifications. In addition, aerial apparatus access requirements are triggered for buildings in excess of 30' in height. Code language and fire lane specifications provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the



building as measured by an approved route around the exterior of the building or facility.

## 2. FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
- > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
- > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
- > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
- > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
- > Be visible by painting and/or signage, and maintained unobstructed at all times. Sign locations or red curbing should be labeled and detailed on final plans.
- > Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details. International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

## 3. STRUCTURES EXCEEDING 30' IN HEIGHT

> IFC Appendix D; Poudre Fire Authority Administrative Policy 85-5: In order to accommodate the access requirements for aerial fire apparatus (ladder trucks), required fire lanes shall be 30 foot wide minimum on at least one long side of the building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.

## 4. FIRE CONTAINMENT

The proposed building exceeds 5,000 square feet and shall be sprinklered or fire contained. If containment is used, the containment construction shall be reviewed and approved by the Poudre Fire Authority prior to installation

## 5. WATER SUPPLY

Hydrant spacing and flow must meet minimum requirements based on type of occupancy. A hydrant is required within 300' of any Commercial Building as measured along an approved path of vehicle travel. Hydrants located on the opposite side of an arterial road are typically not considered accessible. The closest existing hydrant is to the north of this site, and on the other side of an arterial road at approximately 250' from the building. Depending on scope of project, the fire marshal may require a hydrant on the south side of CR38E. If the building is to be equipped with a fire sprinkler system, the fire marshal may waive the hydrant requirement. Code language provided below.

> IFC 507.5 and PFA Policy: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter

**Department: Environmental Planning**

**Contact: Stephanie Blochowiak, 970-416-4290, [sblochowiak@fcgov.com](mailto:sblochowiak@fcgov.com)**

1. A detailed landscape plan including scientific and common names of species is required. City of Fort Collins Land Use Code [Section 3.2.1 (E)(3)], requires that to the extent reasonably feasible, all plans be designed to incorporate water conservation materials and techniques. This includes use of low-water-use plants and grasses in landscaping or re-landscaping and reducing bluegrass lawns as much as possible. Native plants and wildlife-friendly (ex: pollinators; songbirds) landscaping and maintenance are also encouraged. Please refer to the Fort Collins Native Plants document available online and published by the City of Fort Collins Natural Areas Department for guidance on native plants;

the link is: <http://www.fcgov.com/naturalareas/pdf/nativeplants2013.pdf>.

2. Please note LUC Section 3.2.1(C) requiring developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment." Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
3. If tree mitigation is necessary, include the following note on the tree mitigation plan and/or landscape plan, as appropriate: "All tree removal shown shall be completed outside of the songbird nesting season (Feb 1 - July 31) or a survey will be conducted of the trees to be removed to ensure that no active nests are present."
4. In regard to LED light fixtures, The American Medical Association (AMA) and International Dark-Sky Association (IDA) both recommend using lighting that has a corrected color temperature (CCT) of no more than 3000 degrees Kelvin in order to limit the amount of blue light in the night environment. Cooler color temperatures are harsher at night and cause more disruption to circadian (biological) rhythms for both humans and wildlife and blue light brightens the night sky and creates more glare than any other color of light. Both LED and metal halide fixtures contain large amounts of blue light in their spectrum, and exposure to blue light at night has been shown to harm human health and endanger wildlife. Therefore, use of warmer color temperature (warm white, 3000K or less) for light fixtures is preferred in addition to fixtures with dimming capabilities. Site light sources shall be fully shielded and down-directional to minimize up-light, light spillage and glare [see LUC 3.2.4(D)(3)]. Down the line please submit a photometric plan and manufacture cut sheets. For further information regarding health effects please see:  
<http://darksky.org/ama-report-affirms-human-health-impacts-from-leds/>
5. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens now and generations from now. Thus, the City of Fort Collins has many sustainability programs and goals that may benefit this project. For example:

1) ClimateWise program: [fcgov.com/climatewise/](http://fcgov.com/climatewise/)

2) Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): [fcgov.com/recycling/pdf/\\_20120404\\_WRAP\\_ProgramOverview.pdf](http://fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf), contact Caroline Mitchell at 970-221-6288 or [cmtichell@fcgov.com](mailto:cmtichell@fcgov.com)

3) Green Building Program: [fcgov.com/enviro/green-building.php](http://fcgov.com/enviro/green-building.php), contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)

4) Solar Energy: [www.fcgov.com/solar](http://www.fcgov.com/solar), contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)

5) Integrated Design Assistance Program: <http://fcgov.com/idap>, contact Gary Schroeder at 970-224-6003 or [gshroeder@fcgov.com](mailto:gshroeder@fcgov.com)

6) Nature in the City Strategic Plan: <http://www.fcgov.com/natureinthecity/>, contact Justin Scharton at 970-221-6213 or [jscharton@fcgov.com](mailto:jscharton@fcgov.com)

Please consider City sustainability goals and ways this development can engage with these efforts. Let me know if I can help connect you to these programs.

**Department: Engineering Development Review**

**Contact: Katie Andrews, 970-221-6501, [kandrews@fcgov.com](mailto:kandrews@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see:  
<http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:  
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. The property's Taft Hill Road and CR 38 frontages will need to be designed and constructed in accordance with the LCUASS arterial standards.
7. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. Most easements to be dedicated need to be public easements dedicated to the City. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along CR 38 and along Taft Hill). Information on the dedication process can be found at: <http://www.fcgov.com/engineering/devrev.php>
8. Additional assessment of the access points/traffic to the site will need to be completed before the current access design can be approved.
9. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design. For an arterial roadway, setbacks are between 50-100 feet depending on average daily traffic.
10. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
11. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
12. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
13. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
14. Any rain gardens within the right-of-way cannot be used to treat the development/ site storm runoff. We can look at the use of rain gardens to treat street flows – the design standards for these are still in development.
15. Doors are not allowed to open out into the right-of-way.
16. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
17. In regards to construction of this site: the public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for

parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

**Department: Electric Engineering**

**Contact: Tyler Siegmund, 970-416-2772, [tsiegmund@fcgov.com](mailto:tsiegmund@fcgov.com)**

1. Electric capacity fees, development fees, building site charges and any system modification charges necessary to feed the site will apply to this development. Please visit the following website for an estimate of charges and fees:

<http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees>

2. Modifications to our existing electrical infrastructure is needed to feed power to the site. System modification costs will be the responsibility of the Developer/Owner.
3. A commercial service information form (C-1 form) and a one line diagram for the commercial meter will need to be completed and submitted to Light & Power Engineering. A link to the C-1 form is below:

<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations>

4. Transformer location will need to be coordinated with Light & Power. Transformers must be placed within 10 ft of a drivable surface for installation and maintenance purposes. The transformer must also have a front clearance of 10 ft and side/rear clearance of 3 ft minimum.
5. Streetlight placement will need to be coordinated with Light & Power. Shaded trees are required to maintain 40 feet of separation clearances and ornamental trees are required to maintain 15 feet of separation clearances from street lights. A link to the City of Fort Collins street lighting requirements can be found below:  
[http://www.larimer.org/engineering/GMARdStds/Ch15\\_04\\_01\\_2007.pdf](http://www.larimer.org/engineering/GMARdStds/Ch15_04_01_2007.pdf)
6. Please contact Tyler Siegmund at Light & Power Engineering if you have any questions at 970.416.2772. Please reference our policies, construction practices, development charge processes, and use our fee estimator at  
<http://www.fcgov.com/utilities/business/builders-and-developers>

**Planning Services**

**Contact: Clay Frickey, 970-224-6045, [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com)**

1. This property is currently in Larimer County. This property will need to be annexed into the City and obtain zoning as part of this project.
2. Per the City's Structure Plan Map, the anticipated zoning for this parcel is Urban Estate (UE). Retail is not an allowed use in the UE zone district. To achieve this use at this location, staff recommends seeking an Addition of Permitted Use (APU). The APU process will require two neighborhood meetings, a recommendation from the Planning & Zoning Board, with City Council being the final decision maker.
3. This proposal will require a landscape plan. Your landscape plan will need to show the location of street trees along both Harmony Rd and Taft Hill Rd in addition to the landscaping required on-site.

4. The parking lot interior will need to be 6% landscaped area. This can be achieved through bulb outs or landscape islands. Please provide canopy shade trees in these landscape islands.
5. The perimeter of the parking area will need to be landscaped as well. You will need to provide one tree per 40 lineal feet along a lot line and one tree per 25 lineal feet along a public street. The landscaping should be designed to prevent at least 75% of the shine of headlights onto adjacent properties. This can be achieved through berming, dense evergreen shrubs, a low wall, or a combination of those elements.
6. You will need to provide at least four bicycle parking spaces as part of this plan. One of these spaces must be in an enclosed location with the remainder provided through a fixed rack.
7. For a 7,200 sq. ft. retail space, your parking minimum will be 15 spaces and your parking maximum will be 29.
8. At least one of the parking spaces will need to be handicap accessible and van accessible. For the space to be van accessible, you will need an 8' access aisle adjoining the parking space.
9. On both your site and landscape plans, please show where you will be providing a trash and recycling enclosure. The enclosure needs to be fully screened, built out of similar materials as the building, be built on a concrete pad, and have a pedestrian access door separate from the main service gate. You will also need to provide elevations of this enclosure as part of your submittal.
10. The UE zone district has numerous lot dimension requirements. How does your lot and development plan meet these requirements? You will need to seek a separate modification for each of the lot dimension requirements you do not meet.

Minimum lot width - 100'

Minimum front yard depth - 30'

Minimum rear yard depth - 25'

Minimum side yard width - 20'

11. How does this proposal meet the street connectivity standards outlined in Land Use Code section 3.6.3? The UE zone district requires that all developments meet code section 3.6.3 to the maximum extent feasible. You will need to seek a modification to this standard based on the development plan proposed.
12. This development will need to meet all of the compatibility standards in section 3.5.3 of the Land Use Code. This section deals with connecting walkways, the build-to line, and architectural compatibility. Please demonstrate how this project achieves compatibility with its surroundings when you formally submit.
13. The minimum setback for a parking area from an arterial street is 15'. It appears the parking in the rear of the site along Taft Hill Rd does not meet this standard. You will need to submit a modification request to this standard.
14. The minimum setback for a parking area along a lot line is 5'.
15. Since the retail use proposed is a departure from the residential uses in the surrounding area, staff will be looking for enhanced landscaping to provide a proper buffer between this use and the adjacent homes.

## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*20012 International Building Code (IBC)*  
*2012 International Residential Code (IRC)*  
*20012 International Energy Conservation Code (IECC)*  
*2012 International Mechanical Code (IMC)*  
*2012 International Fuel Gas Code (IFGC)*  
*2012 International Plumbing Code (IPC) as amended by the State of Colorado*  
*2014 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

#### Energy Code Use

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
970-416-2341