

# Conceptual Review Agenda

Schedule for 09/15/22

Meetings hosted via Zoom Web Conferencing

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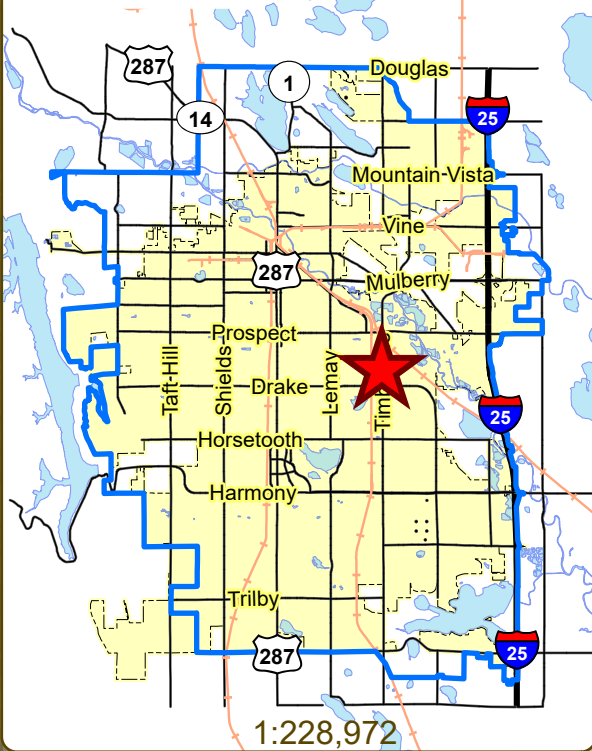
## Thursday, September 15, 2022

Time	Project Name	Applicant Info	Project Description	
10:15	Lofts At Timberline 105 Barbershop  CDR220071	Keith Meyer 970-988-8605 keith.meyer@ditescoservices.com	This is a request for an addition of permitted use to the Lofts at Timberline development at 2026 Bear Mountain Dr. (parcel # 8719129001). The applicant is proposing a change of use of Unit 105 to allow personal services (barbershop) to this unit. The total square footage of the unit (as demised) will be 800 SF. Access to the site is taken from Joseph Allen Dr to the west and Bear Mountain Dr to the south. The site is located approximately 0.05 miles west of S Timberline Rd. and approximately 0.41 miles south of E Prospect Rd. The property is within the Low Industrial District (I) zone district and is subject to a Major Amendment - Addition of Permitted Use (APU) Review.	<b>Planner: Clark Mapes</b>  <b>Engineer: Tim Dinger</b>  <b>DRC: Todd Sullivan</b>

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# Lofts At Timberline 105 Barbershop Addition of Permitted Use

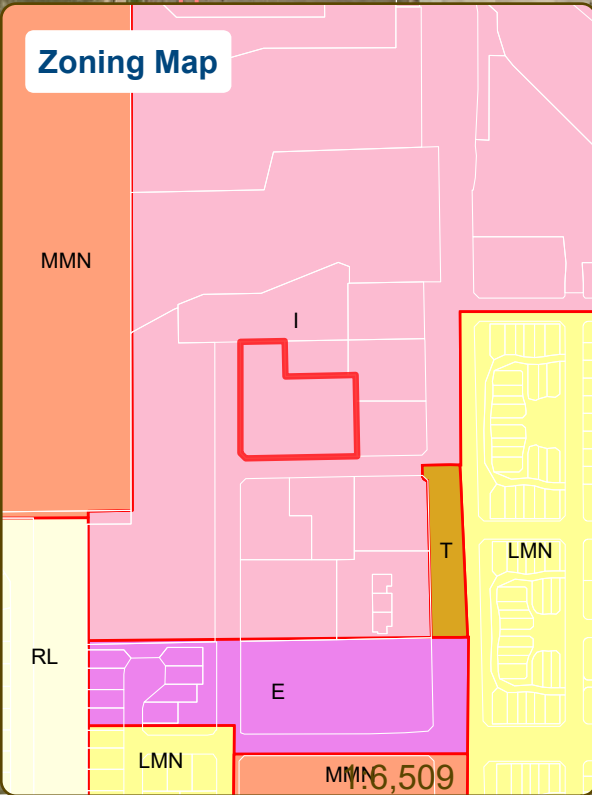
Vicinity Map



Aerial Site Map



Zoning Map



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media. The applicant acknowledges that they are acting with the owner's consent.

Conceptual Reviews are scheduled on three Thursday mornings per month on a "first come, first served" basis and are a free service. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Thursday morning. A completed application must be submitted to reserve a Conceptual Review time slot. Complete applications and sketch plans must be submitted to City Staff on Thursday, no later than end of day, two weeks prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

Business Name (if applicable) \_\_\_\_\_

Your Mailing Address \_\_\_\_\_

Phone Number \_\_\_\_\_ Email Address \_\_\_\_\_

Site Address or Description (parcel # if no address) \_\_\_\_\_

Description of Proposal (attach additional sheets if necessary) \_\_\_\_\_

Proposed Use \_\_\_\_\_ Existing Use \_\_\_\_\_

Total Building Square Footage \_\_\_\_\_ S.F. Number of Stories \_\_\_\_\_ Lot Dimensions \_\_\_\_\_

Age of any Existing Structures \_\_\_\_\_

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm
If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [ ] Yes [ ] No If yes, then at what risk is it? \_\_\_\_\_

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area \_\_\_\_\_ S.F.
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



# Permit Drawings For: Lofts at Timberline Unit Demising 5/25/2022

2026 Bear Mountain Dr.  
Units 105, 108, 205 and 206  
Fort Collins, Colorado 80525



Core & Shell 3D View by r4 Architects, Inc.



Permit Drawings for:  
**Lofts at Timberline Unit Demising**

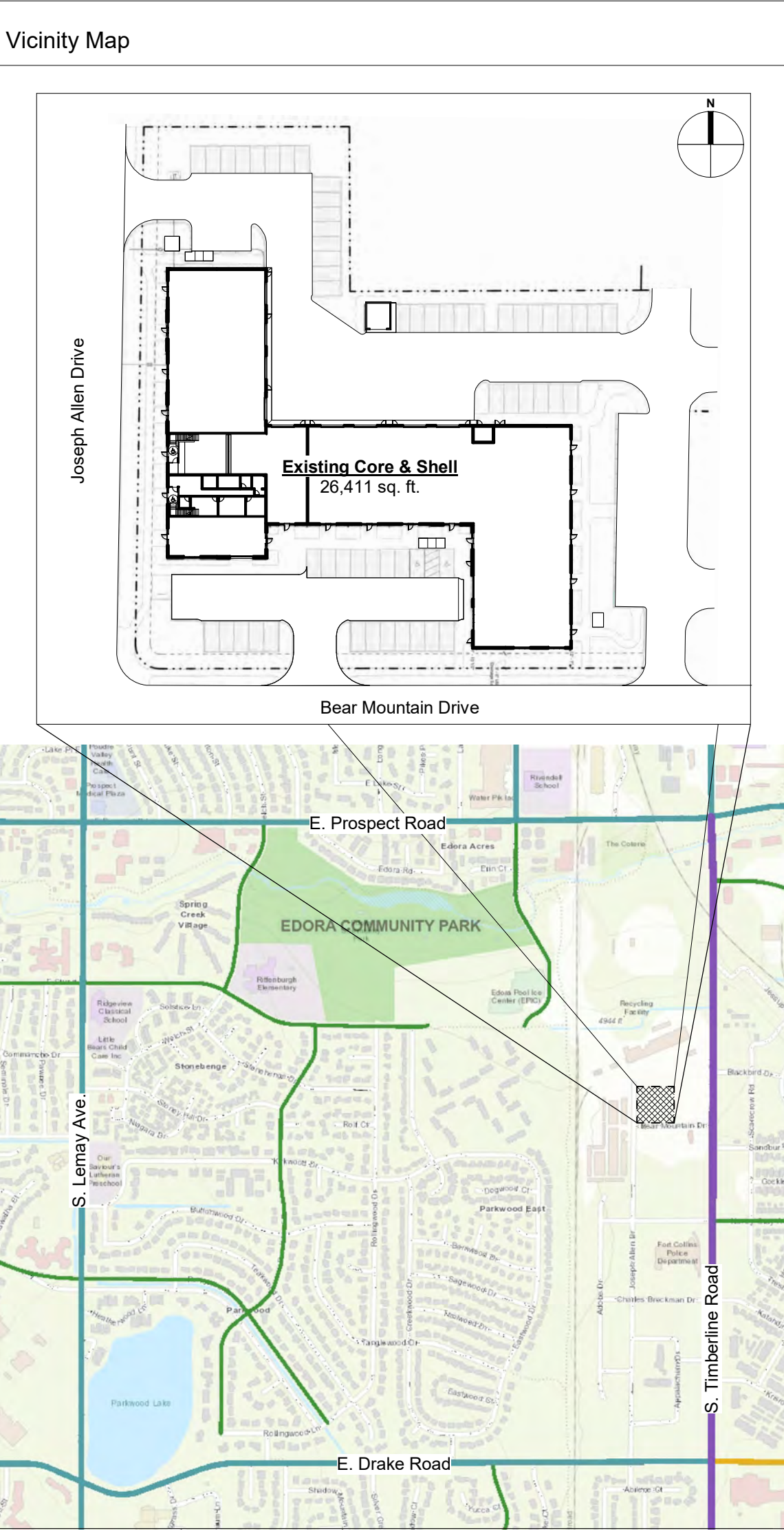
2026 Bear Mountain Dr.  
Units 105, 108, 205 and 206  
Fort Collins, Colorado 80525  
Project Number: ADS 2209  
Issued Drawings  
No. 1 Description: Permit Drawings Date: 5/25/2022

### Drawing Abbreviations

AC	Air Conditioning	Galv.	Galvanized	Pl.	Plastic	Pl.	Plastic
AE	Architect/Engineer	Gen.	General Contractor	Prfab.	Prefabricated	Prf.	Professional
AV	Audio Visual	Gen.	General	Prfn.	Professional	Prfn.	Professional
ACT	Acoustic Ceiling Tile	Gen.	General	Prfn.	Professional	Prfn.	Professional
ADD	Additional	GFI	Ground Fault Interrupter	Prfn.	Professional	Prfn.	Professional
Adj.	Adjacent	GL	Glass/Glazing	Prfn.	Professional	Prfn.	Professional
AF	Above Finished Floor	Grd.	Ground	Prfn.	Professional	Prfn.	Professional
AHU	Air Handling Unit	GWB	Gypsum Wall Board	Prfn.	Professional	Prfn.	Professional
Alt.	Alternate	Qty.	Quantity	Prfn.	Professional	Prfn.	Professional
Alum.	Aluminum	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Arch.	Architect	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Arch.	Architect	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Auto.	Automatic	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Av.	Average	OT	Open Top	Prfn.	Professional	Prfn.	Professional
BD	Between	OT	Open Top	Prfn.	Professional	Prfn.	Professional
BD	Between	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Bev.	Beveled	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Bk	Blumox	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Bkg	Backing	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Bk	Blocking	OT	Open Top	Prfn.	Professional	Prfn.	Professional
BM	Beam	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Bsm.	Basement	OT	Open Top	Prfn.	Professional	Prfn.	Professional
BO	Bottom Of	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Bot.	Bottom	OT	Open Top	Prfn.	Professional	Prfn.	Professional
BUR	Built up Roofing	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Car.	Ceramic	OT	Open Top	Prfn.	Professional	Prfn.	Professional
CF	Cable Fast	OT	Open Top	Prfn.	Professional	Prfn.	Professional
CIP	Cast-in-Place	OT	Open Top	Prfn.	Professional	Prfn.	Professional
CL	Control Joint	OT	Open Top	Prfn.	Professional	Prfn.	Professional
CL	Centerline	OT	Open Top	Prfn.	Professional	Prfn.	Professional
CL	Close	OT	Open Top	Prfn.	Professional	Prfn.	Professional
CMU	Concrete Masonry Unit	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Col.	Column	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Comp.	Compass	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Conc.	Concrete	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Const.	Construction	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Cont.	Continuous	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Cont.	Contour	OT	Open Top	Prfn.	Professional	Prfn.	Professional
CPT	Carpet	OT	Open Top	Prfn.	Professional	Prfn.	Professional
CT	Ceramic Tile	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Chr.	Center	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Cu. Ft.	Cubic Feet	OT	Open Top	Prfn.	Professional	Prfn.	Professional
D	Depth	OT	Open Top	Prfn.	Professional	Prfn.	Professional
D	Double	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Deg.	Degrees	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Demo.	Demolition/Demolish	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Dept.	Department	OT	Open Top	Prfn.	Professional	Prfn.	Professional
DF	Drinking Fountain	OT	Open Top	Prfn.	Professional	Prfn.	Professional
DH	Double Hung	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Di.	Diameter	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Disp.	Disposal	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Disp.	Dispenser	OT	Open Top	Prfn.	Professional	Prfn.	Professional
DN	Down	OT	Open Top	Prfn.	Professional	Prfn.	Professional
DR	Door(s)	OT	Open Top	Prfn.	Professional	Prfn.	Professional
DS	Down Spout	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Dg.	Detail	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Dwg.	Drawings	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Dwr.	Drawer	OT	Open Top	Prfn.	Professional	Prfn.	Professional
E	East	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Ea.	Each	OT	Open Top	Prfn.	Professional	Prfn.	Professional
EF	Exhaust Fan	OT	Open Top	Prfn.	Professional	Prfn.	Professional
EJ	Expansion Joint	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Elev.	Elevation	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Exc.	Excavation	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Eng.	Engineer	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Env.	Environment	OT	Open Top	Prfn.	Professional	Prfn.	Professional
EQ	Equipment	OT	Open Top	Prfn.	Professional	Prfn.	Professional
EW	Each Way	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Exh.	Exhaust	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Exp.	Expansion	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Ext.	Exterior/External	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FC	Floor Cables	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FCO	Floor Clean Out	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FD	Floor Drain	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FDN	Foundation	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FEC	Fire Extinguisher	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FEC	Fire Extinguisher Cabinet	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FF	Finish Floor	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FHC	Fire Hose Cabinet	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Fig.	Figure	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Fl.	Finish	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Fluor.	Fluorescent	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Fluor.	Fluor.	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FOM	Face of Masonry	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FOS	Face of Stud	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FP	Fire Protection	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FR	Fire Retardant Treated Wood	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FT	Foot-Print	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Ft.	Footing	OT	Open Top	Prfn.	Professional	Prfn.	Professional
Fur.	Furring	OT	Open Top	Prfn.	Professional	Prfn.	Professional
FWC	Fabric Wallcovering	OT	Open Top	Prfn.	Professional	Prfn.	Professional

### General Symbols and Legends

<b>Sheet Number</b>	<b>Building Section Tag</b>	<b>Wall Section Tag</b>	<b>Detail Section Tag</b>	<b>Exterior Elevation Tag</b>	<b>Interior Elevation Tag</b>	<b>Partial Plan or Detail Tag</b>	<b>Vertical Elevation</b>	<b>Spot Elevation</b>	<b>3D View</b>
A100	A301	A301	A301	A301	A301	A301	A101	A101	A101



### Drawing Index:

Sheet Number	Sheet Name	Sheet Issue Date
- AC -	Cover Sheet	5/25/2022
A001	Overall Building Plan, Building System Types & Notes	5/25/2022
A101	Level 1 Floor Plan	5/25/2022
A102	Level 2 Floor Plan	5/25/2022
A103	Sections and Details	5/25/2022
A104	Reflected Ceiling Plans	5/25/2022
A105	Door & Window Details	5/25/2022

### Building & Code Information

Site Address: 2026 Bear Mountain Dr. Suites #105, #108, #205 and #206 Fort Collins, CO 80525

**Applicable Building Codes:**  
Building: 2021 International Building Code w/ Local Amendments  
Accessibility State Law: 2017 ICC-A117.1 Accessibility Code  
Energy: 2021 International Energy Conservation Code w/ Local Amendments  
Plumbing: 2021 International Plumbing Code  
Mechanical: 2021 International Plumbing Code  
Electrical: 2020 National Electric Code

**Building Information:**  
Scope of work: The proposed core & shell improvements are intended to define individual units and will include new demising partitions between units #105 and #108 on the ground floor and between units #205 and #206 on the second floor. A new shared entry vestibule will be constructed between units #105 and #205 that include an entrance door to suite #105. On the second floor new entry doors with landings to units #205 and #206 will be constructed at the top of the stairs.

Occupancy: B occupancy - Concentrated Business Use Areas (1004.8) assumed for both suites.  
 • Unit #105: 6 Total Occupants (Estimate)  
 • Unit #205: 9 Total Occupants (Estimate)  
 • Unit #206: 9 Total Occupants (Estimate)

Number of Stories: Proposed project includes ground floor vestibule and 2nd floor suites.

Building Area: Core & Shell ground floor is 26,411 sq. ft. gross  
 • Ground floor, shared vestibule: 134 s.f.  
 • Suite #105: 800 s.f.  
 • Suite #205: 1,347 s.f.  
 • Suite #206: 1,347 s.f.

Core & Shell Construction Type: Type III-B

Fire Protection: Full NFPA-13 System is in place. New design including modifications to the existing system will be completed as a deferred submittal (IBC Sec. 107.3.4.1) for the proposed space.

Fire Extinguisher: Provide temporary 2-A extinguisher in each defined unit. Final extinguisher cabinet will be provided per future tenant improvements. (IBC Sec. 906)

Means of Egress: One exit required per suite, 100 ft. maximum travel distance (IBC Table 1006.2.1)  
 \*Stairways serving an occupant load less than 50 are permitted to not less than 36 inches clear in width.

Plumbing Requirements: Fewer than 30 total occupants per suite. Based on Local Amendment to IBC 2902.2  
 1 - Single restroom w/ Water Closet + Lavatory  
 1 - Service Sink  
 \*Maximum occupancy permissible if suites are combined is 49.

Sheet: **Cover Sheet**

Scale Accordingly if Reduced



Permit Drawings for:  
**Lofts at Timberline Unit Demising**

2026 Bear Mountain Dr.  
Units 105, 108, 205 and 206  
Fort Collins, Colorado 80525

Project Number: ADS 2209

No.	Description	Date
1	Permit Drawings	5/25/2022

Project Team:  
**Keith Meyer** Owner  
2133 S. Timberline Rd., Unit 110  
Fort Collins, CO 80525  
Phone: (970) 988-8605  
Contact: Keith Meyer  
Email: keith.meyer@stesscoservices.com

Sheet:  
**Overall Building Plan, Building System Types & Notes**

**A001**

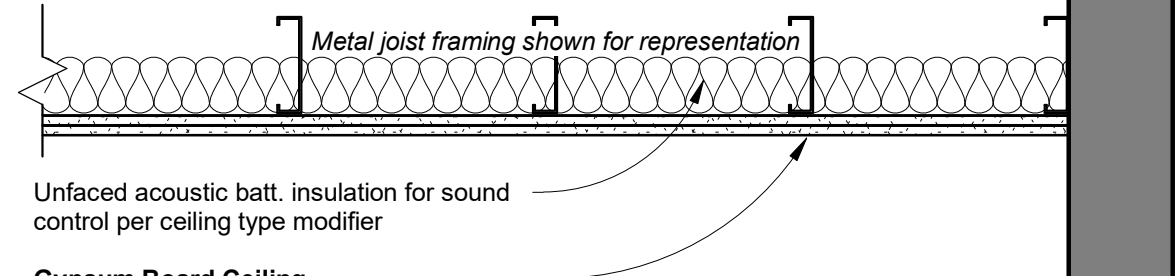
Scale Accordingly if Reduced

**Ceiling General Notes**

- General Notes
- All ceiling heights are to underside of roof/floor structure above unless noted otherwise (U.N.O.).
  - Ceilings shall be type **C1** unless noted otherwise (U.N.O.).
  - Fire rated floor/ceiling and roof/ceiling assemblies shall continue uninterrupted prior to framing dropped soffits.
  - GC is responsible for coordination of all ceiling fixture locations according to provided drawings.
    - Hierarchy of systems in ceilings
      - Lighting and Occ. sensors
      - Overhead AV
      - Mechanical
      - Fire Suppression
  - Verify all soffit dimensions in the field for proper mechanical duct clearances. Identify to architect and owner to coordinate solution.

**One-Hour Ceiling (GA-610-02)**  
(Based on GA File Nos. FC 5406 and RC 2601)

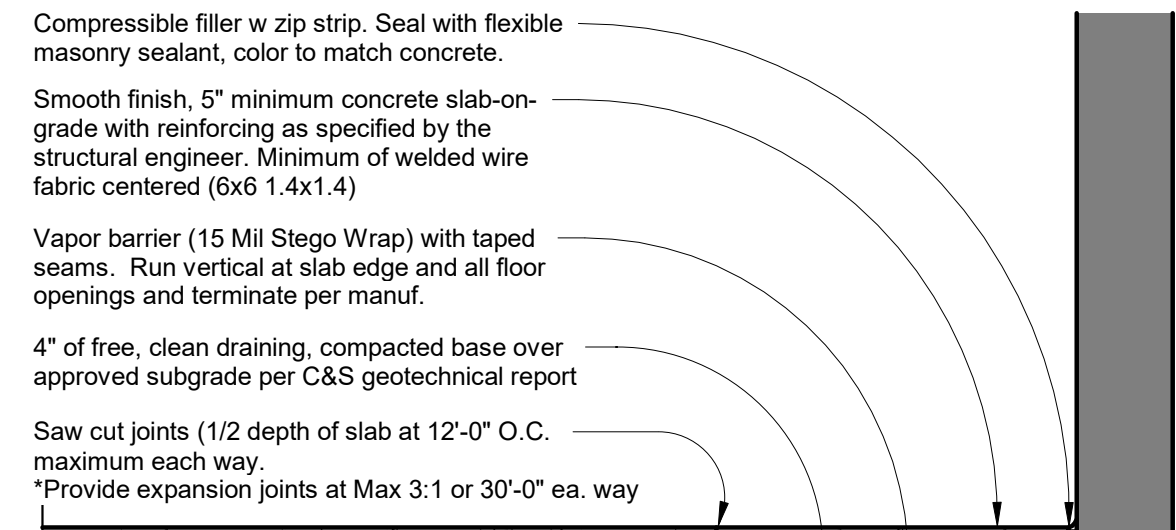
The ceiling membrane consists of two layers of 5/8" (15.9 mm) Type X gypsum board directly applied to framing or furring. The base layer of gypsum board is applied at right angles to ceiling framing 24" (610 mm) o.c. and attached with 1" (25 mm) Type S or S-12 drywall screws (for steel framing) or 1-1/4" (32 mm) Type W or S drywall screws (for wood framing) spaced 24" (610 mm) o.c. The face layer of gypsum board is applied at right angles to the framing and attached with 1-5/8" (41 mm) Type S or S-12 drywall screws (for steel framing) or 1-7/8" (48 mm) Type W or S drywall screws (for wood framing) 12" (305 mm) o.c. at end joints and intermediate joints and 1-1/2" (38 mm) Type G drywall screws 12" (305 mm) o.c. placed 2" (50 mm) back on either side of end joints. Joints of the face layer are offset 24" (610 mm) from the joints in the base layer. Face layer joints and fasteners are finished to Level 1 as specified in GA-214, Levels of Gypsum Board Finish.



- Gypsum Board Ceiling**
- Two (2) layers 5/8" Type X gypsum board ceiling, fire tape, mud and finish.
  - Finish: Level 5 - Smooth

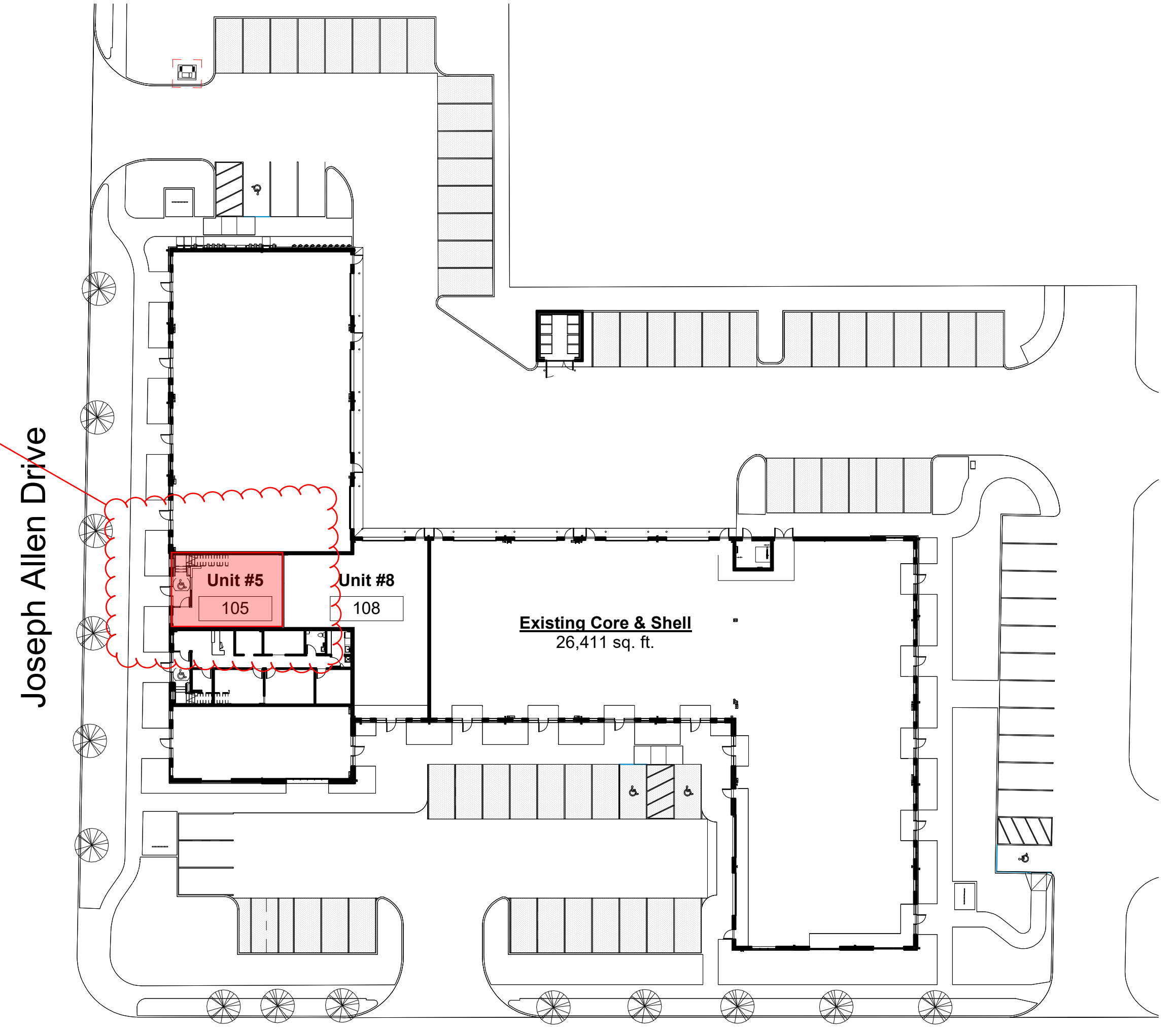
- General Notes
- Provide fire blocking as required for applicable codes & regulations.
  - All interior dropped soffits and overframing to match the adjacent ceiling.

**C1 1-Hour Fire Rated Gypsum Board Ceiling on Metal Framing**  
1" = 1'-0"



- General Notes
- All subgrade shall be prepared per the job specific Geotech report.
  - Refer to floor plans for required slopes. Maximum slope permitted of 2% (1/4":12") in any direction U.N.O.
  - Dowel to existing concrete slab-on-grade at 16" OC drilled and set in epoxy.

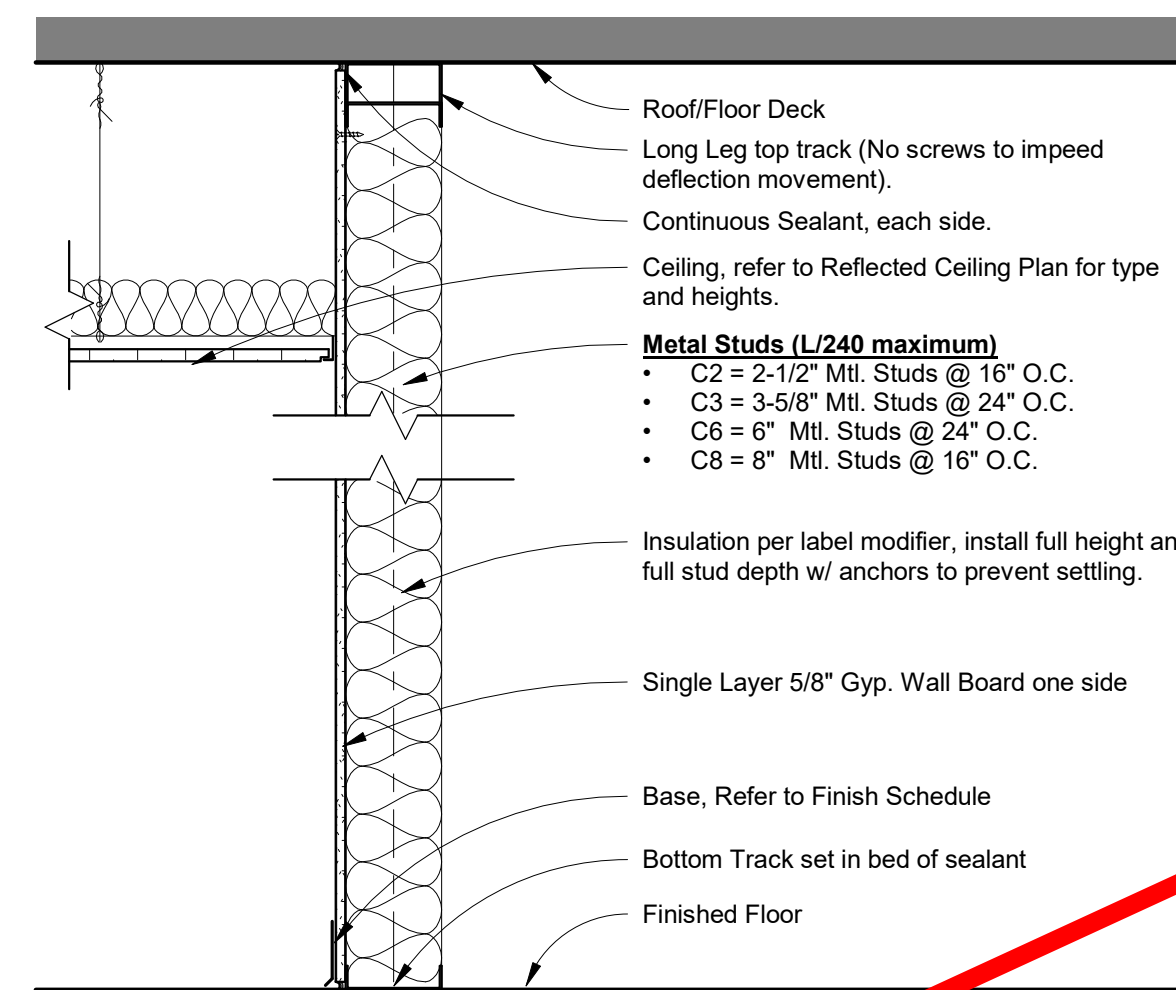
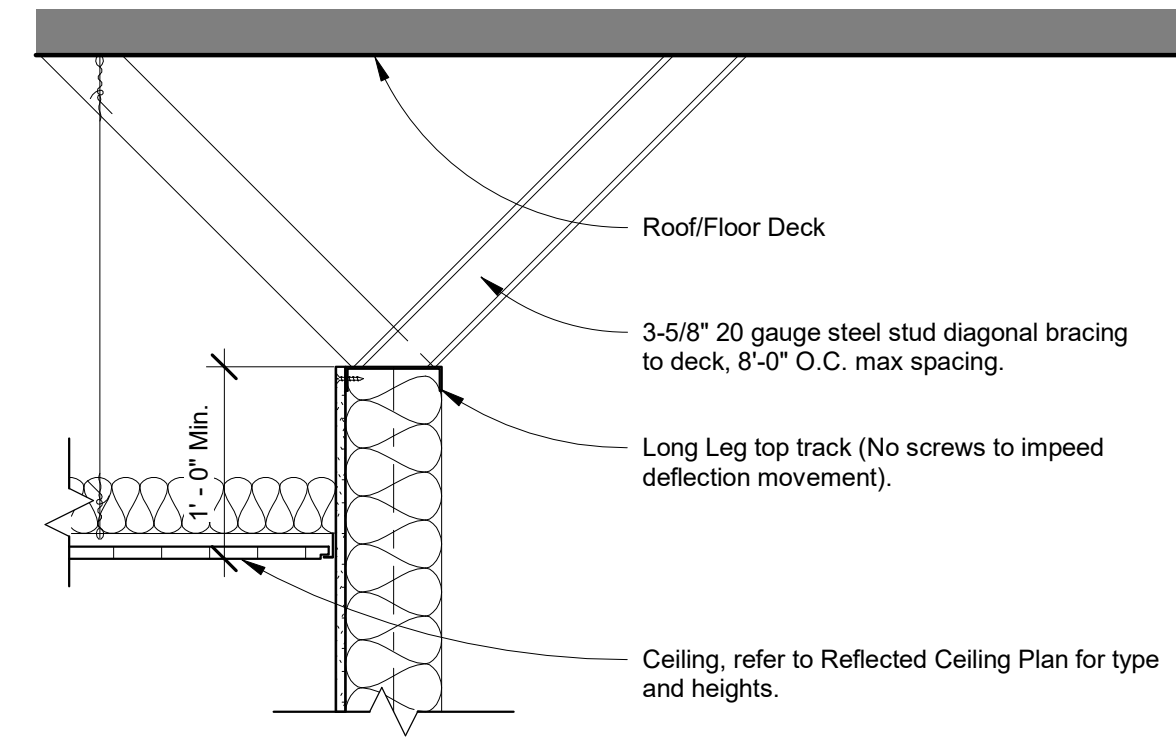
**F1 Interior Concrete Slab-on-Grade**  
1" = 1'-0"



Proposed Barbershop  
800 SF

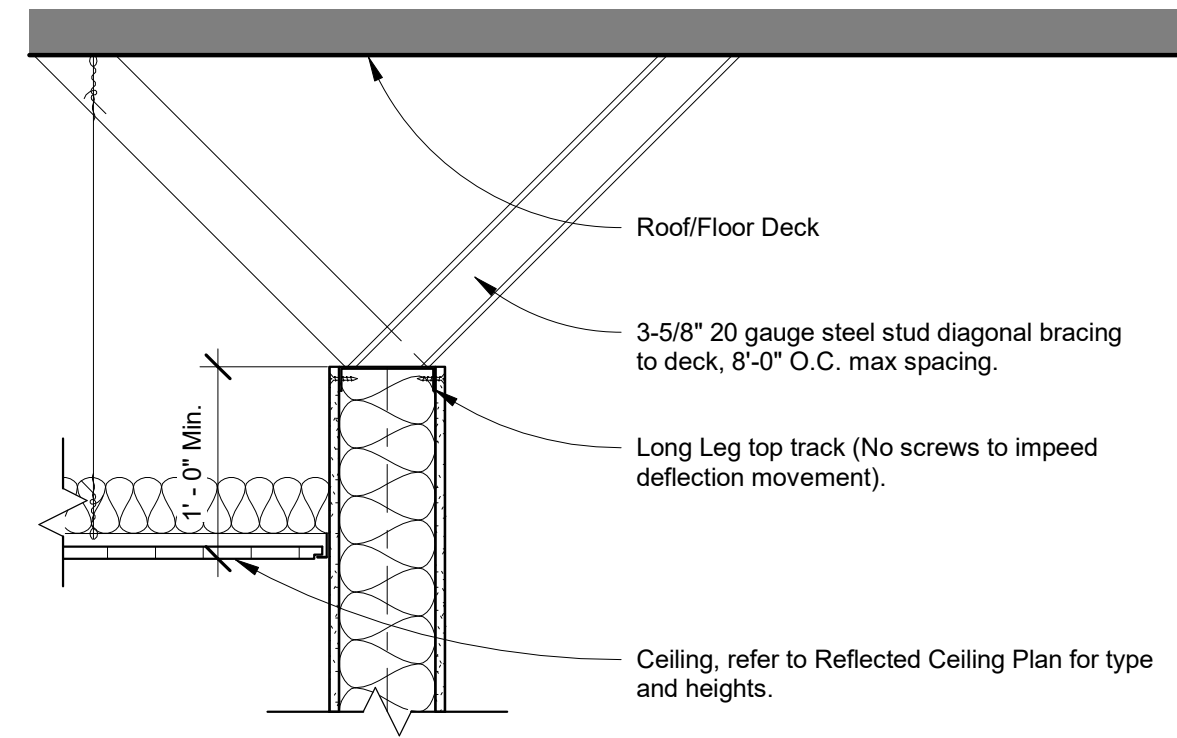
**Interior Partition Notes**

- Interior Partition Modifiers
- A - Acoustic Cavity Insulation**
    - Full cavity acoustic batt insulation extending full height of partition.
      - Flame spread index: 25 Max.
      - Smoke-developed Index: 450 Max.
      - Fasten insulation to studs to prevent material movement.
    - Seal bottom track/chord with acoustic sealant all around base.
    - Seal all penetrations with acoustic sealant.
    - Provide full cavity batts where exposed above ceilings.
  - H - Fire Height Partition**
    - Framing to extend floor to underside of floor/roof deck above to secure standard top track held short to allow 1" deflection.
    - Fill imperfections and flutes along top of partition with insulation.
- Gypsum Board Finishing
- Wall Finish Level (GA 215-07)**
    - Level 5: Typical throughout U.N.O. with Smooth Finish
    - Level 4: In Mechanical and Utility Rooms
    - Level 3: N/A
    - Level 2: N/A
    - Level 1: N/A
- General Notes
- Install gypsum products per GA 216-07
  - All gypsum board shall be 5/8" U.N.O. (refer to Partition Types and/or System Notes for specific gypsum board types).
  - See finish schedule and/or finish plan for special finish notes.
  - Provide 5/8" DensShield Tile Backer at all shower and bathtub locations (Type X board required at fire rated locations).
  - Provide 5/8" Mold and Moisture resistant gypsum board at all wet locations, including but not limited to sinks, dishwashers, refrigerators, utility sinks, water heater, toilets and urinals (Type X board required at fire rated locations).
- Fire Blocking
- Fire Blocking (IBC Sec. 719)**
    - Provide proper fire blocking in concealed partition/wall cavities per IBC requirements.
    - Provide blocking with 2x wood blocking at all floor and ceiling levels
    - Provide blocking with 2x wood blocking or full cavity batt insulation at intervals not more than 10 ft.
    - Provide blocking at transition from partition/wall to horizontal spaces such as ceilings.
- Blocking
- Wall & Ceiling Blocking**
    - Provide 2x wood blocking or metal strapping in walls/partitions as needed for wall mounted equipment, cabinets, accessories, etc.
    - The GC is responsible for coordinating with all trades for blocking requirements.



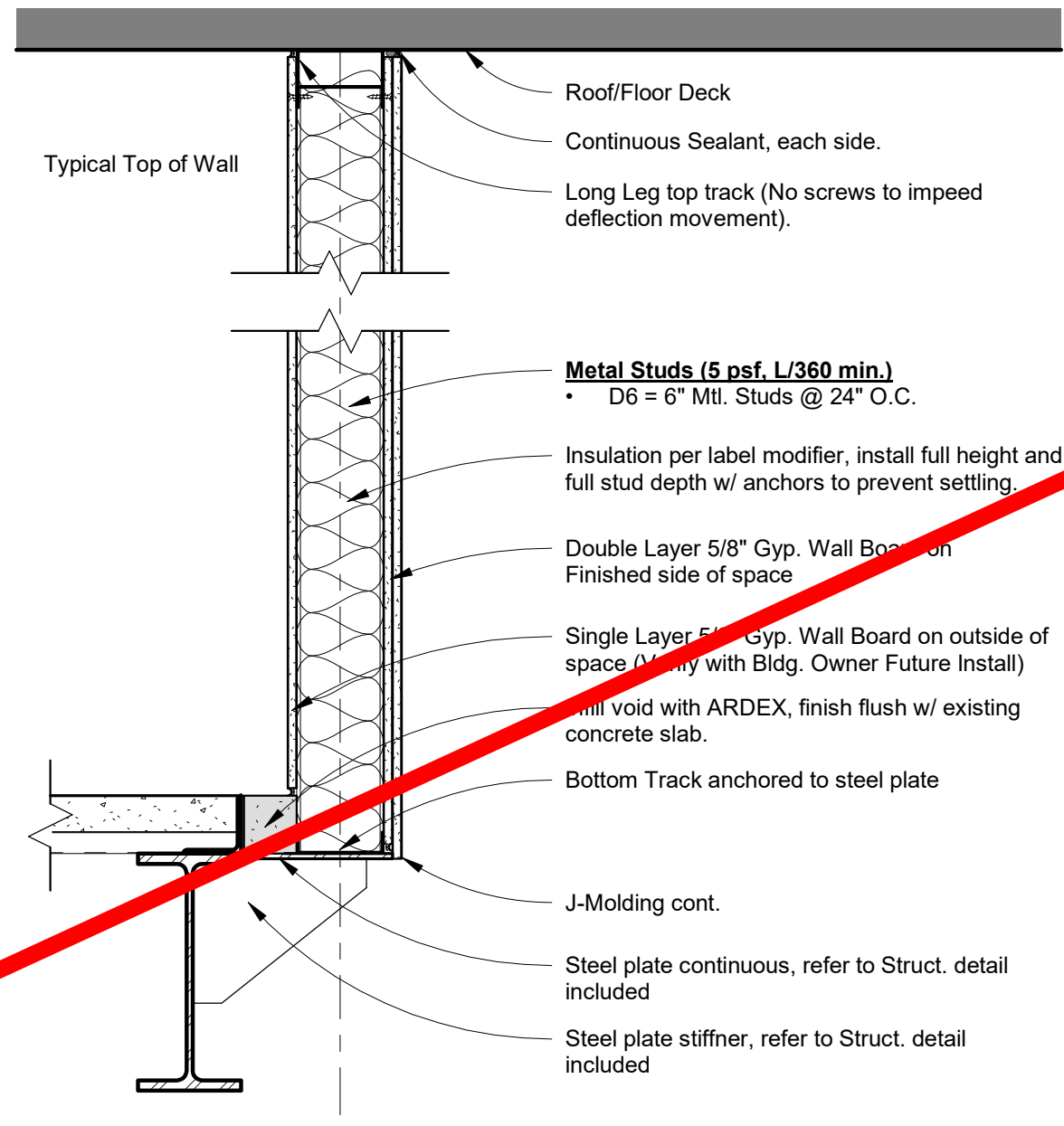
- General Notes
- All penetrations, openings, etc. in partition shall be filled w/ insulation and sealant.

**C Non-Rated Interior Chase Partition**  
1" = 1'-0"



- General Notes
- All penetrations, openings, etc. in partition shall be filled w/ insulation and sealant.

**P Non-Rated Interior Partition**  
1" = 1'-0"



- General Notes
- Demising walls as specified in core & shell as typical demising walls.
  - All penetrations, openings, etc. in partition shall be filled w/ insulation and sealant.

**D Non-Rated Interior Demising Partition**  
1" = 1'-0"

**Metal Stud General Notes**

- General Notes
- Typical Partition Type is **P3(AH)** U.N.O.
  - All full height partitions shall provide long-leg top track plus standard top track for 1" minimum deflection.
  - Refer to Structural drawings for specific metal stud design
  - Typical metal studs are 25 gauge U.N.O.
  - Provide double (2) 20 gauge studs at door and window jambs U.N.O.
  - Contractor shall confirm adequate metal stud gauge and spacing per USG Recommendations for height and deflection.

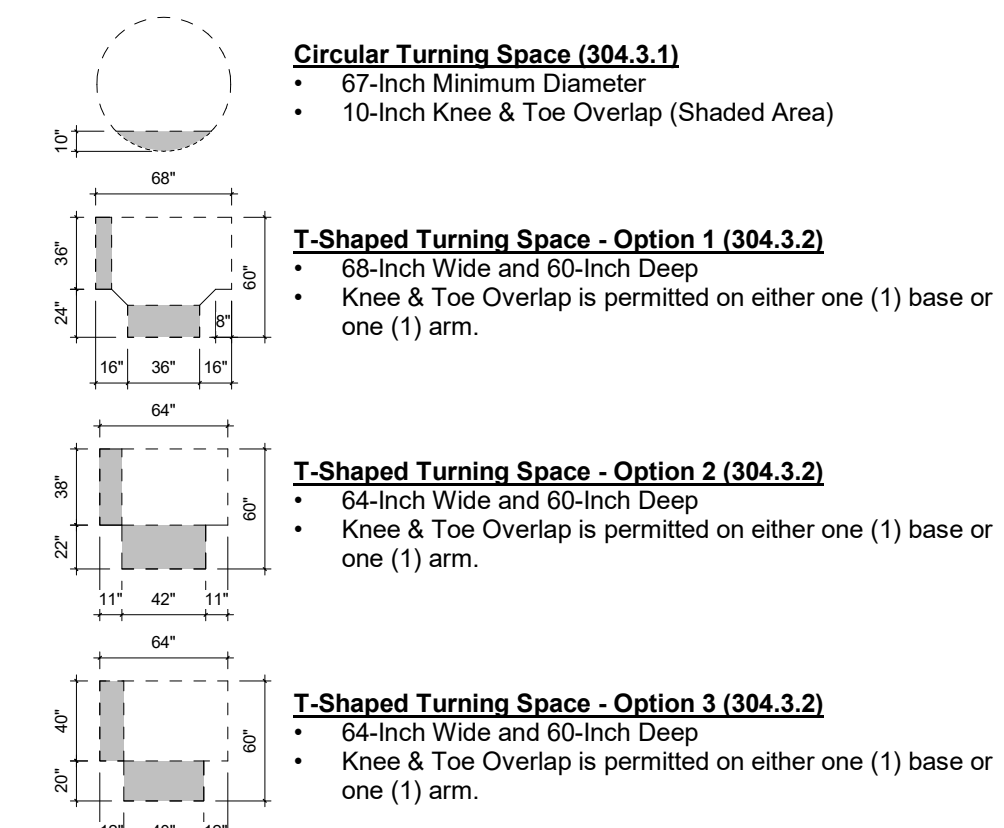


**Floor Plan Legend & General Notes**

- All dimensions shall be considered to face of concrete or face of stud unless noted otherwise.
  - All door sizes shall be considered finished opening dimensions
  - Dampproofing shall be applied to all concrete surfaces from top of footing to top of wall as required except at exposed concrete foundation at window wells.
- New Wall and/or Partition
  - Existing Wall
  - Demo'd Wall/Partition
  - Window Tag (See A701)
  - Keynote (Per Sheet)
  - Door Tag (See A701)
  - Interior Partition Tag (See A001)
  - Interior Finish Tag (See A701)
  - Data (E) Cable/Internet Service
  - (E) Domestic Water Service Line
  - (E) Fire Service Line
  - (E) Sanitary Sewer Service Line
  - (E) Natural Gas Service Line

**ADA/ANSI Legend & General Notes**

- All references below reference the 2017 version of ICC ANSIA117.1



**Building & Code Information**

Site Address: 2026 Bear Mountain Dr. Suites #105, #108, #205 and #206 Fort Collins, CO 80525

**Applicable Building Codes:**

Building: 2021 International Building Code w/ Local Amendments

Accessibility State Law: 2017 ICC-A117.1 Accessibility Code

Energy: 2021 International Energy Conservation Code w/ Local Amendments

Plumbing: 2021 International Plumbing Code

Mechanical: 2021 International Plumbing Code

Electrical: 2020 National Electric Code

**Building Information:**

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 The proposed core & shell improvements are intended to define individual units and will include new demising partitions between units #105 and #108 on the ground floor and between units #205 and #206 on the second floor. A new shared entry vestibule will be constructed between units #105 and #205 that will include an entrance door to suite #105. On the second floor new entry doors with landings to units #205 and #206 will be constructed at the top of the stairs.

Occupancy: B occupancy - Concentrated Business Use Areas (1004.8) assumed for both suites.

- Unit #105: 6 Total Occupants (Estimate)
- Unit #205: 9 Total Occupants (Estimate)
- Unit #206: 9 Total Occupants (Estimate)

Number of Stories: Proposed project includes ground floor vestibule and 2nd floor suites.

Building Area:

- Core & Shell ground floor is 26,411 sq. ft. gross
- Ground floor, shared vestibule: 134 s.f.
- Suite #105: 800 s.f.
- Suite #205: 1,347 s.f.
- Suite #206: 1,347 s.f.

Core & Shell Construction Type: Type III-B

Fire Protection: Full NFPA-13 System is in place. New design including modifications to the existing system will be completed as a differed submittal (IBC Sec. 107.3.4.1) for the proposed space.

Fire Extinguisher: Provide temporary 2-A extinguisher in each defined unit. Final extinguisher cabinet will be provided per future tenant improvements. (IBC Sec. 906)

Means of Egress: One exit required per suite, 100 ft. maximum travel distance (IBC Table 1006.2.1)

Plumbing Requirements: Fewer than 30 total occupants per suite. Based on Local Amendment to IBC 2902.2

- 1 - Single restroom w/ Water Closet + Lavatory
- 1 - Service Sink

\*Maximum occupancy permissible if suites are combined is 49.

Permit Drawings for:

**Lofts at Timberline Unit Demising**

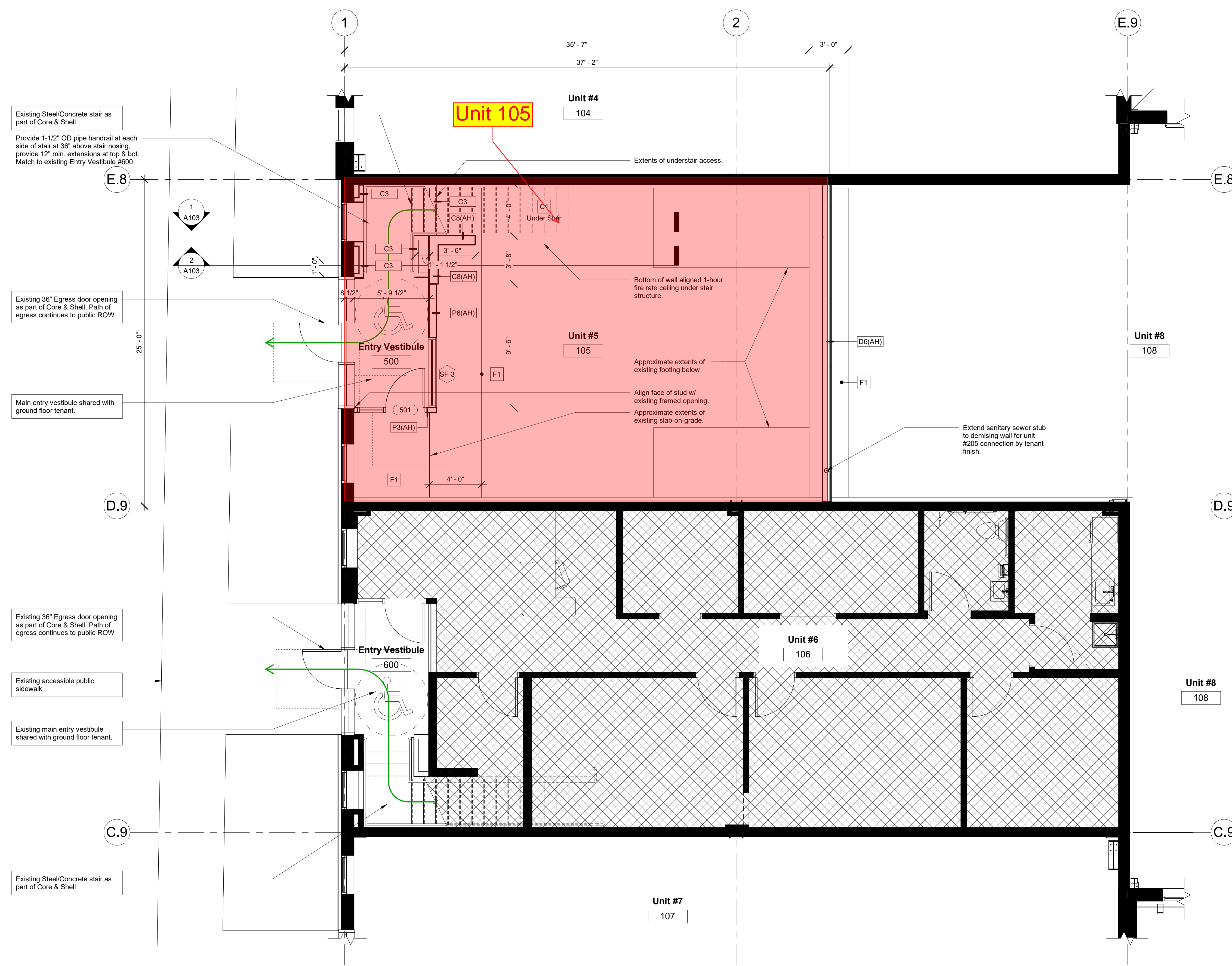
2026 Bear Mountain Dr. Units 105, 108, 205 and 206 Fort Collins, Colorado 80525

Project Number: ADS 2209

No.	Description	Date
1	Permit Drawings	5/25/2022

**Project Team:**

**Keith Meyer** Owner  
 2133 S. Timberline Rd., Unit 110  
 Fort Collins, CO 80525  
 Phone: (970) 988-8605  
 Contact: Keith Meyer  
 Email: keith.meyer@stesscoservices.com



1 Level 1  
 A101 1/4" = 1'-0"

Sheet:  
**Level 1 Floor Plan**

**A101**

Scale Accordingly if Reduced