



PRELIMINARY DESIGN REVIEW: APPLICATION

General Information

Preliminary design review is an opportunity for an applicant to discuss the requirements, standards, procedure, and potential modifications of standards or variances that may be necessary for a project and to generally consider the development proposal design which has been evaluated as a part of the conceptual review process. While the conceptual review process is a general consideration of the development proposal, a Preliminary Design Review considers the development proposal in greater detail. Problems of both a major and minor nature can be identified and solved during the preliminary design review before a formal application is made.

Preliminary design review applications must be submitted to City Staff no later than 5 pm, two weeks prior to the Wednesday meeting date. Application materials can be e-mailed to currentplanning@fcgov.com or sent to/dropped off at 281 North College Avenue.

Representatives of Community Development and Neighborhood Services (Zoning, Environmental Planning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning), Historic Preservation and Poudre Fire Authority regularly attend preliminary design review meetings. Additionally, other public or quasi-public agencies which may be impacted by the development project are invited and encouraged to attend the preliminary design review. These agencies may include the gas utility, water and/or wastewater utility districts, ditch companies, railroads, cable television service providers and other similar agencies.

Upon receipt of a preliminary development proposal for review, and after review of such proposal with the applicant, the staff shall furnish the applicant with written comments and recommendations regarding such proposal in order to inform and assist the applicant prior to preparing components of the development application. The staff shall provide the applicant with a "critical issues" list, which will identify those critical issues that have surfaced in the preliminary design review as issues that must be resolved during the review process of the formal development application. To the extent that there is a misunderstanding or a misrepresentation of facts, the opinion of the staff may change during the course of development review.

Section to be filled out by City Staff
Date of Meeting Nov. 4th Project Planner Seth Lorson
Submittal Date Oct. 21st Fee Paid (\$500) X

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Project Name Elevations Credit Union

Project Address (parcel # if no address) 2025 South College Ave.

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) H. Robert Hosanna, Architect, The Neenan Company -consultant

Business Name (if applicable) The Neenan Company

Applicant Mailing Address 2607 Midpoint Drive, Fort Collins, CO 80525

Phone Number 303-710-1807 E-mail Address bob.hosanna@neenan.com

Basic Description of Proposal (a detailed narrative is also required) Demolition of existing structure(s), construction of banking offices with drive-up functions.

Zoning C-G Proposed Use Offices & Financial Services Existing Use Convenience store w/ fuel sales

Total Building Square Footage 11,000 S.F. Number of Stories 2 Lot Dimensions approx. 190' x 190'

Age of any Existing Structures Built in 1987, 28 years

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

\*If any structures are 50+ years old, good quality, color photos of all sides of the structure are required.

Increase in Impervious Area 0% increase S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

## Elevations Credit Union Financial Building

2025 South College Avenue  
Fort Collins, Colorado

### Project Narrative:

The proposed use for the site, located at 2025 S. College Ave, will be a financial facility with supporting offices. The project will include a walk-in banking lobby, financial offices, walk-up ATM services, (2) drive-up teller lanes, (1) drive-up ATM lane, and required parking for staff and patrons.

Anticipated size of the proposed building is approximately 11,000 sq. ft. total on two floors. The facility will have a fully automated fire suppression system.

The existing convenience store and fuel sales with its associated canopy will be demolished. The existing building was built in 1987 and will not be considered as historical due to the age being less than 50 years. All fuel storage tanks will be evaluated for leakage and will be dealt with based on the environmental engineer's recommendations and reports.

The existing site circulation consists of (2) curb cuts. One located on S. College Ave. and one located on Arthur Drive. The existing curb cut located on S. College Ave. provides the site with a right-in and right-out vehicular movement pattern for south bound vehicles on S. College Ave. The existing curb cut on Arthur Dr. is a full movement access and egress. The proposed design for the financial facility will use both curb cuts in their present location and will maintain the present vehicle movement patterns. Neither of the existing curb cuts discharge directly into the adjacent neighborhood.

A concrete retaining wall presently exists on site. This wall varies in height due to the topography of the site and the height ranges from 1' to 10'. The wall was constructed to provide a level site for development and will be maintained as part of the proposed financial facility. Due to the location of the retaining wall the continuity of the site is disrupted on the western edge of the property. To regain the use of this western portion of the site, the proposed plan indicates the location of (9) long term parking spaces accessed from Spring Court. The parking spaces would be considered public parking for use through parking permits.

The proposed building will be situated on the corner of S. College Ave. and Arthur Dr. with parking located to the west and north sides of the property providing optimum exposure for the financial facility. Minimum allowable building setbacks will be maintained to define an acceptable urban building edge and landscaped streetscape. The lower level of the facility facing College Ave. will incorporate large sections of glazing providing transparency and connectivity at the pedestrian level. Existing trees

located within the R.O.W. at College and Arthur Dr. will be preserved and will provide an established presence for the project. At this time, the value of the trees within the parking setback along the northern edge of the property are being assessed. Natural features other than the existing trees are not evident on this site.

The proposed drive-up lanes will be located away from view at College Ave. on the western side of the project under the overhanging second floor. Visiting patrons to the bank lobby will not be required to cross the drive-up lanes when entering the facility from their designated parking spaces.

The proposed use is an allowable use as per the City of Fort Collins zoning regulations and is consistent in use with the existing uses along S. College Ave. Due to the age and quality of the existing structures in the immediate area, the proposed facility will be an improvement to the neighborhood. There has not been a previous proposal submitted for this project.

The site currently drains from east to west across the existing asphalt and into an existing pan. This pan drains west into an inlet located next to the wall. The inlet drains to another existing pan and into Arthur Drive.

The overall asphalt parking lot will be composed of at least 25% permeable pavers. The roof leaders on the north and west side of the building will be piped into the paver section to achieve water quality. The roof leaders on the south and east side will be discharged into a grass lawn acting as a grass buffer. Through these measures, the entire site runoff should be treated

Factors that may restrict or hinder the development of this project are; hazardous materials cleanup, reduction of parking count, possible impacts from floodplain and/or irrigation ditch and any impact of off-site development requirements.

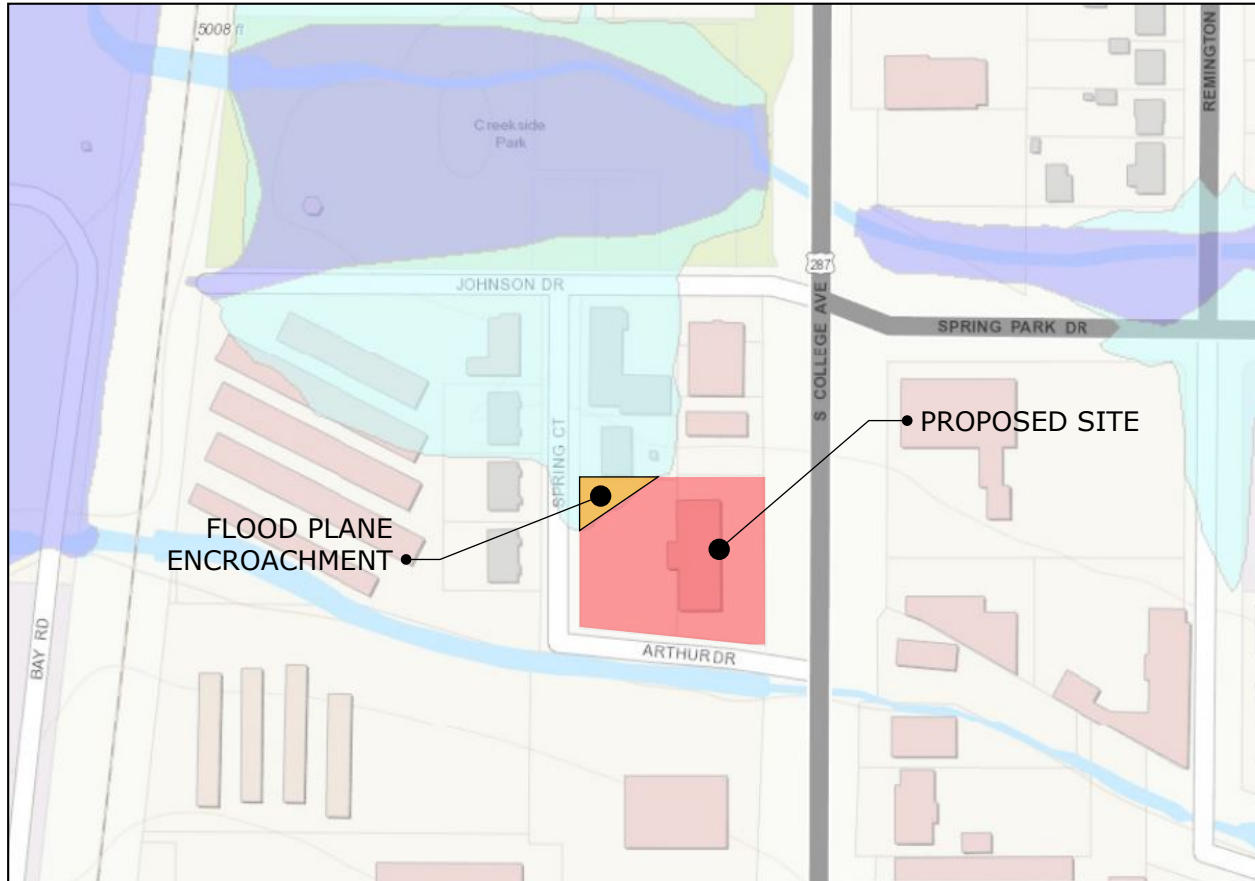




VICINITY MAP



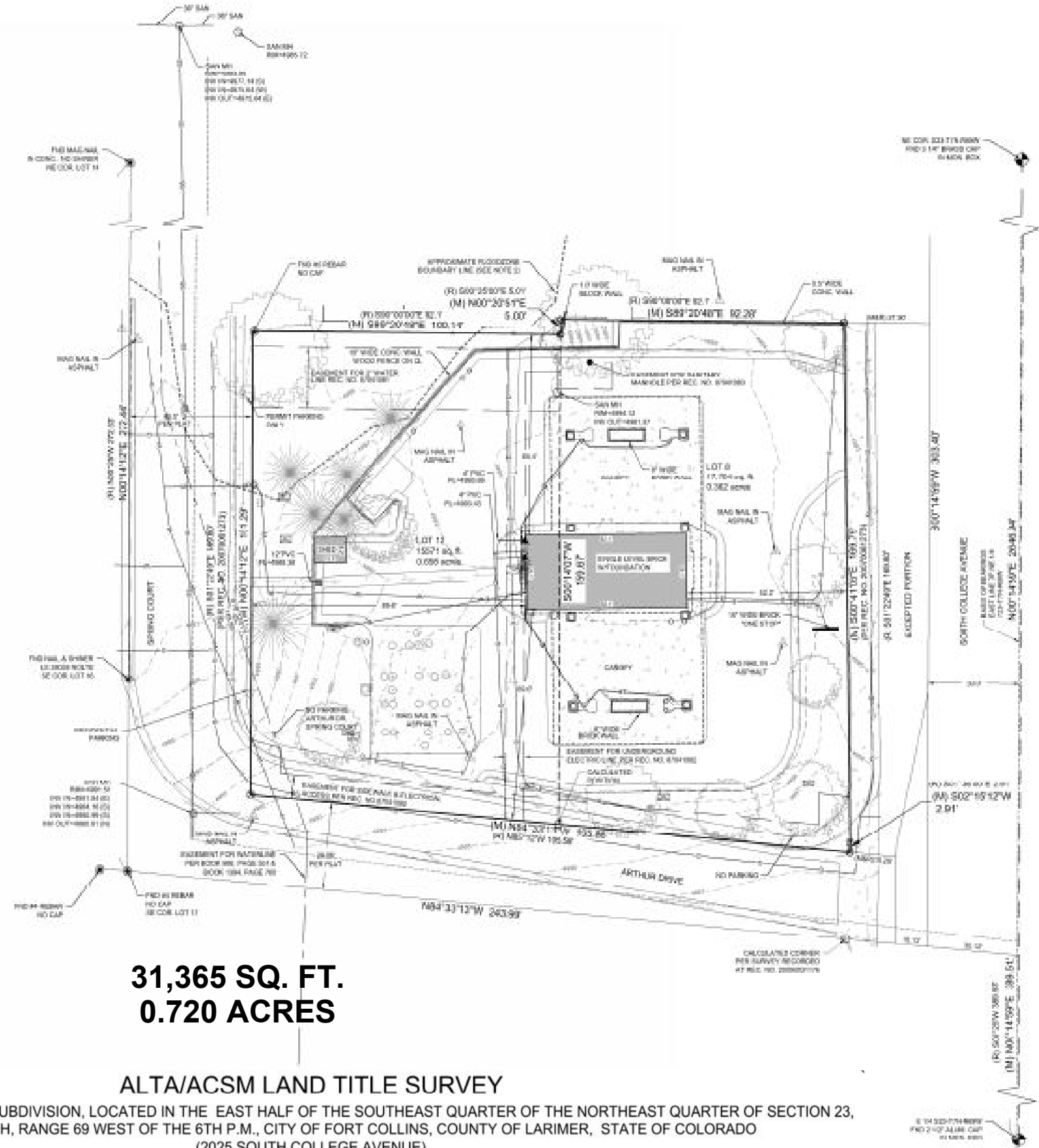




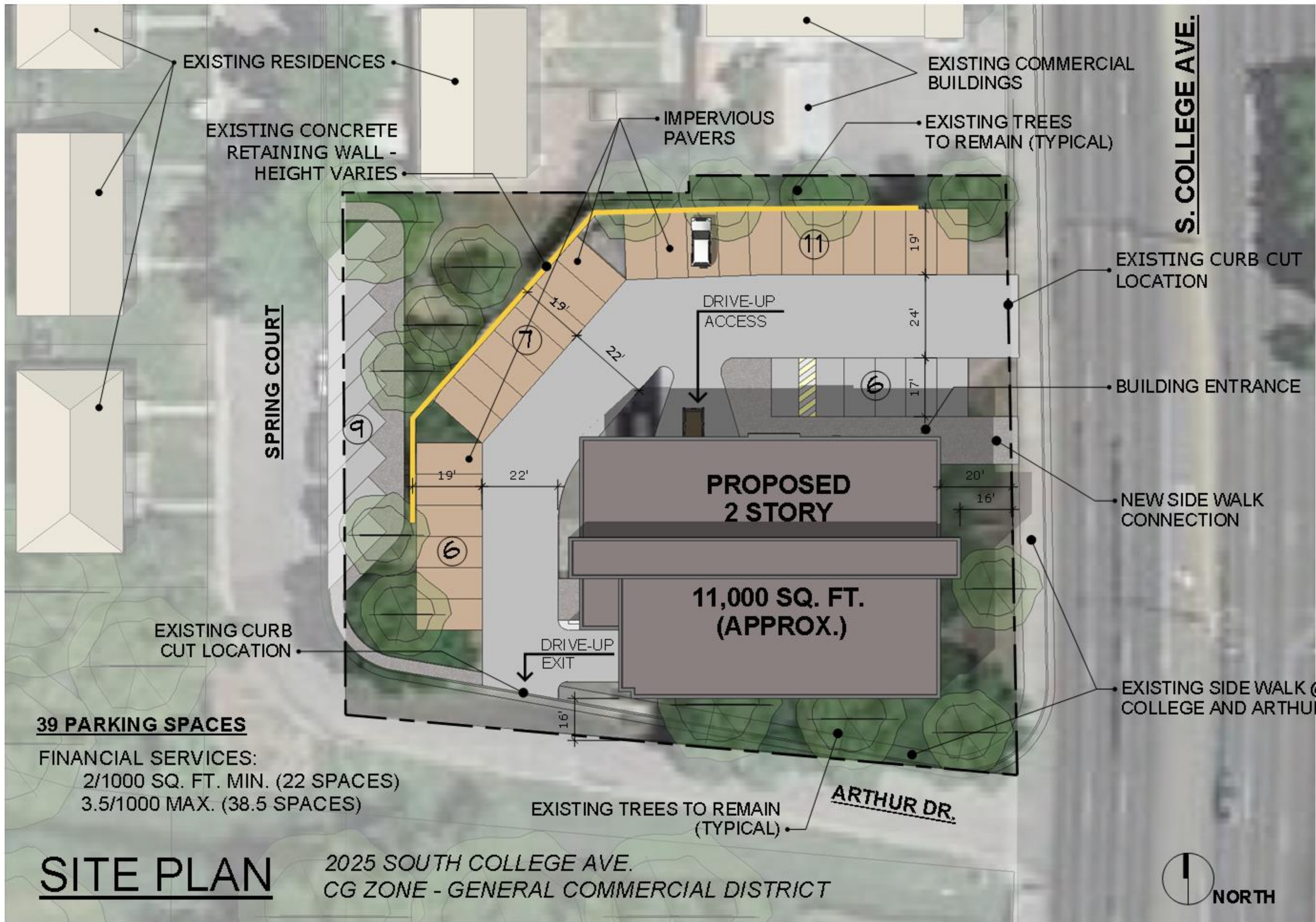
**FLOOD MAP**



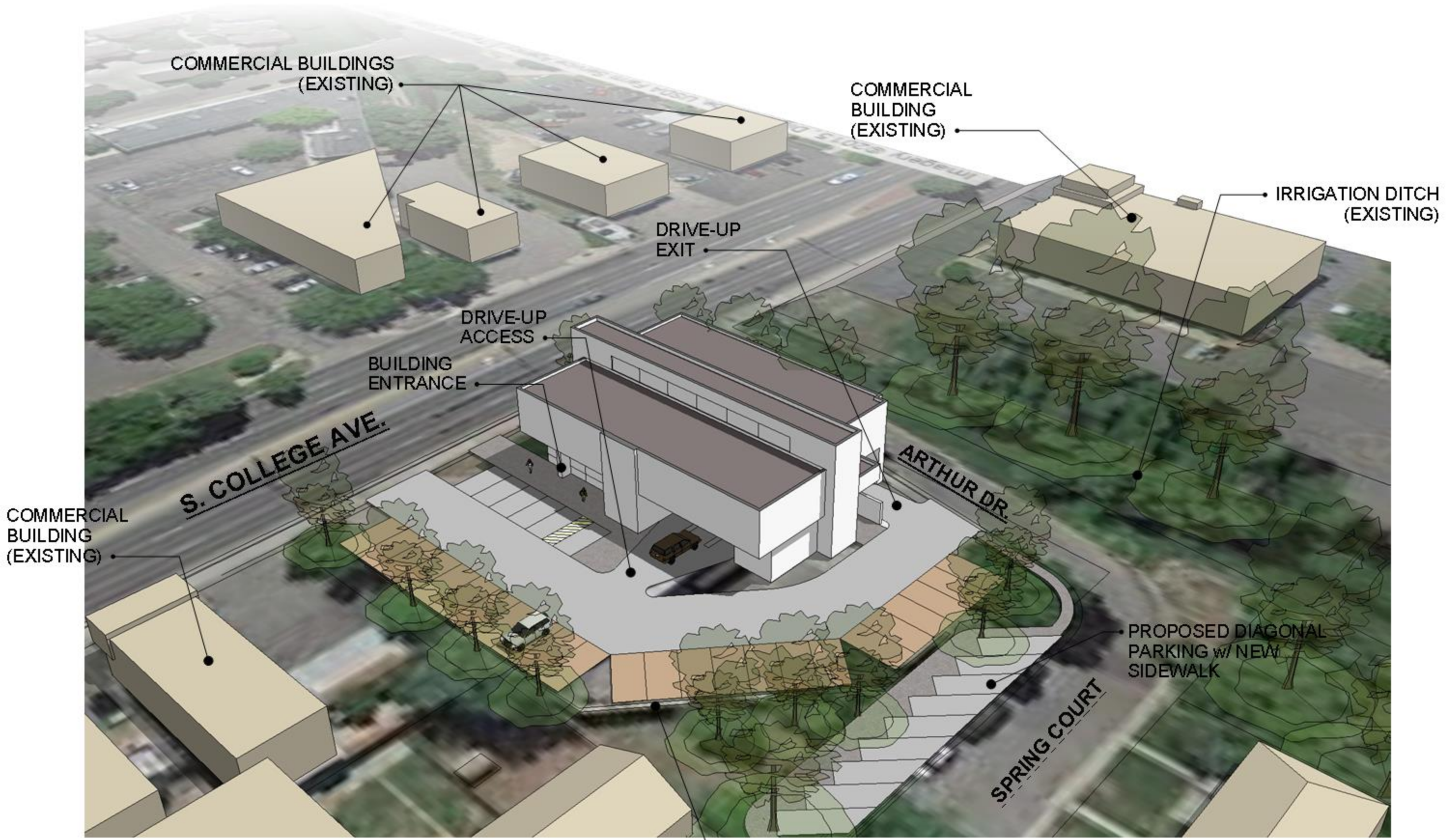
**VICINITY MAP**  
1" = 1000'











VIEW FROM NORTHWEST





VIEW FROM SOUTHEAST





VIEW FROM NORTHEAST