



PRELIMINARY DESIGN REVIEW: APPLICATION

General Information

Preliminary design review is an opportunity for an applicant to discuss the requirements, standards, procedure, and potential modifications of standards or variances that may be necessary for a project and to generally consider the development proposal design which has been evaluated as a part of the conceptual review process. While the conceptual review process is a general consideration of the development proposal, a Preliminary Design Review considers the development proposal in greater detail. Problems of both a major and minor nature can be identified and solved during the preliminary design review before a formal application is made.

Preliminary design review applications must be submitted to City Staff no later than 5 pm, two weeks prior to the Wednesday meeting date. Application materials can be e-mailed to currentplanning@fcgov.com or sent to/dropped off at 281 North College Avenue.

Representatives of Community Development and Neighborhood Services (Zoning, Environmental Planning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning), Historic Preservation and Poudre Fire Authority regularly attend preliminary design review meetings. Additionally, other public or quasi-public agencies which may be impacted by the development project are invited and encouraged to attend the preliminary design review. These agencies may include the gas utility, water and/or wastewater utility districts, ditch companies, railroads, cable television service providers and other similar agencies.

Upon receipt of a preliminary development proposal for review, and after review of such proposal with the applicant, the staff shall furnish the applicant with written comments and recommendations regarding such proposal in order to inform and assist the applicant prior to preparing components of the development application. The staff shall provide the applicant with a "critical issues" list, which will identify those critical issues that have surfaced in the preliminary design review as issues that must be resolved during the review process of the formal development application. To the extent that there is a misunderstanding or a misrepresentation of facts, the opinion of the staff may change during the course of development review.

PDR150006

Section to be filled out by City Staff

Date of Meeting 4/22/2015 Project Planner Jason Holland
Submittal Date 4/8/2015 Fee Paid (\$500) X

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Project Name Freedonia Brewing Ltd. at 208 Remington

Project Address (parcel # if no address) 208 Remington St. Fort Collins, CO.

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Ralf Kracke-Berndorff (owner of Freedonia Ltd., David Bartecchi (consultant).

Business Name (if applicable) Freedonia Brewing Ltd.

Applicant Mailing Address 321 Park St. Fort Collins, Co 80521

Phone Number 970-443-5632 E-mail Address ralfkb@gmail.com

Basic Description of Proposal (a detailed narrative is also required) Minor remodel to convert former church into brewery and taproom.

Zoning (D) Downtown Proposed Use Brewery/Taproom Existing Use Church

Total Building Square Footage 4760 S.F. Number of Stories 1 Lot Dimensions 138' x 102'

Age of any Existing Structures Original brick building (brick north portion) 1906. Cinder-block addition @ South 1969.

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

*If any structures are 50+ years old, good quality, color photos of all sides of the structure are required.

Increase in Impervious Area No increase to impervious area. S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)



SUBMITTAL INFORMATION:
PRELIMINARY DESIGN REVIEW (PDR)

- 1) Preliminary Design Review Application form and filing fee (\$500).
- 2) **Project Narrative** – Please include the following information:
 - (a) What are you proposing/use?
 - (b) What improvements and uses currently exist on the site?
 - (c) Describe the site circulation (auto and pedestrian), parking and how it coordinates with the existing neighborhood.
 - (d) Describe site design and architecture.
 - (e) How is your proposal compatible with the surrounding area?
 - (f) Is water detention provided? If so, where? (show on site plan)
 - (g) How does the site drain now (on and off site)? Will it change? If so, what will change?
 - (h) What is being proposed to treat run-off?
 - (i) How does the proposal impact natural features?
 - (j) Do any existing structures have automatic fire sprinklers? Will the new structures have fire sprinklers?
 - (k) Are there any unusual factors and/or characteristics are present that may restrict or affect your proposal?
 - (l) Have you previously submitted an application?
 - (m) What specific questions, if any, do you want addressed?
- 3) **Site Plan** – Please consider including the following:
 - (a) Project site boundary and adjacent property uses
 - (b) Proposed circulation system, and how it ties into existing infrastructure (pedestrian and auto)
 - (c) Existing and proposed landscaping (Will trees be removed?)
 - (d) Existing and proposed buildings (Will they remain? If they will change, how?)
 - (e) Existing natural features (Will these be impacted by the proposal?)
 - (f) On and off site improvements
 - (g) Location of detention, drainage and water quality features
 - (h) Emergency vehicle access and fire hydrant locations

Narrative

a. **What are you proposing/use?**

We are proposing to convert the existing former church into a brewery and tap room. Freedonia will brew German-style Lagers on a historic, 110-year old, all-copper brew system brought over from Germany. The aesthetic appeal of the brew system, and the focus on lager beers, will make Freedonia a high-end beer destination, on Remington Street, already home of 2 other iconic breweries (if counting Coopersmith's, which is technically on Mountain, and, unlike Equinox and Freedonia, a brewpub).

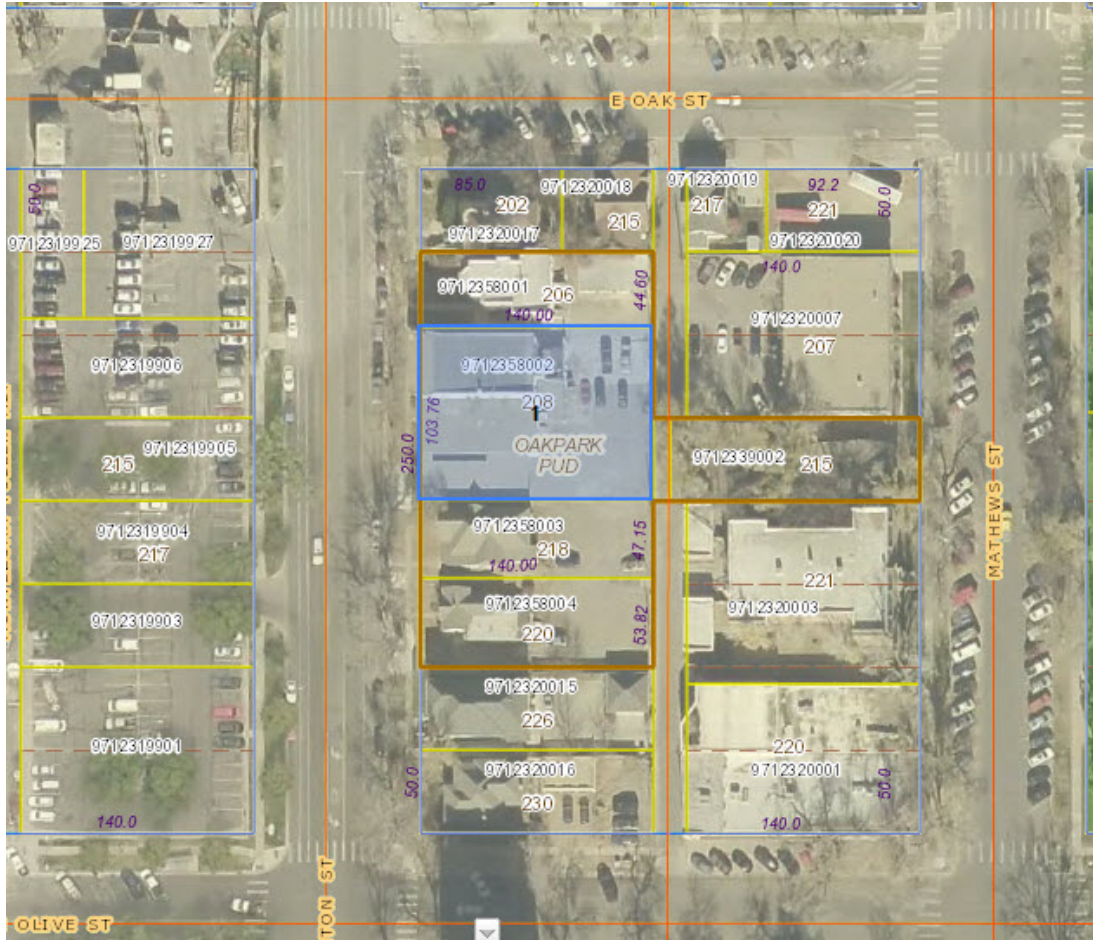
b. **What improvements and uses currently exist on the site?**

The original, 1906 building consists of a two-story brick structure. In 1069, a single-floor cinderblock chapel was added to the South. According to records, it was last used as a church. The second floor of the old building is an apartment, and shall remain a separate entity. The present application DOES NOT CONCERN THE SECOND FLOOR!



c. **Describe the site circulation (auto and pedestrian), parking and how it coordinates with the existing neighborhood.**

This property is located in the Downtown (D) District, Old City Center Subdistrict. While the site itself is surrounded on three sides by residences, the neighborhood in general consists of a mix of residential and commercial properties. Remington is the primary access to our site, it is a relatively calm section with people using it primarily to access parking along the street and at the Old Town Parking Garage and Oak Street Parking Lot from College Ave. to the West and Mountain Ave. to the North. There is a sidewalk directly West of the proposed site along Remington St. which is used mostly by people accessing nearby business from the parking along Remington St.



d. **Describe site design and architecture.**

Design and architecture shall basically remain unaltered. The **Brewery**, i.e. area of production, storing, and dispensing the beer, shall be located in the cement floor, cinderblock, 1969 addition (the former “Chapel”), while the **Tap Room**, with required bathrooms, etc., shall be placed on the first floor of the old building (former classrooms, halls, kitchen, and bathrooms). Hence, the changes made to the old portion of the building are limited to bringing the old bathrooms up to code and install a bar (with sinks etc., as required).

The Brewery shall be separated with the necessary firewalls (and fire-proof glass) from the tap room. The East third of the chapel (the “altar” or “stage”) currently has a wooden floor, covering existing storage rooms in the basement (basement only under such portion, main cement floor without basement). We shall only demolish such storage rooms below, to allow for the construction of the brewing platform in the thusly created “dug-out”. One “garage door” shall be opened in the South wall, and lead onto the loading ramp between brewery and covered beer garden patio.

e. **How is your proposal compatible with the surrounding area?**

According to the 2004 Downtown Strategic Plan our proposed brewery and taproom

will be located within a Transition/Infill Zone and would contribute nicely to the stated goal to “utilize the energy from the core to leverage and attract new neighborhood-serving businesses to locate in downtown, particularly in areas adjacent to residential neighborhoods.” In particular, a second small “neighborhood” brewery (Freedonia and Equinox) on Remington Street will help establish the area as Fort Collin’s downtown “Craft Brewery Alley” attracting a more mature customership that will transition into either home or into the core of downtown after 10pm. Our historic German brew system will also be an attractor for the growing number of beer tourists visiting Fort Collins from around the world. Remington Street will serve as a quieter, greener area of Old Town with Pete’s Fly Shop and three cozy breweries. There is already a parking garage at the corner of Remington and Mountain, ample parking on the street, as well as in parking in the Oak Street Lot across the street from 208 Remington.

In the old tradition of German hospitality, Freedonia will be a quiet neighborhood brewery, where locals, students, and visitors come to learn about the ancient craft of brewing, while enjoying one of its three reliable house lagers -lighter, more drinkable beers. The historic, yet fully functional copper brew system was chosen, in order to allow for authentic brewing techniques, like decoction mashing, which are hardly found even in its original Germany these days anymore. Lay people and CSU’s Brewing Science students alike will be able to follow the ancient process of lager brewing, at walking and biking distance from CSU, the downtown business area, and old-town residences.

Again, Fort Collins’ beer aficionados are used to the brewery-and-taproom model, which, as you know, is very different from brewpubs, and certainly from bars. In other words, the late-night bar crowd will continue to enjoy the “party zone” of College Ave and the core of old town, without pouring into the quieter transition area of Remington. Different target audience, early vs. late crowd.

f. Is water detention provided? If so, where? (show on site plan)

There are no current water detention structures.

g. How does the site drain now (on and off site)? Will it change? If so, what will change?

The outfall for the site is the curb & gutter in Remington Street and the alley to the east. There will not be any changes to the drainage pattern of the site.

h. What is being proposed to treat run-off?

Our use of the property should have no impact on the quality of stormwater run-off.

i. How does the proposal impact natural features?

We plan to maintain and protect all trees and existing lawn on west side of building along Remington St. In an effort to enhance the aesthetics of the façade, we will

propose more landscaping features (hops vines, etc.)

j. Do any existing structures have automatic fire sprinklers? Will the new structures have fire sprinklers?

No, and No. As brewery will be completely, and appropriately, separated from the tap room, we were told that sprinklers will not be required.

k. Are there any unusual factors and/or characteristics are present that may restrict or affect your proposal?

No.

l. Have you previously submitted an application?

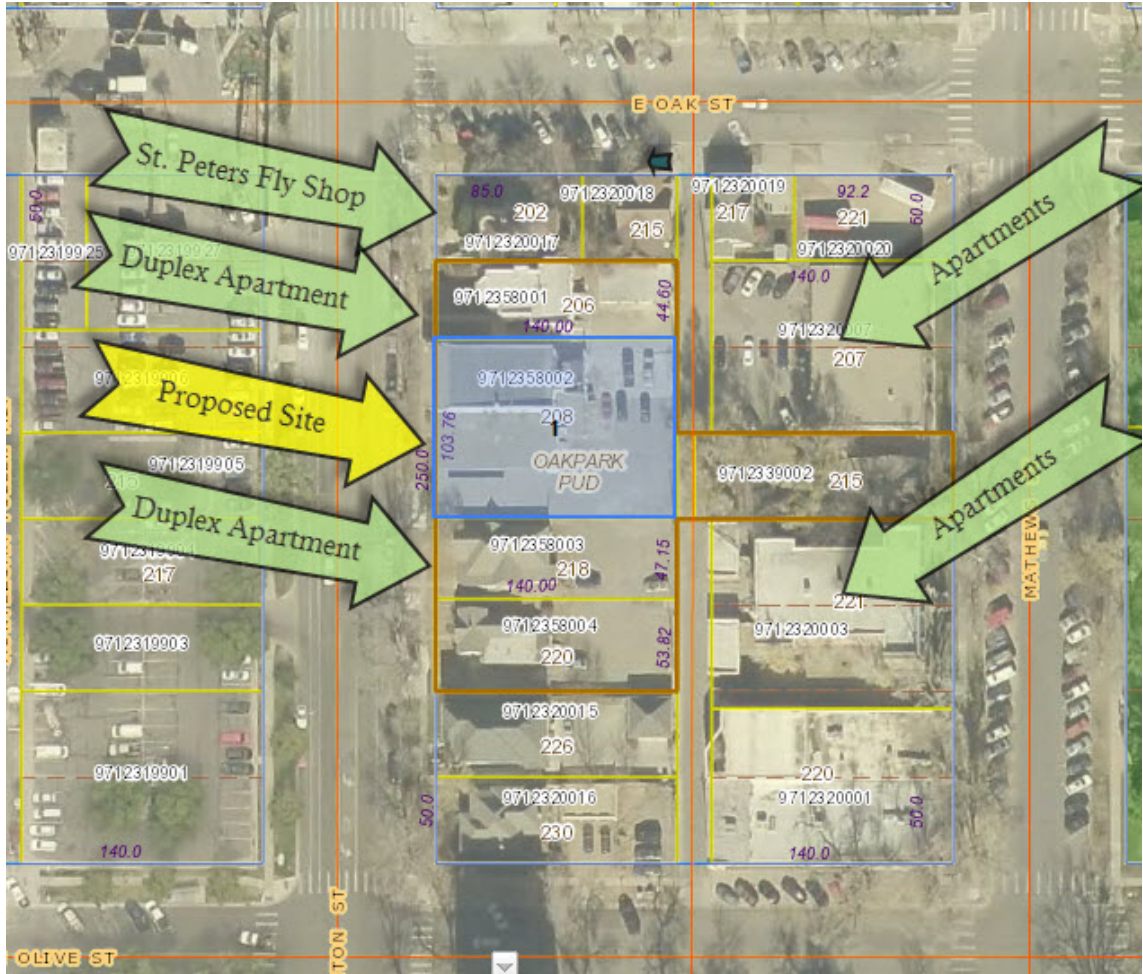
We submitted one in early March but that was before we were aware of the expedited process. New review scheduled for April 22nd, replacing the older one for May 18th.

m. What specific questions, if any, do you want addressed?

Will you allow the proposed change of use? This question needs to be answered before we can sign the lease.

Site Plan – Please consider including the following:

- a. Project site boundary and adjacent property uses



b. Proposed circulation system, and how it ties into existing infrastructure (pedestrian and auto)

As an under-utilized area of downtown, our proposed use will help direct traffic, parking, and bike traffic away from the core of downtown while attracting a clientele already focused on alternative modes of transportation. After our 10pm closure, our clientele will likely move into the core on foot or will go home, avoiding the congestion of downtown, by taking one of the main arterials leading away from downtown.

c. Existing and proposed landscaping (Will trees be removed?)

No trees shall be removed. We shall follow City's recommendations regarding landscaping. We shall try to enhance the appeal of the façade, by growing hops vines. Where landscaped sidewalks are not available, like around (but inside of) the beer garden (under existing, covered driveway), we plan to place potted plants.

d. Existing and proposed buildings (Will they remain? If they will change, how?)

There will be no buildings added to the site nor will there be any modifications or

additions to the existing buildings.

e. Existing natural features (Will these be impacted by the proposal?)

As part of the visual improvements of the building (façade, beer garden under existing covered driveway), we plan to enhance and integrate the natural features. In particular, hops vines shall climb the façade, and will, along with potted barley, showcase two of the four ingredients in beer. We appreciate your input on the required landscaping improvements.

f. On and off site improvements

See APPENDIX A

g. Location of detention, drainage and water quality features

There will be no increase to the impermeable surfaces and no requirement for additional detention, drainage or water quality features.

h. Emergency vehicle access and fire hydrant locations

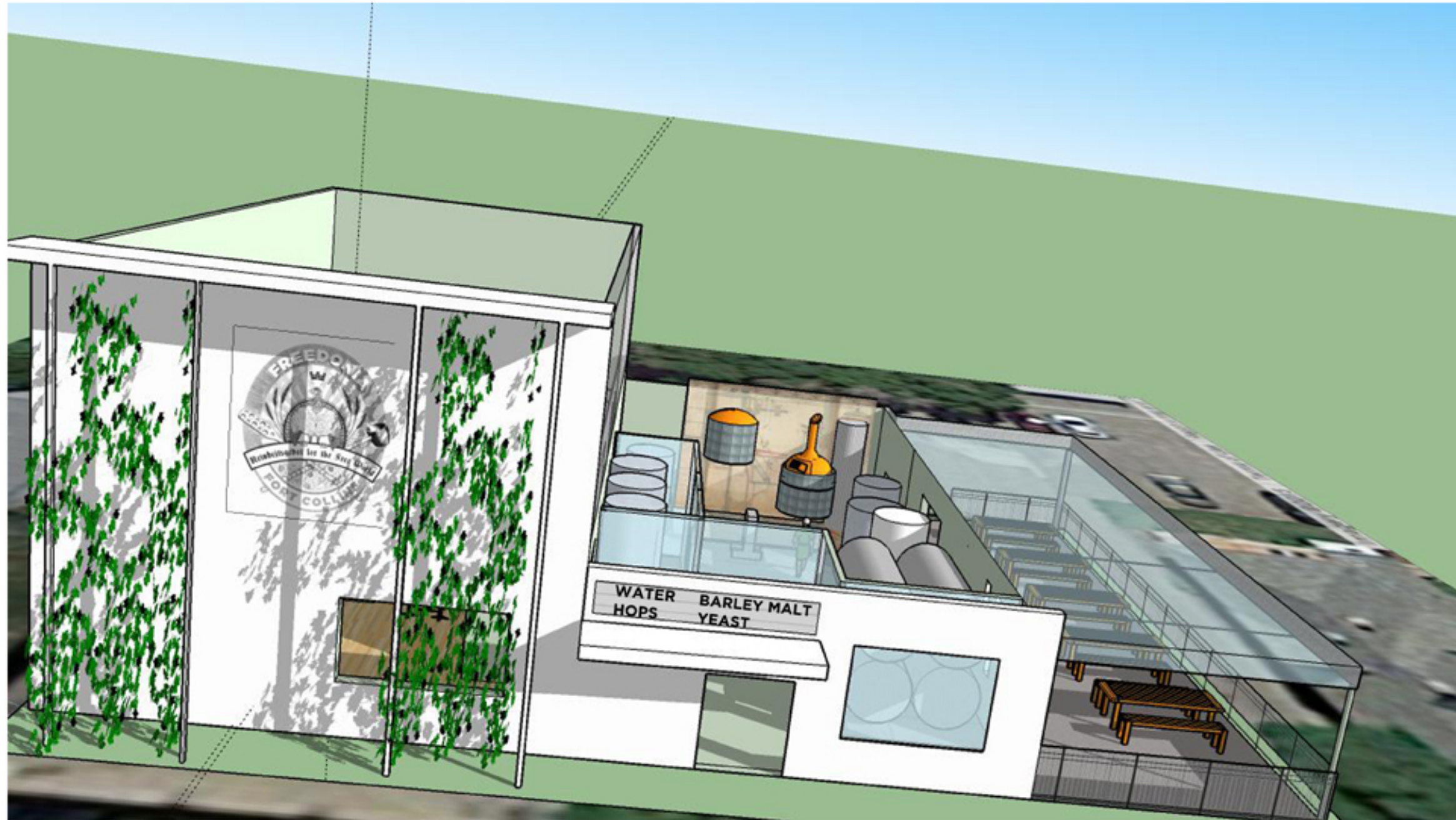
Emergency vehicles have access on Remington St. and from the alley either from Oak St. or from Olive St.

01. Overview from Remington St.

TAP ROOM BREWERY BIERGARTEN



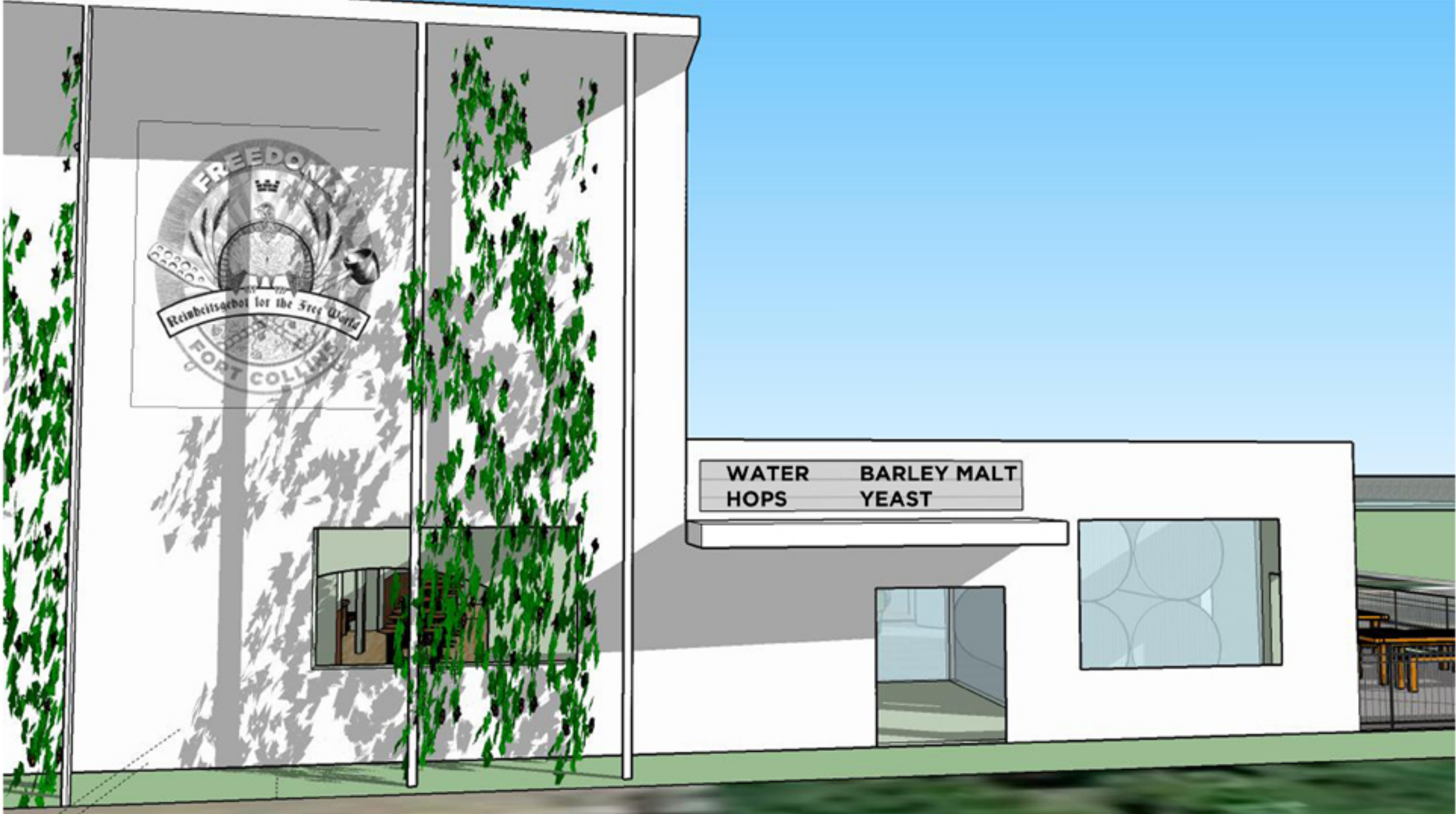
02. Front Birdseye View



Hops Vines

**Main
Entrance**

03. Front View



**04. View from Foyer
(Glass instead of wood paneling)**



careful to maintain FRONTAL VIEW!

05. Closer view from Foyer into Brewery



06. Looking SE into Brewery

Brew-house
in pit



NEW GARAGE DOOR
(glass) with outside ramp along Southern wall

07. Birdseye View into Brewery

BREWHOUSE

**LAGERING CELLAR
(1-4 out of 5)**



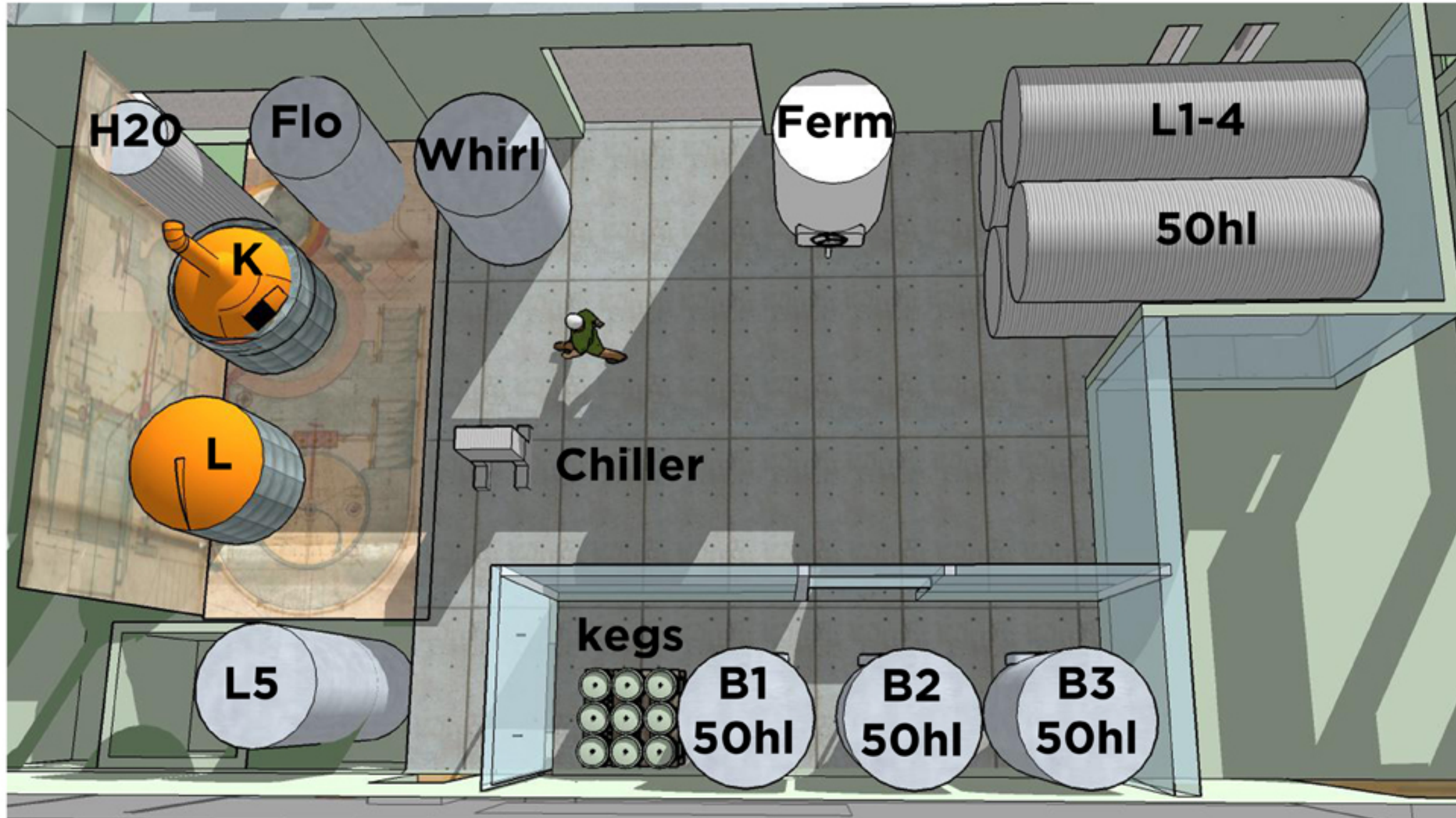
**LAGERING CELLAR
(5/5)**

COOLER

08. From Top

BREWHOUSE

**LAGERING CELLAR
(1-4 of 5)**

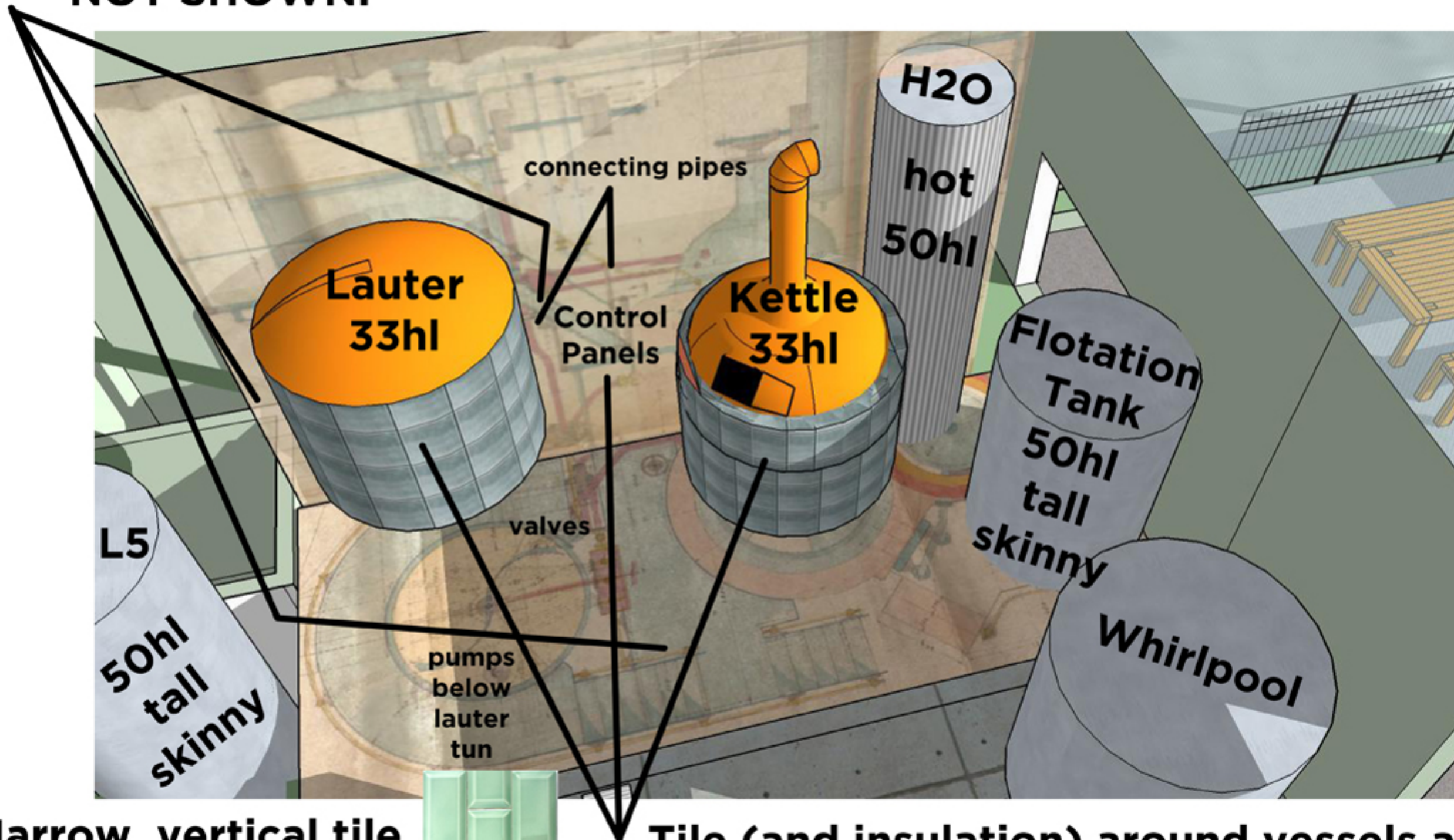


**LAGERING
(5 of 5)**

COOLER

**PLATFORM and STAIRS
NOT SHOWN!**

09. Into Brewhouse

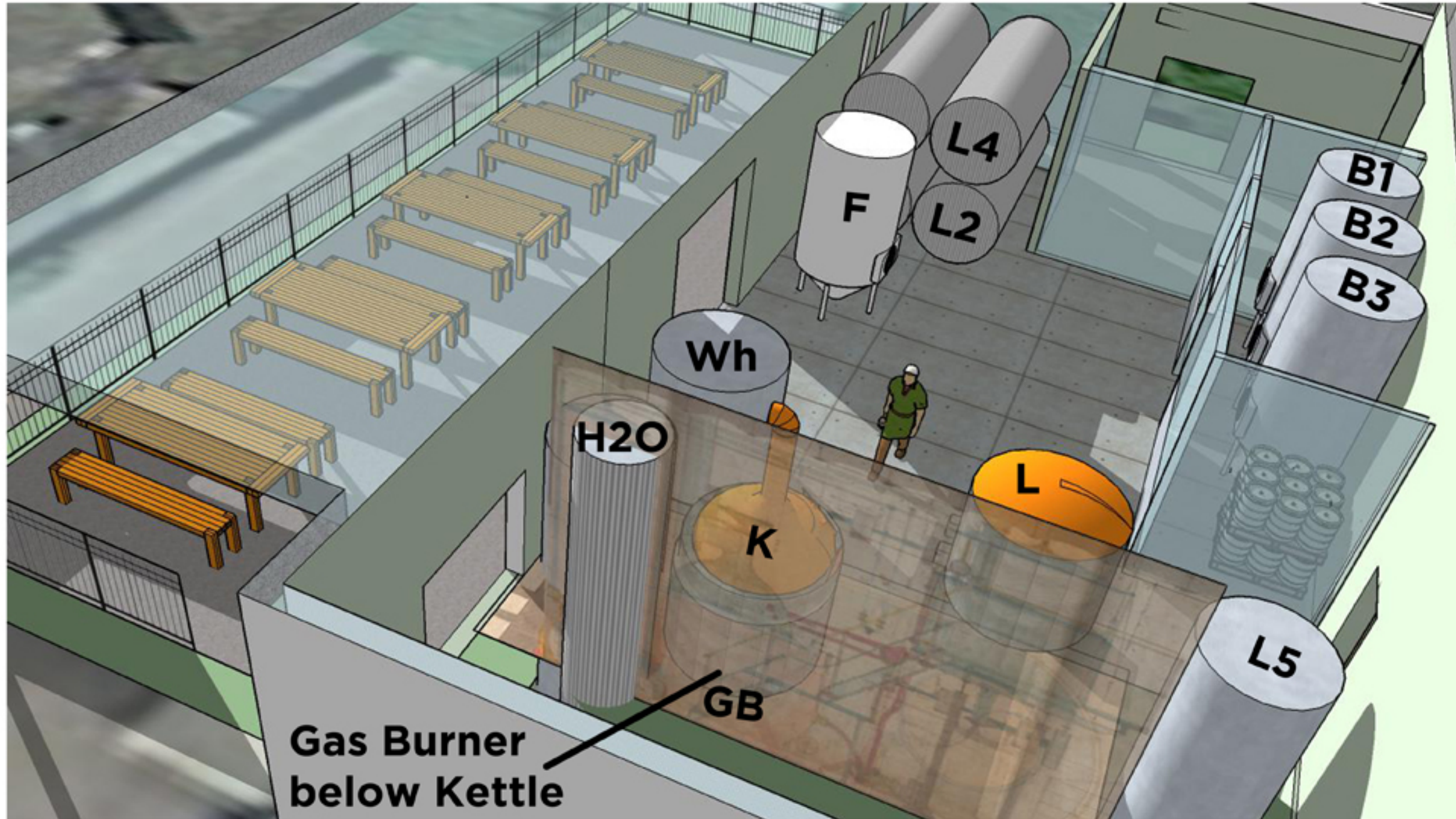


**Narrow, vertical tile
verdigris to com-
plement Copper**



**Tile (and insulation) around vessels and
Control Panel ONLY
Metal (or fiberglass) Grate for platform**

10. Into Brewery looking West

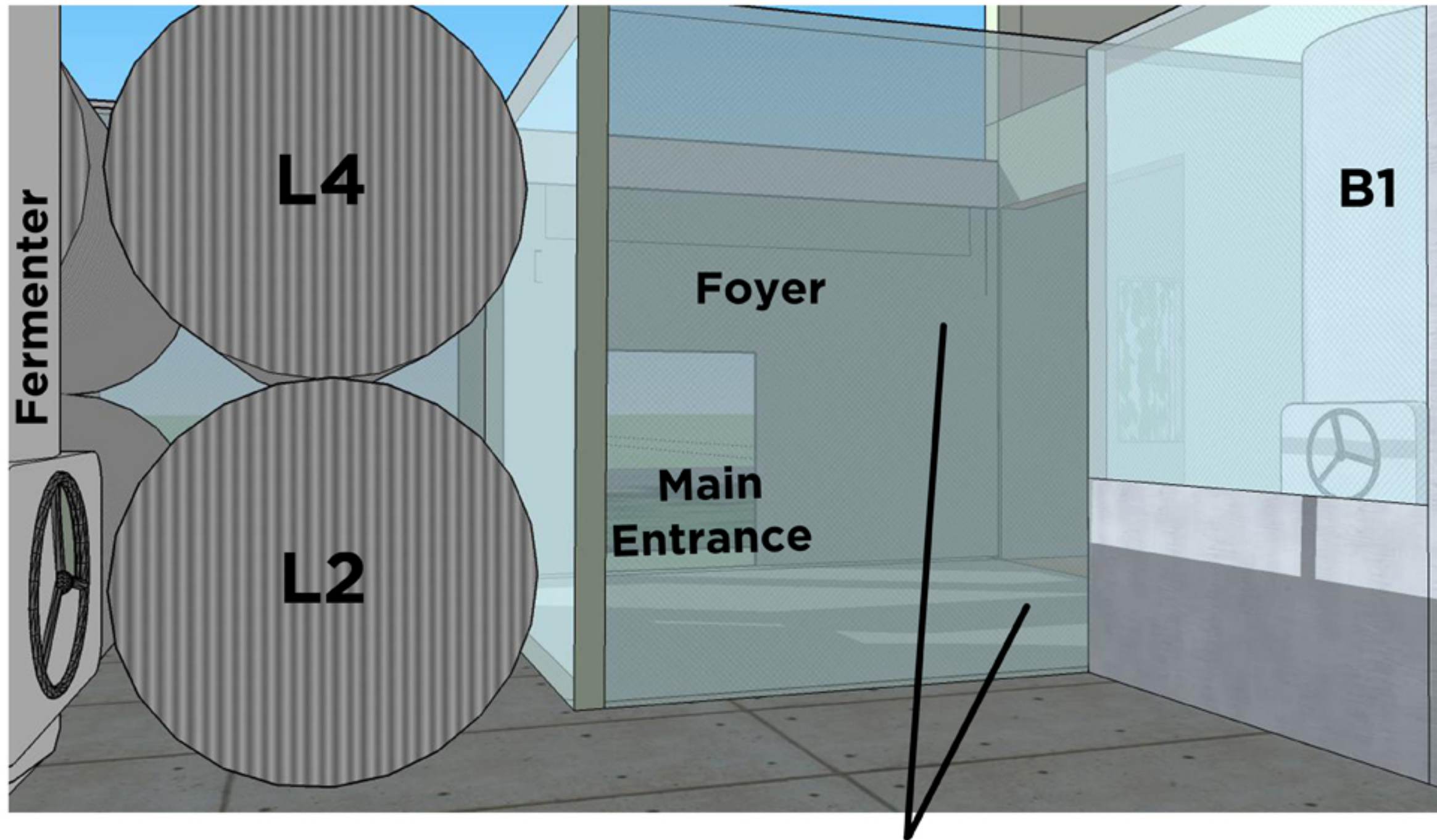


Gas Burner
below Kettle

BREWHOUSE
in dug-out

(steel structure, platform, and lauter tun agitator anchored to basem. foundation)

11. Leaving Brewery



**Glass Doors and Windows
(instead of existing wood paneling)**

12. Hallway into Tap Room



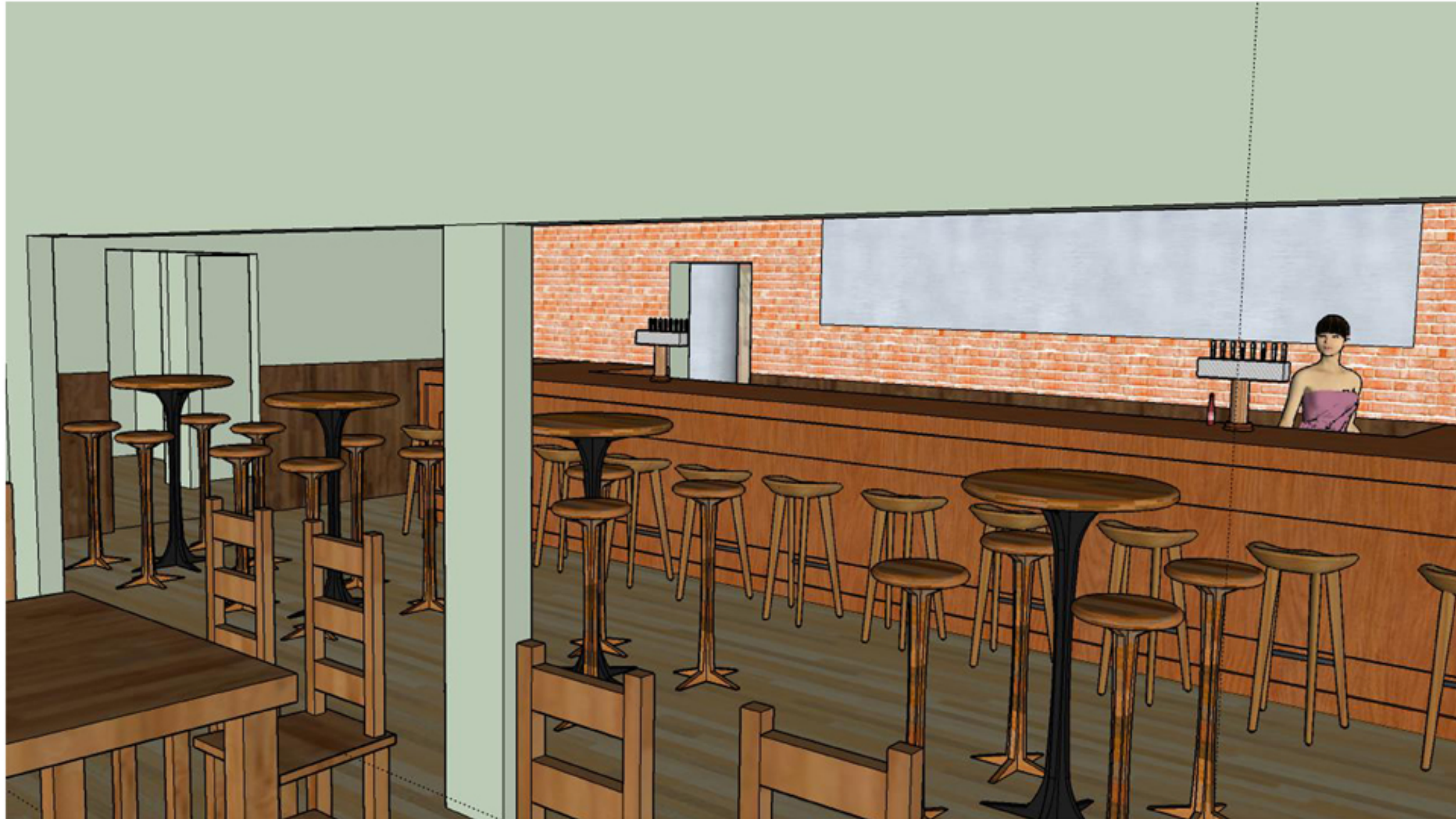
NOT SHOWN: ramp, and difference in elevation going into old structure (house)!

13. Arch into Tap Room



Original Brick Wall exposed ?

14. The Bar



Remove wall between first two classrooms. Third classroom (to the East) is office, kitchen remains, 3 existing bathrooms upgraded

15. Waiting for Customers



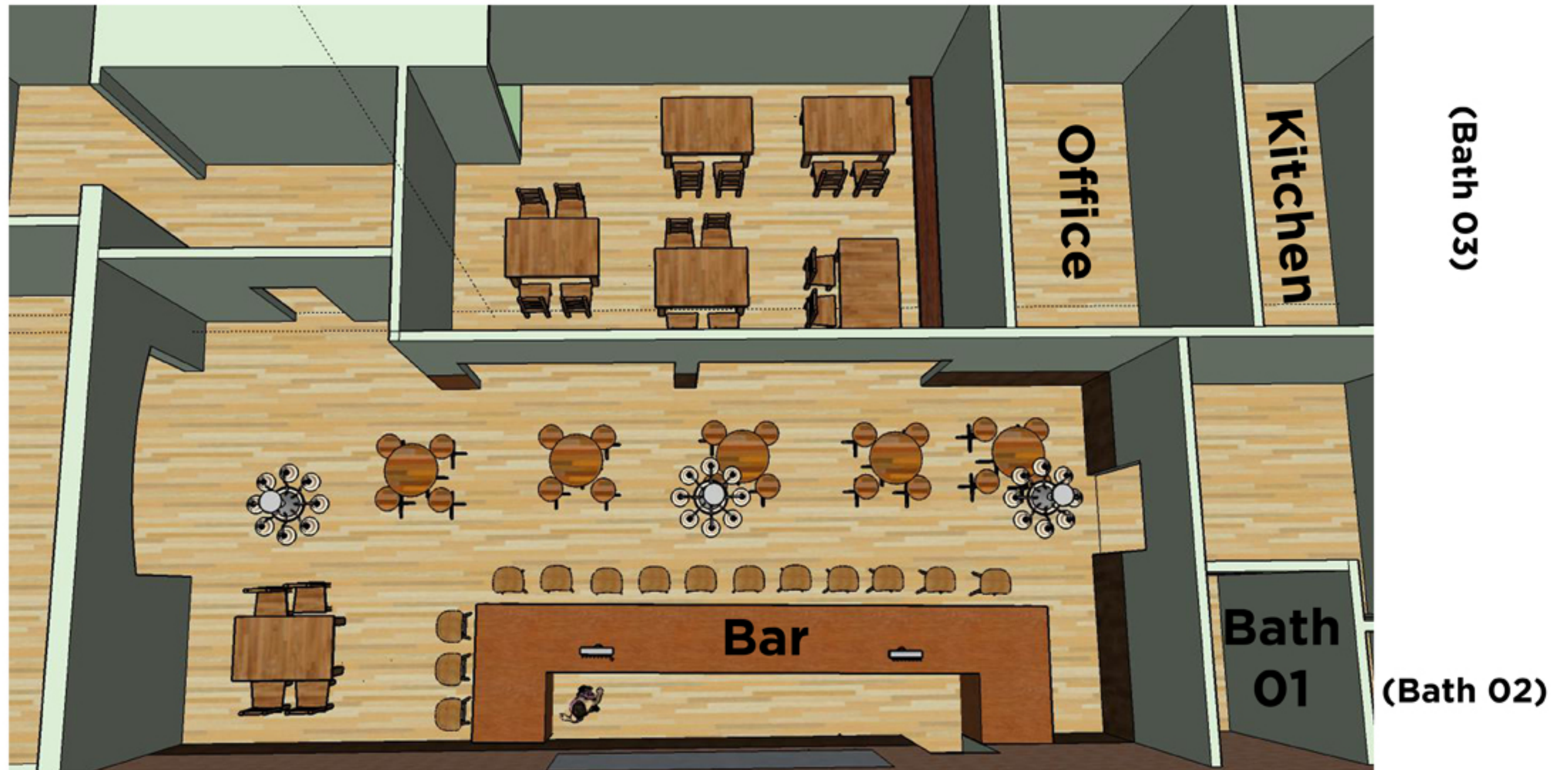
16. Looking to North-East



open walls via large arches

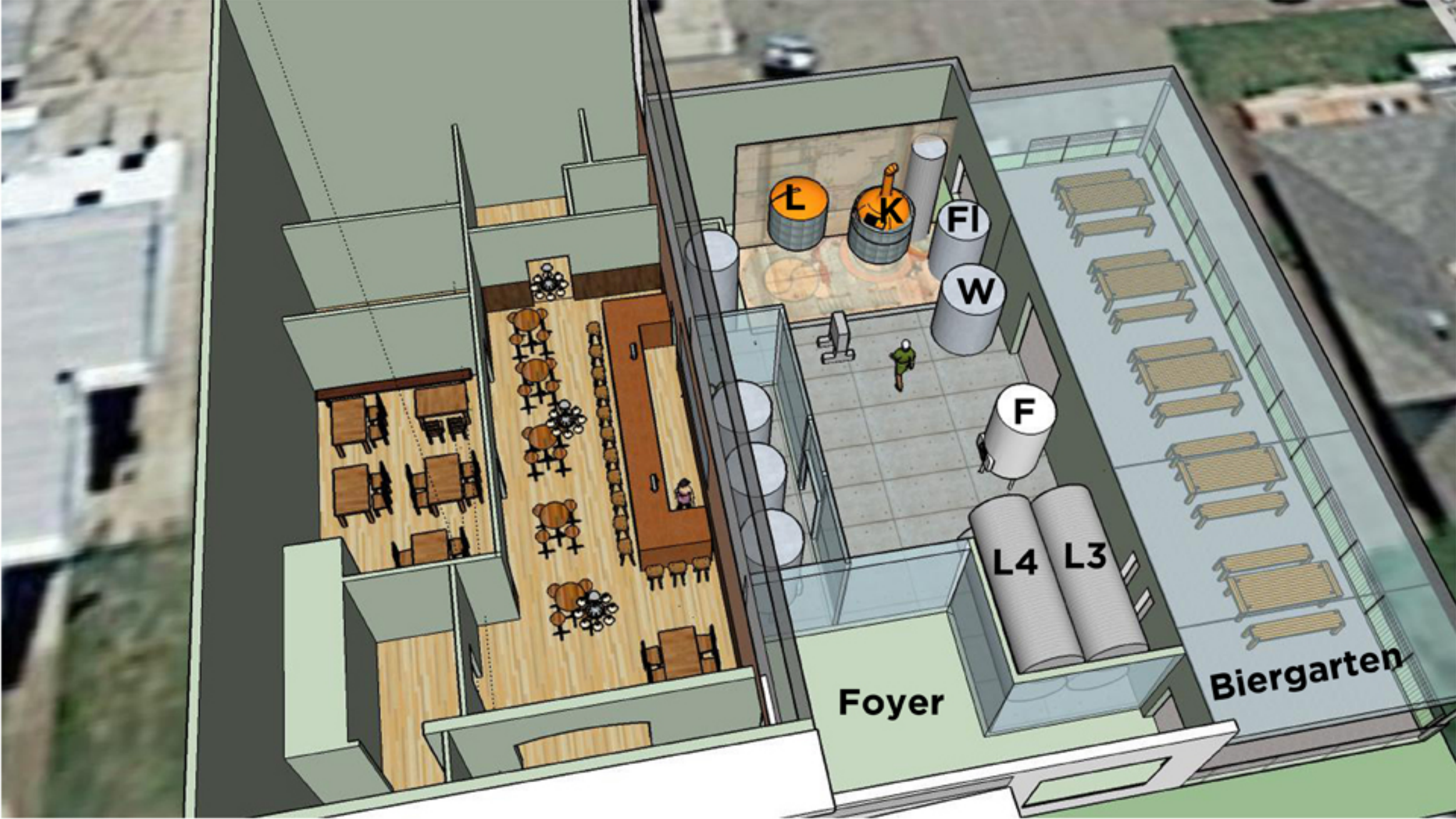
recycled wood paneling ?

17. Birdseye Tap Room



Taps through wall from adjacent Cooler

18. Last Overview



**NOT SHOWN:
2nd Floor and Roof!**

**Main
Entrance**

01. Overview from Remington St.

TAP ROOM BREWERY BIERGARTEN

