

Conceptual Review Agenda

Meetings hosted via Zoom Web Conferencing

Please use the URL and Meeting ID # listed below to join the Review Meeting

Review Date

7/3/2024 8:30 AM

Project Name

Bank of America at 2413 S. College Ave

PDR240004

Applicant

ELSON Worldwide, LLC

310-451-4333

hkoutsis@nelsonww.com

Planner: Clark Mapes

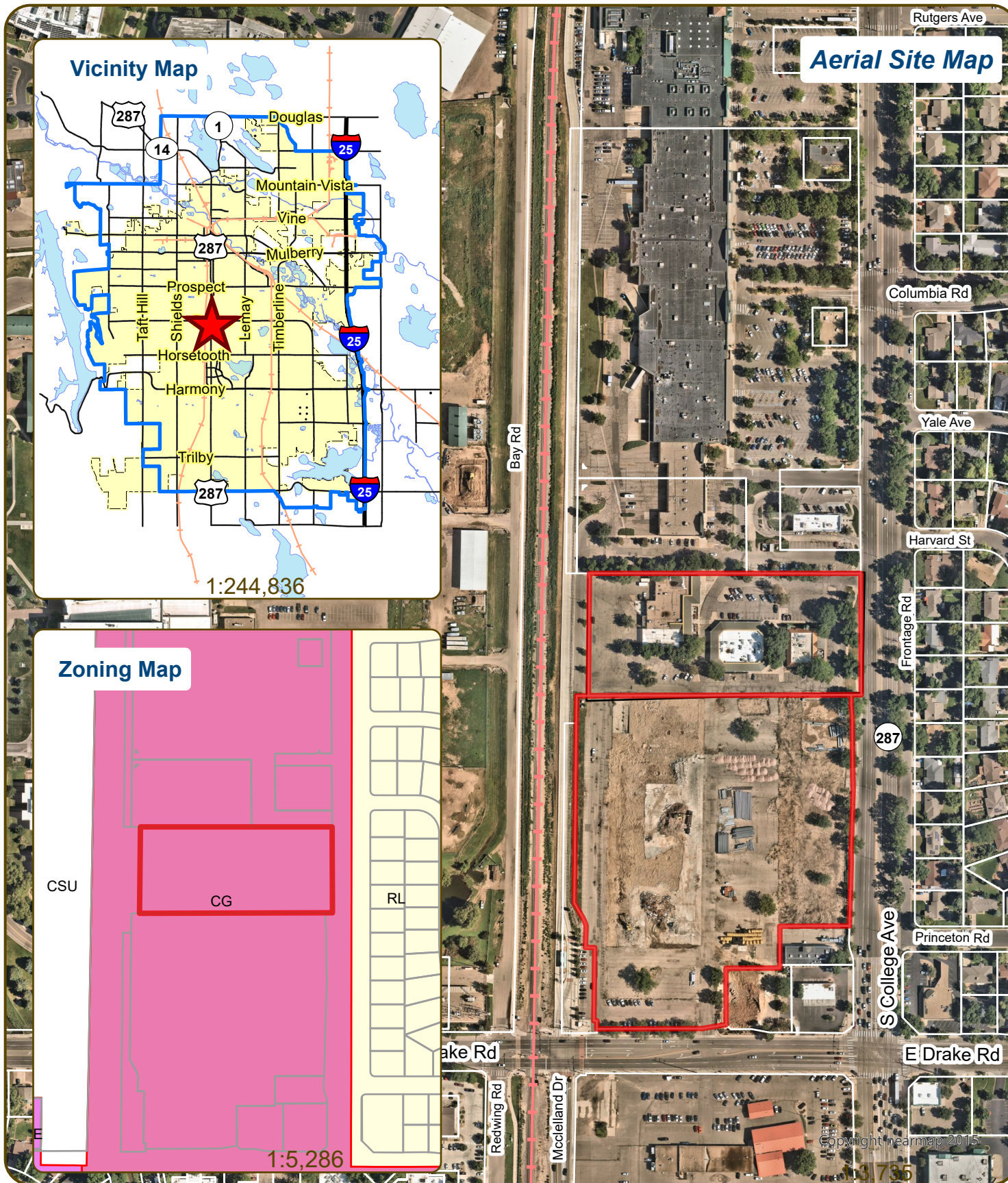
Engineer: Tim Dinger

DRC: Seth Goldstein

Description

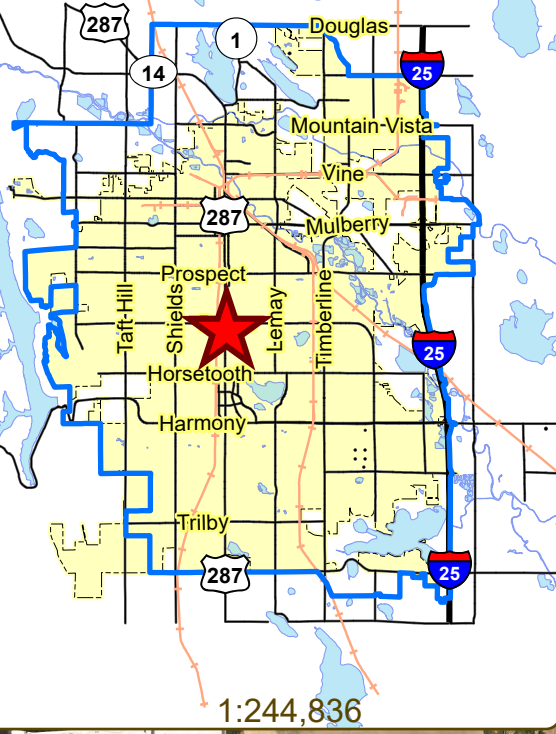
This is a request to demo the existing building and develop a bank at 2413 S. College Ave. (parcel # 9723411001). Access is taken from S College Ave to the east. The site is directly west of S College Ave and approximately 0.17 mi north of W Drake Rd. The property is located in the General Commercial District (C-G) zone district and the project would be subject to an Administrative (Type 1) Review.

Bank of America at 2413 S College Ave - Office

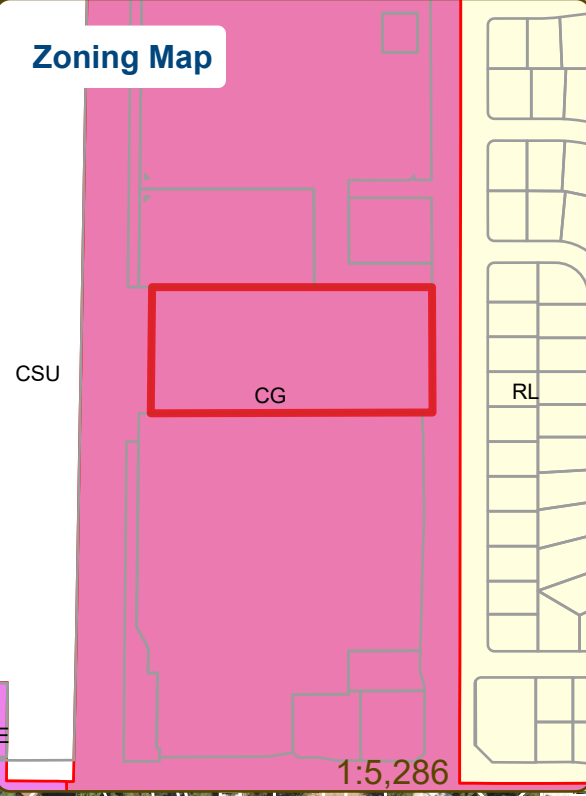


Aerial Site Map

Vicinity Map



Zoning Map



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PRELIMINARY DESIGN REVIEW: APPLICATION

General Information

Preliminary design review is an opportunity for an applicant to discuss the requirements, standards, procedure, and potential modifications of standards or variances that may be necessary for a project and to generally consider the development proposal design which has been evaluated as a part of the conceptual review process. While the conceptual review process is a general consideration of the development proposal, a Preliminary Design Review considers the development proposal in greater detail. Problems of both a major and minor nature can be identified and solved during the preliminary design review before a formal application is made.

Preliminary design review applications must be submitted to City Staff no later than Wednesday at 5:00pm three weeks prior to the anticipated Wednesday meeting date. Application materials can be e-mailed to planning@fcgov.com or sent to/dropped off at 281 North College Avenue.

Representatives of Community Development and Neighborhood Services (Zoning, Environmental Planning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning), Historic Preservation and Poudre Fire Authority regularly attend preliminary design review meetings. Additionally, other public or quasi-public agencies which may be impacted by the development project are invited and encouraged to attend the preliminary design review. These agencies may include the gas utility, water and/or wastewater utility districts, ditch companies, railroads, cable television service providers and other similar agencies.

Upon receipt of a preliminary development proposal for review, and after review of such proposal with the applicant, the staff shall furnish the applicant with written comments and recommendations regarding such proposal in order to inform and assist the applicant prior to preparing components of the development application. The staff shall provide the applicant with a "critical issues" list, which will identify those critical issues that have surfaced in the preliminary design review as issues that must be resolved during the review process of the formal development application. To the extent that there is a misunderstanding or a misrepresentation of facts, the opinion of the staff may change during the course of development review.

Section to be filled out by City Staff
Date of Meeting Project Planner
Submittal Date Fee Paid (\$500)

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Project Name

Project Address (parcel # if no address)

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc)

Business Name (if applicable)

Applicant Mailing Address

Phone Number E-mail Address

Basic Description of Proposal (a detailed narrative is also required)

Zoning Proposed Use Existing Use

Total Building Square Footage S.F. Number of Stories Lot Dimensions

Age of any Existing Structures

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

*If any structures are 50+ years old, good quality, color photos of all sides of the structure are required.

Is your property in a Flood Plain? Yes No If yes, then what risk level?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains

Increase in Impervious Area S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)



SUBMITTAL INFORMATION:
PRELIMINARY DESIGN REVIEW (PDR)

- 1) Preliminary Design Review Application form and filing fee (\$500).
- 2) **Project Narrative** – Please include the following information:
 - (a) What are you proposing/use?
 - (b) What improvements and uses currently exist on the site?
 - (c) Describe the site circulation (auto and pedestrian), parking and how it coordinates with the existing neighborhood.
 - (d) Describe site design and architecture.
 - (e) How is your proposal compatible with the surrounding area?
 - (f) Is water detention provided? If so, where? (show on site plan)
 - (g) How does the site drain now (on and off site)? Will it change? If so, what will change?
 - (h) What is being proposed to treat run-off?
 - (i) How does the proposal impact natural features?
 - (j) Do any existing structures have automatic fire sprinklers? Will the new structures have fire sprinklers?
 - (k) Are there any unusual factors and/or characteristics are present that may restrict or affect your proposal?
 - (l) Have you previously submitted an application?
 - (m) What specific questions, if any, do you want addressed?
- 3) **Site Plan** – Please consider including the following:
 - (a) Project site boundary and adjacent property uses
 - (b) Proposed circulation system, and how it ties into existing infrastructure (pedestrian and auto)
 - (c) Existing and proposed landscaping (Will trees be removed?)
 - (d) Existing and proposed buildings (Will they remain? If they will change, how?)
 - (e) Existing natural features (Will these be impacted by the proposal?)
 - (f) On and off site improvements
 - (g) Location of detention, drainage and water quality features
 - (h) Emergency vehicle access and fire hydrant locations



NELSON Worldwide
448 South Hill Street, Suite 1001
Los Angeles, CA 90013

06/12/2024

Project Narrative

Project: Bank of America South College and Drake
Project #23.0003788.000

(a) What are you proposing/use?

We are proposing a single story, slab on grade, steel frame structure. Stucco/Composite clad exterior with an exterior covered Drive-up ATM service for traditional banking and financial services.

(b) What improvements and uses currently exist on the site?

Current site is being used as a Restaurant with off-street parking surrounding the building.

(c) Describe the site circulation (auto and pedestrian), parking and how it coordinates with the existing neighborhood.

Proposed auto circulation aligns with existing (E/W) drive aisles. Offsite improvements to the south as proposed through design plans prepared by Kimley Horn influences cross lot (N/S) auto circulation. Pedestrian circulation is proposed to have direct access to the existing public walk within the ROW and maintains connectivity west to existing retail.

(d) Describe site design and architecture.

The proposed site design demolishes the existing restaurant building and locates the proposed bank nearer to the ROW with ATM lanes away from S College Ave. The proposed building will be a single-story masonry/composite clad exterior with a sloped roof tower at the entry. The building is supported by steel structure with slab on grade ground floor slab.

(e) How is your proposal compatible with the surrounding area?

The proposed bank (retail) fronts S College Ave. and is surrounded by existing retail to the north, west, and south.

(f) Is water detention provided? If so, where? (Show on site plan)

No stormwater detention is proposed. Impervious area will be less than existing.

(g) How does the site drain now (on and off site)? Will it change? If so, what will change?

The existing restaurant site drains via multiple drainage structures. The pipe system size and alignment is not known at this time but is anticipated to be adequate for a proposed development of less impervious area.

(h) What is being proposed to treat run-off?

No stormwater treatments are proposed. - - or, if we need to, we could take a route and say. A vegetative filter is proposed within the south grass buffer to treat runoff from southern limits of parking and building.

(i) How does the proposal impact natural features?

By relocation of the principal building, existing trees surrounding the existing restaurant will be impacted (removed). All existing trees to the west and associated with the existing retail will be preserved as well as all trees within the ROW. The creation of interior parking lot islands will allow for planting of new trees.

(j) Do any existing structures have automatic fire sprinklers? Will the new structures have fire sprinklers?

Existing restaurant photos found online shows no sprinklers in the building. The proposed structure will also not include sprinklers due to occupancy being less than the minimum count for sprinklers per code.

(k) Are there any unusual factors and/or characteristics are present that may restrict or affect your proposal?

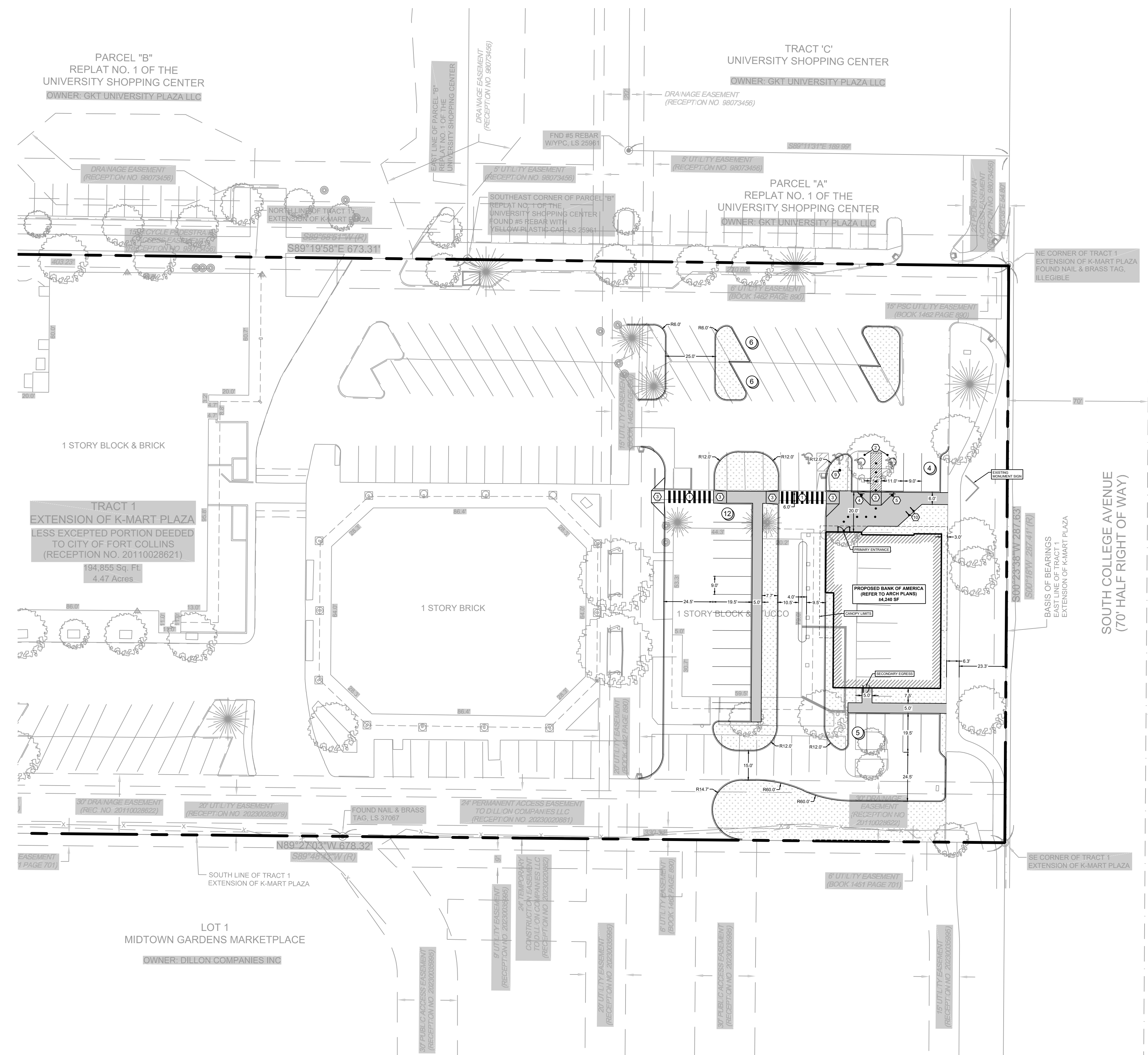
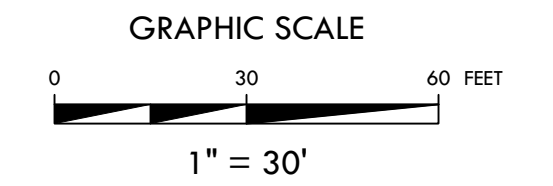
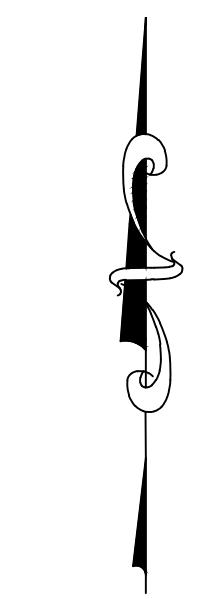
Our proposal includes a drive-through.

(l) Have you previously submitted an application?

Previous applications had been submitted by Bank of America in 2021.

(m) What specific questions, if any, do you want addressed?

1. Storm run-off treatments – what are some of the preferred methods for this?
2. Will there be Utility cut/off fee for demolition? Will there be a Utility connection fee?
3. Is outdoor irrigation required for this site?



SYMBOL KEY	
1	CROSSWALK / PED. CROSSING TYPICAL SEE PAVING DETAILS
2	TYPICAL ACCESSIBLE PARKING SPACES SEE PAVING DETAILS (TYP)
3	INSTALL BARRIER FREE RAMP (BFR) REFER TO PAVING DETAILS (TYP)
4	ACCESSIBLE PARKING SIGNAGE IN BOLLARD PER DETAIL
5	VAN ACCESSIBLE PARKING SIGNAGE IN BOLLARD PER DETAIL
6	TRANSITION CURB
7	PROPOSED DRAINAGE STRUCTURE. REFER TO DRAINAGE PLAN (TYP)
8	LIGHT POLE (REF. MEP)
9	FLAGPOLE PER BANK STANDARD
10	BIKE RACK PER BANK STANDARD

LEGEND	
PROPERTY LINE	---
PROPOSED FACE AND BACK OF CURB	=====
PROPOSED HOT MIX ASPHALT PAVEMENT	[Pattern]
PROPOSED REINFORCED CONCRETE PAVEMENT	[Pattern]
PROPOSED REINFORCED CONCRETE SIDEWALK DETAIL	[Pattern]
LANDSCAPE AREA	[Pattern]
PROPOSED SIGN	[Symbol]
PARKING COUNT	(5)
ACCESSIBLE ROUTE
PAINTED TRAFFIC ARROW	➔
CONCRETE BOLLARD (REFER TO ARCH DETAIL)	•
PROPOSED LIGHT POLE (REF GMR PLANS)	[Symbol]

STANDARD ACCESSIBILITY REQUIREMENTS	
PARKING:	
A	ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE FOR NO LESS THAN ONE VAN SPACE FOR EVERY 6 ACCESSIBLE SPACES.
B	EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. APPROPRIATE VAN ACCESSIBLE SPACES MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AS NOTED TO 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF SIGN.
C	ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.
RAMPS:	
D	RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
E	RAMPS SHALL HAVE A SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE TO SIGNIFICANTLY CONTRAST FROM ADJACENT SURFACES OR COLORS ONLY IF REQUIRED BY LOCAL OR STATE JURISDICTION.
F	LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (60" MINIMUM FOR CURB RAMPS)
G	RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30° RISE
H	RAMPS AND LANDINGS SHALL NOT EXCEED 1:48 (2% CROSS SLOPE)
SIDEWALKS AND ACCESSIBLE ROUTES:	
I	SIDEWALKS MUST BE AT LEAST 36" WIDE WITH 5'x5' CLEAR PAVING OPPORTUNITIES IN INCREMENTS LESS THAN 150' IF SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:48 (2%)
J	LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

****NOTICE TO CONTRACTORS - UTILITIES****

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. THE GOVERNING MUNICIPALITY, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

**** NOTICE TO CONTRACTORS - TOPOGRAPHIC SURVEY ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY NORTHERN ENGINEERING FOR CONCEPTUAL USE ONLY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E) WHICH NEGATIVELY IMPACT THE PROJECT. THE ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE EAST LINE OF TRACT 1, EXTENSION OF K-MART PLAZA, AS BEARING SOUTH 00°23'38" WEST, WITH THE SOUTHEAST CORNER OF SAID TRACT 1, BEING A NAIL AND BRASS TAG, LS 38470 AND THE NORTHEAST CORNER OF SAID TRACT 1, BEING A NAIL AND BRASS TAG, ILLEGIBLE AND WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.



PARKING SUMMARY	
MINIMUM:	2 SPACES PER 1,000 SF GLA 4,240 / 1,000 X 2 = 8 SPACES
MAXIMUM:	3.5 SPACES PER 1,000 SF GLA 4,240 / 1,000 X 3.5 = 15 SPACES
ADJACENT PARKING EXISTING:	54 SPACES
ADJACENT PARKING PROPOSED:	33 SPACES
REDUCTION IN ADJACENT PARKING:	21 SPACES
TOTAL SHARED PARKING:	103 SPACES
ADJACENT ADA PARKING STALLS REQUIRED:	2
ADJACENT ADA PARKING STALLS PROVIDED:	2 (1 VAN ACCESSIBLE)

Date	Description	No.
Revisions		
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW, AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF CARTER POWELL DELAUNAY, P.E. REGISTRATION No. 0054611, ON 6/11/2024. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION OR PERMIT PURPOSES.		
LANGAN		
Langan Engineering and Environmental Services, LLC 300 Union Boulevard, Suite 405 Lakewood, CO 80228 T: 303.262.2000 www.langan.com		

BANK OF AMERICA 2413 S COLLEGE AVE	
CITY OF FORT COLLINS	
LARIMER COUNTY COLORADO	
Drawing Title	
SITE PLAN	
Project No.	Drawing No.
532045801	C3.0
Date	JUNE 2024
Drawn By	NPF
Checked By	BRH

811
Know what's below.
Call before you dig.

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

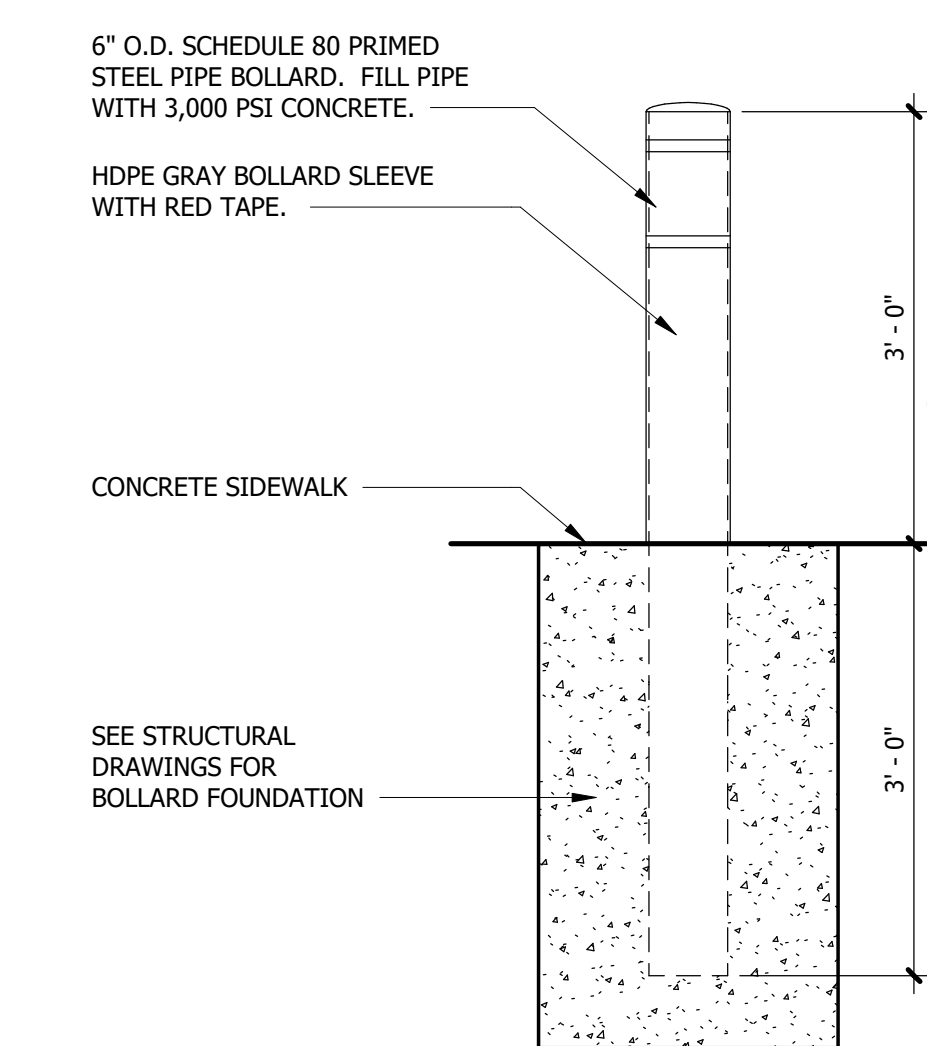
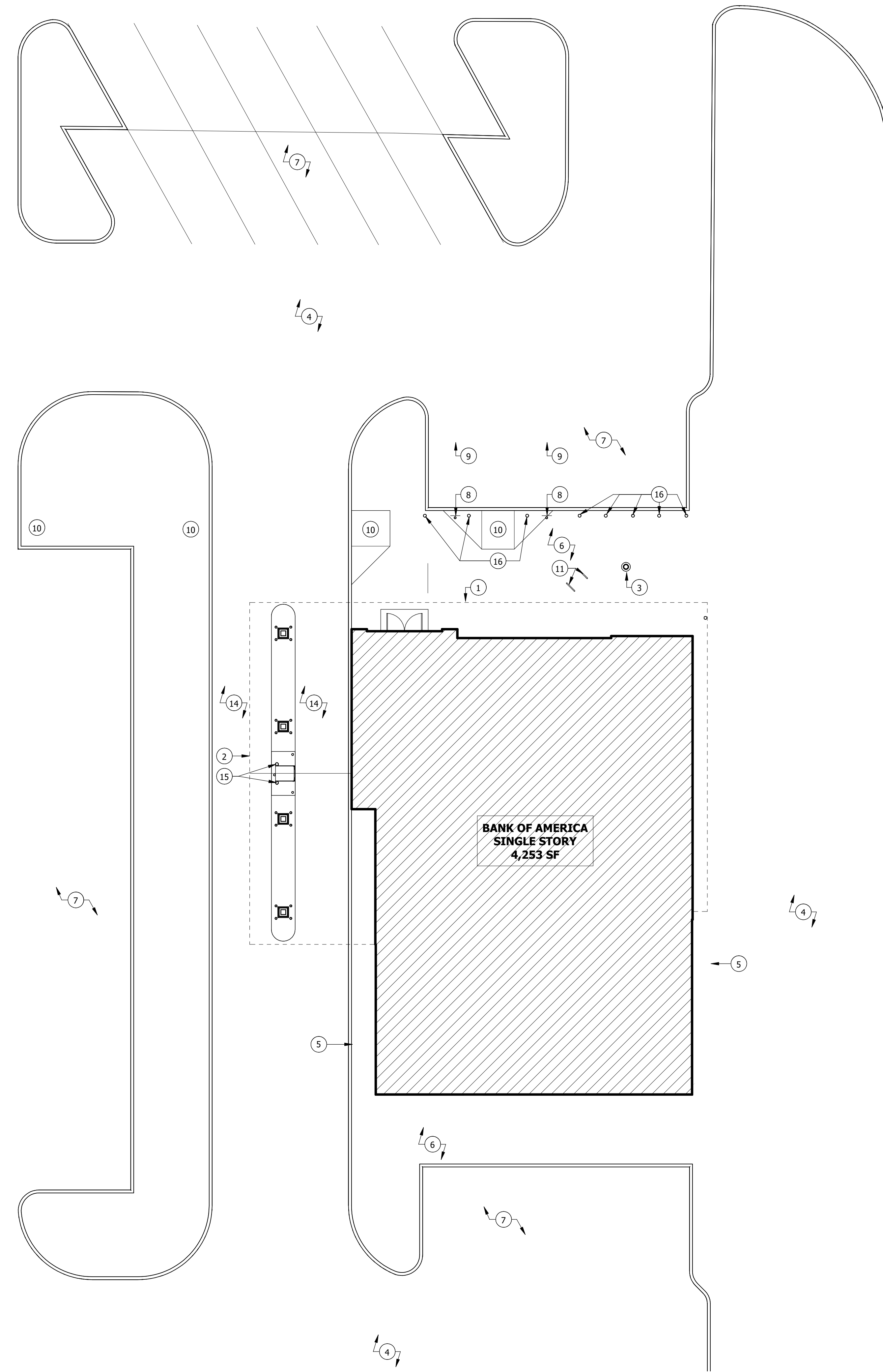
SITE GENERAL NOTES:

- A. ALL SIDEWALK AND EGRESS ROUTE SLOPE TO BE 2% MAX (1.5% RECOMMENDED).
- B. ALL WALKWAY CAULKING TO BE GREY.
- C. 2% MAX SLOPE (CROSS & PATH ACROSS DRIVE IS 4.56%) AT DOOR MANEUVERING CLEARANCE 1.5%.
- D. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
- E. SITE SIGNAGE BY BANK VENDOR. SEE SIGNAGE PACKAGE FOR SITE DIRECTIONAL AND/OR MONUMENT/PYLON SIGN.
- F. COORDINATE SITE LIGHTING WITH CIVIL & ELECTRICAL DRAWINGS.
- G. COORDINATE WITH LANDSCAPE DRAWINGS FOR LAYOUT.

SITE KEYNOTES:

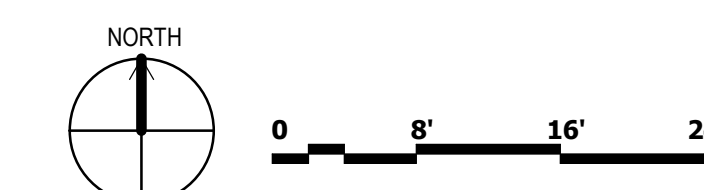
- 1. ACM CANOPY ABOVE.
- 2. DRIVE-THRU CANOPY ABOVE.
- 3. FLAGPOLE, SEE SHEET A09.30 FOR DETAILS. PROVIDE POWER AS REQUIRED FOR LIGHT.
- 4. ASPHALT PAVING PER DOT SPEC. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
- 5. CURB, TYP. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
- 6. CONCRETE SIDEWALK. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
- 7. STRIPING. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
- 8. PARKING SIGN: PER BANK OF AMERICA SIGNAGE AND ADA GUIDELINES. SEE A09.30 AND CIVIL DRAWINGS FOR MORE INFORMATION. 36"H x 6" DIA. SCHEDULE 80 PIPE BOLLARD PROVIDED BY GC - COORDINATE WITH SIGN VENDOR FOR INSTALLATION OF POST AND BOLLARD COVER.
- 9. INTERNATIONAL SYMBOL OF ACCESSIBILITY. SEE CIVIL DRAWINGS.
- 10. ADA RAMP PER IBC AND ANSI. MAINTAIN CLEARANCE AT ENTRY DOOR AS REQUIRED PER CODE AND AS SHOWN. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
- 11. "INVERTED-U" BIKE RACKS. COORDINATE FINAL LOCATION WITH OWNER.
- 12. NEW SITE LIGHT POLE. SEE CIVIL & ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 13. CONCRETE DIVIDER ISLAND.
- 14. PROVIDE CONCRETE DRIVE LANE UNDER CANOPY AT DRIVE-THRU. SEE CIVIL DRAWINGS.
- 15. PROVIDE BOLLARDS AS INDICATED, SEE 8/A08.11 FOR DETAIL.
- 16. 36"H x 6" DIA. SCHEDULE 80 BOLLARD WITH GRAY AND RED STRIPED PVC BOLLARD COVER. GC IS TO PROVIDE AND INSTALL BOLLARD AND BOLLARD COVER AS SHOWN IN DETAIL 2/A00.60
- 17. LIGHT POLE (REF MEP)

Description: IF Schematic Design
No: 02/27/2024
IF DD 60 COE 03/25/2024



2 A00.60 DETAIL - BOLLARD
3/4" = 1'-0"

1 A00.60 SITE PLAN
3/32" = 1'-0"



BANK OF AMERICA
S. College and Drake

CO1-136
2413 S. College Ave.
Fort Collins, CO 80525
PROPERTY ID: KY6-128
NSRP VERSION: 2.0
BULLETIN: 2-2023

ARCHITECTURAL SITE PLAN

Client Representative:

Cushman & Wakefield
Attn: David Sherman
Tel: 618.791.9563
Email: david.sherman@cbre.com

Architect:

Nelco Architecture, Inc.
Attn: Harry Koutsis
Tel: 310.693.5217
Email: hkoutsis@nelsonww.com

AOR Contact: TBD

Tel: -
Email: -

MEP and Structural:

TBD
Attn: TBD
Tel: -
E: -

Civil:

Langan
Attn: Shawn Hill
Tel: 903.324.8419
Email: Shill@Langan.com

CONSTRUCTION PLAN NOTES:

- A. ALL PARTITIONS TO BE TYPE "A1", UNLESS OTHERWISE NOTED. REFER TO SHEET A12.01 FOR PARTITION TYPES.
- B. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 6" FROM ADJACENT PERPENDICULAR PARTITION.
- C. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT AND ACCESSORIES MOUNTED ON WALLS.
- D. DIMENSIONS PROVIDED ARE SHOWN FROM FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- E. ALLSTEEL OFFICE FRONT SYSTEM: DFC-1A ASPECT. ORDERED BY GC. FURNISHED AND INSTALLED BY BANK VENDOR

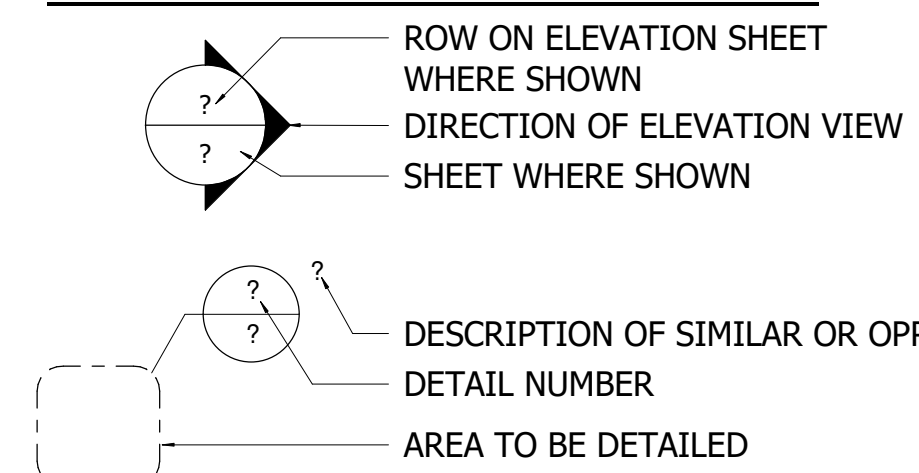
CONSTRUCTION KEY NOTES:

1. TACTILE EXIT SIGNAGE. SEE 9/A00.40
2. APPROXIMATE LOCATION OF KNOX BOX. COORDINATE WITH LOCAL FIRE AUTHORITY FOR FINAL LOCATION.
3. LADDER TO ROOF HATCH - SEE DETAIL ON SHEET A09.30.
4. ROOF HATCH ABOVE - SEE DETAIL ON SHEET A09.30.
5. PROVIDE BLOCKING IN WALL AS REQUIRED FOR LOCKERS. COORDINATE WITH VENDOR.
6. PROVIDE FIRE RATED 3/4" PLYWOOD BACKBOARD AT WALLS AS INDICATED, INSTALLED TO 8'-0" ABOVE FINISH FLOOR. ALL WALL POWER/DATA OUTLETS SHALL BE RECESSED AND FLUSH WITH THE PLYWOOD PANELS. SEE INTERIOR ELEVATIONS SHEET A08.07
7. 85" DISPLAY MEDIA MONITOR. SEE ELECTRICAL FOR MORE INFORMATION. COORDINATE WITH INSTALLATION INSTRUCTIONS AND PROVIDE BLOCKING IN WALL AS REQUIRED.
8. FLAGPOLE (SEE SITE PLAN)
9. NO WATER PIPING SHALL BE ROUTED THROUGH OR OVERHEAD THIS ROOM.
10. LOCATION OF ROLLING TRASH CONTAINER.
11. LOCATION OF MOP BUCKET.

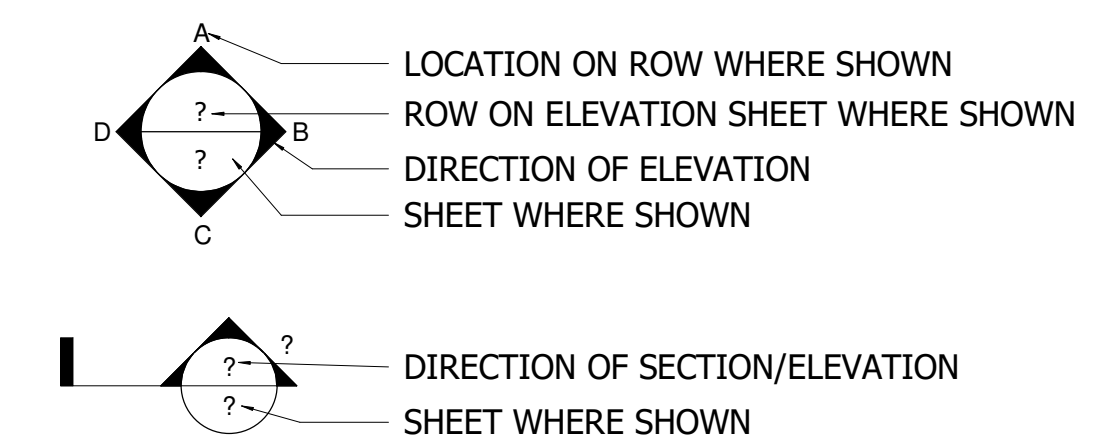
CONSTRUCTION PLAN LEGEND:

NIC	NOT IN CONTRACT (NIC)
A1	NEW PARTITION (SEE SCHEDULE)
---	NEW PARTITION WITH PLY BLOCKING
///	NEW PARTITION WITH KEVLAR REINFORCEMENT
OFFICE	ROOM NAME
04F06	ROOM NUMBER
XXXX	DOOR NUMBER (SEE SCHEDULE)
+	ELEVATION DATUM POINT
ALIGN	ALIGN SURFACES
///	MILLWORK MILLWORK SCHEDULE TAG
■	FIRE EXTINGUISHER CABINET
⤴	NEW SWING DOOR WITH DOOR TYPE. (SEE DOOR SCHEDULE)

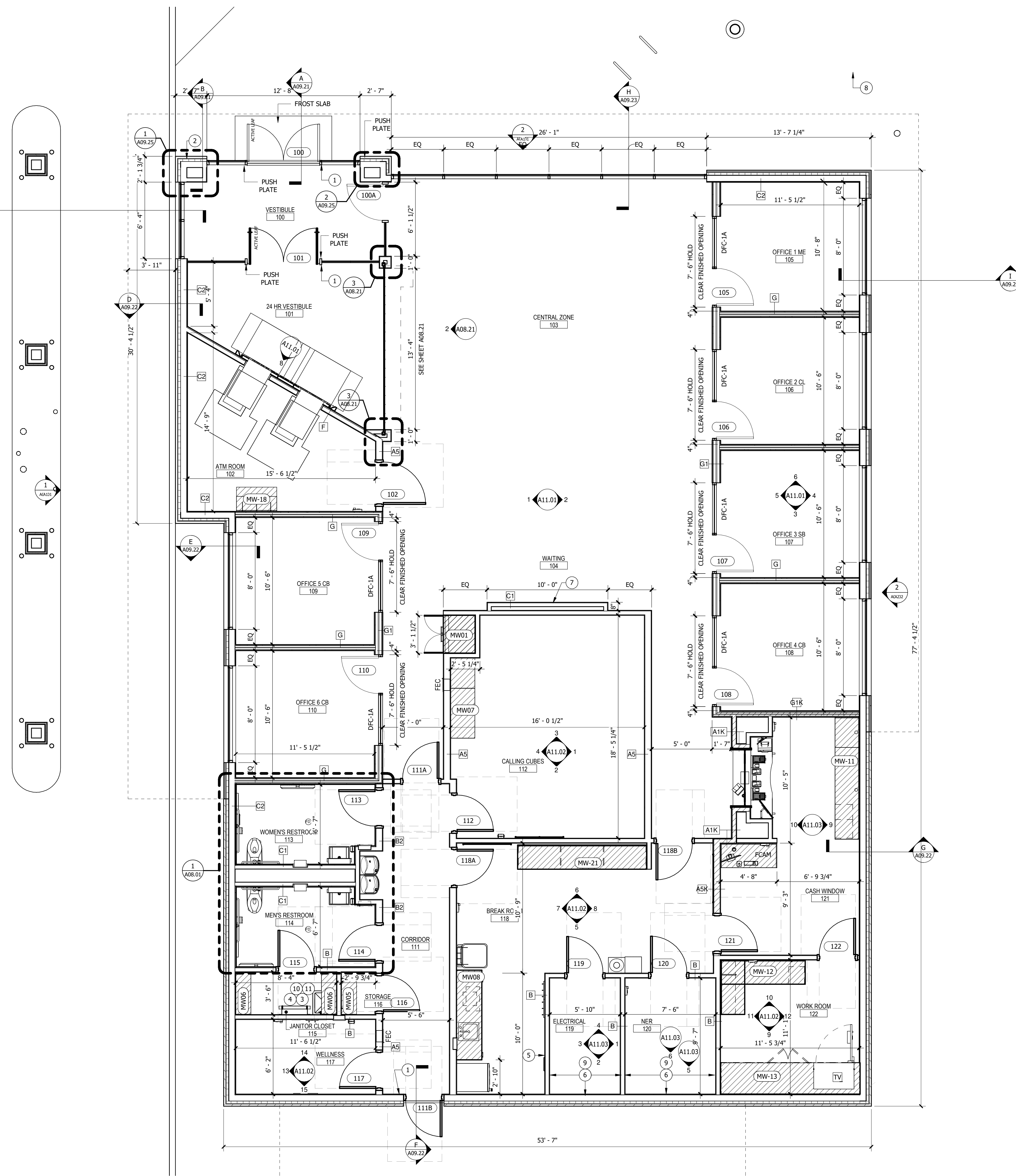
EXTERIOR ELEVATION INDICATOR



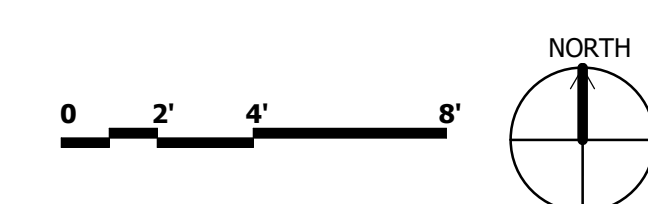
INTERIOR ELEVATION INDICATION



Description: IF Schematic Design No: 02/27/2024



CONSTRUCTION PLAN
1/4" = 1'-0"



BANK OF AMERICA
S. College and Drake

CO1-136
2413 S. College Ave.
Fort Collins, CO 80525
PROPERTY ID: KY6-128
NSRP VERSION: 2.0
BULLETIN: 2-2023

CONSTRUCTION PLAN

EXTERIOR FINISHES:

BRICK

BR-1 GLEN-GERY 9/16" MODULAR THIN BRICK VENEER; COLOR 511 ONYX SMOOTH GROUT COLOR TO MATCH THIN BRICK FORMONOLITHIC COLOR



FORMED METAL WALL PANEL

EPS-5 PURE & FREEFORM HORIZONTAL FORMED METAL WALL PANEL; ROMA NOCE #SN043 SATIN



STONE VENEER

ST-1 CORONADO CLASSIC SERIES SMOOTH LIMESTONE. COLOR; CREAM. 12" X 24"; GROUT COLOR TO MATCH LIMESTONE FOR A MONOLITHIC LOOK



ALUMINUM COMPOSITE METAL PANEL

EPS-1 CLEAR ANODIZED ALUMINUM



EXTERIOR FINISH SCHEDULE:

BRICK

BR-1 GLEN-GERY 9/16" MODULAR THIN BRICK VENEER; COLOR 511 ONYX SMOOTH GROUT COLOR TO MATCH THIN BRICK FOR MONOLITHIC COLOR

ALUMINUM COMPOSITE METAL PANEL (B.O.D. - CITADEL)

EPS-1 CITADEL ENVELOPE 2000 RAINSCREEN (RS); CLEAR ANODIZED SATIN APPROVED ACM ALTERNATE:

EPS-1A ARCONIC, REYNOBOND EC-200 DRY JOINT SYSTEM; CLEAR ANODIZED SATIN

FORMED METAL WALL PANEL SYSTEM (PURE & FREEFORM)

EPS-5 HORIZONTAL FORMED METAL WALL PANEL; ROMA NOCE #SN043 SATIN

STONE VENEER

ST-1 CORONADO CLASSIC SERIES SMOOTH LIMESTONE. COLOR; CREAM. 12" X 24"; GROUT COLOR TO MATCH LIMESTONE FOR A MONOLITHIC LOOK

EXTERIOR GLAZING

GL-2 1" TEMPERED INSULATED GLAZING AS SPECIFIED

ALUMINUM GLAZING FRAME

AF-2 ALUMINUM STOREFRONT SYSTEM; CLEAR ANODIZED ALUMINUM FINISH

EXTERIOR PAINT

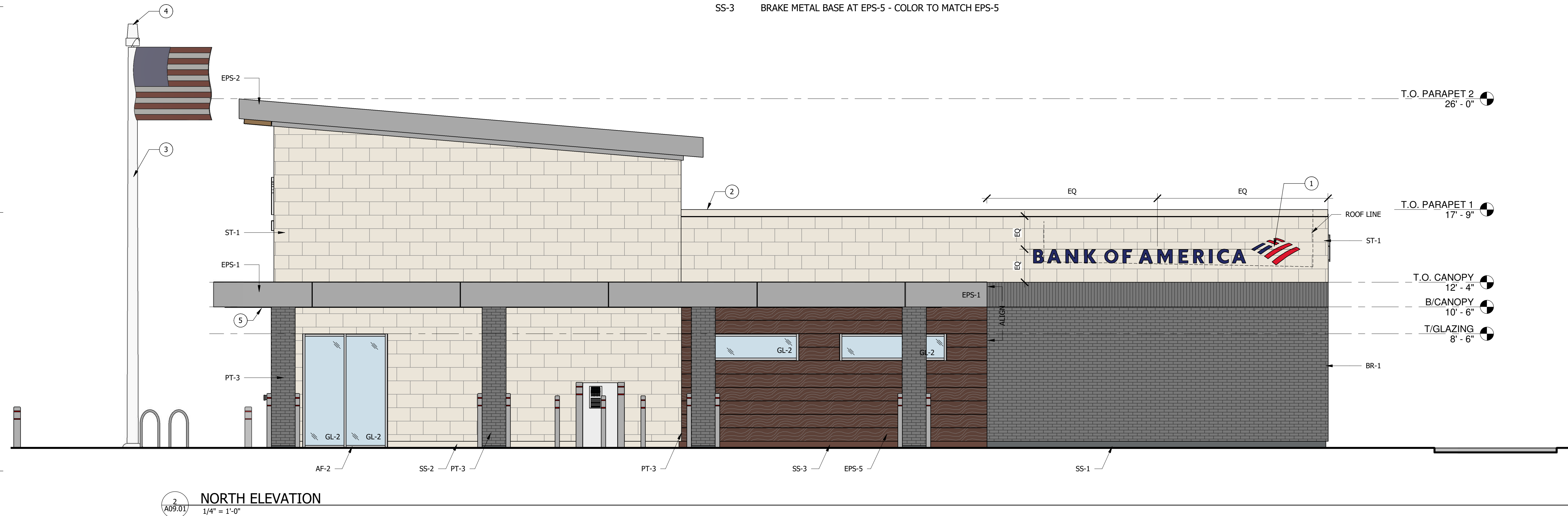
EXPT-1 EXTERIOR PAINT; BENJAMIN MOORE: CHARCOAL SLATE FLAT

EXTERIOR SEALANT COLOR

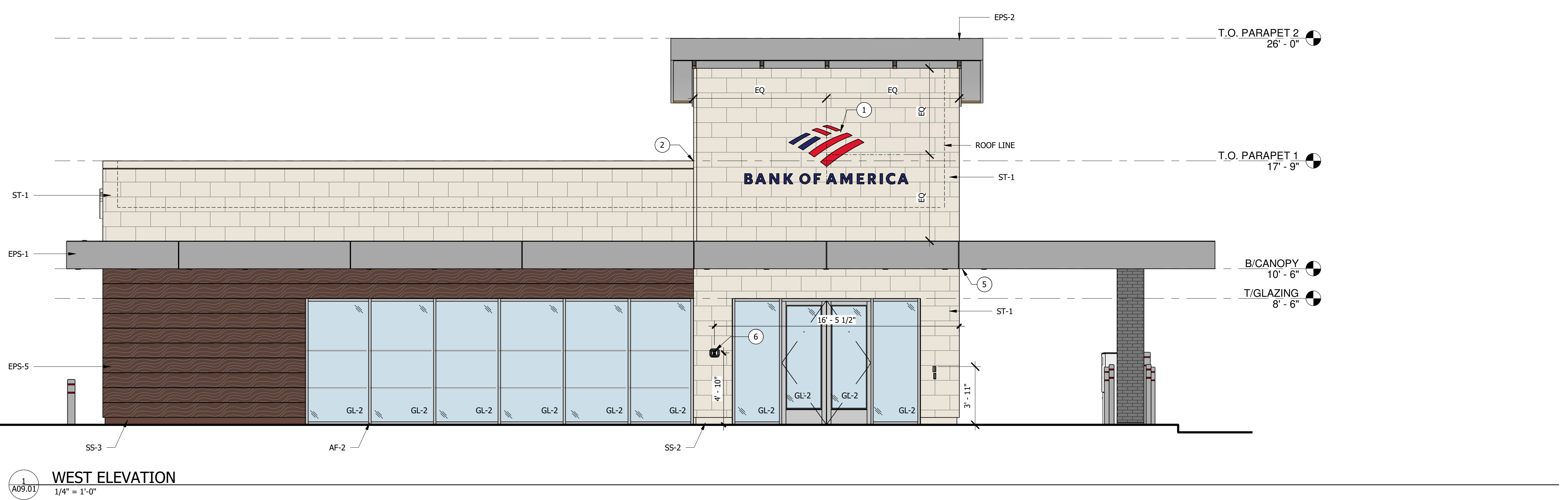
GLAZING AT EXTERIOR STOREFRONT	BLACK
METAL PANEL TO METAL PANEL	MATCH CLIP
WINDOW FRAME/STOREFRONT TO STONE	MATCH FRAME
WINDOW FRAME/STOREFRONT TO METAL PANEL	MATCH FRAME
STONE TO BRICK	MATCH BRICK

FLASHING BASE

SS-1 BRAKE METAL BASE AT BR-1 - COLOR TO MATCH BR-1
SS-2 BRAKE METAL BASE AT ST-1 - COLOR TO MATCH ST-1
SS-3 BRAKE METAL BASE AT EPS-5 - COLOR TO MATCH EPS-5



2 NORTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"

EXTERIOR GENERAL NOTES:

- CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- SIGNAGE SHOWN FOR REFERENCE ONLY - TO BE COVERED UNDER SEPARATE DESIGN AND PERMIT BY OWNER VENDOR.
- REFER TO A12.11 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM.
- REFER TO DETAIL SHEETS FOR TYPICAL WINDOW FLASHING DETAILS.

EXTERIOR KEY NOTES:

- BANK OF AMERICA SIGN BY OWNER. COORDINATE SIGNAGE LOCATIONS AND POWER REQUIREMENTS WITH VENDOR.
- PROVIDE END FLASHING AND SEALANT AT PARAPET FACE AND ADJACENT CAP.
- 30' GROUND MOUNTED FLAG POLE - PROVIDED BY CONTRACTOR. FLAG IS FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.
- LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- EXTERIOR SECURITY CAMERA. COORDINATE LOCATIONS AND TYPE WITH SECURITY VENDOR.
- GC TO COORDINATE WITH LOCAL FIRE AUTHORITY FOR MOUNTING HEIGHT AND LOCATION OF THE KNOX BOX.

EXTERIOR FINISHES:

BRICK

BR-1 GLEN-GERY 9/16" MODULAR THIN BRICK VENEER; COLOR 511 ONYX SMOOTH GROUT COLOR TO MATCH THIN BRICK FORMONOLITHIC COLOR



FORMED METAL WALL PANEL

EPS-5 PURE & FREEFORM HORIZONTAL FORMED METAL WALL PANEL; ROMA NOCE #5N043 SATIN



STONE VENEER

ST-1 CORONADO CLASSIC SERIES SMOOTH LIMESTONE. COLOR; CREAM. 12" X 24"; GROUT COLOR TO MATCH LIMESTONE FOR A MONOLITHIC LOOK



ALUMINUM COMPOSITE METAL PANEL

EPS-1 CLEAR ANODIZED ALUMINUM



EXTERIOR FINISH SCHEDULE:

BRICK

BR-1 GLEN-GERY 9/16" MODULAR THIN BRICK VENEER; COLOR 511 ONYX SMOOTH GROUT COLOR TO MATCH THIN BRICK FOR MONOLITHIC COLOR

ALUMINUM COMPOSITE METAL PANEL (B.O.D. - CITADEL)

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FORMED METAL WALL PANEL SYSTEM (PURE & FREEFORM)

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STONE VENEER

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EXTERIOR GLAZING

GL-2 1" TEMPERED INSULATED GLAZING AS SPECIFIED

ALUMINUM GLAZING FRAME

AF-2 ALUMINUM STOREFRONT SYSTEM; CLEAR ANODIZED ALUMINUM FINISH

EXTERIOR PAINT

EXPT-1 EXTERIOR PAINT; BENJAMIN MOORE: CHARCOAL SLATE FLAT

EXTERIOR SEALANT COLOR

GLAZING AT EXTERIOR STOREFRONT	BLACK
METAL PANEL TO METAL PANEL	MATCH CLIP
WINDOW FRAME/STOREFRONT TO STONE	MATCH FRAME
WINDOW FRAME/STOREFRONT TO METAL PANEL	MATCH FRAME
STONE TO BRICK	MATCH BRICK

FLASHING BASE

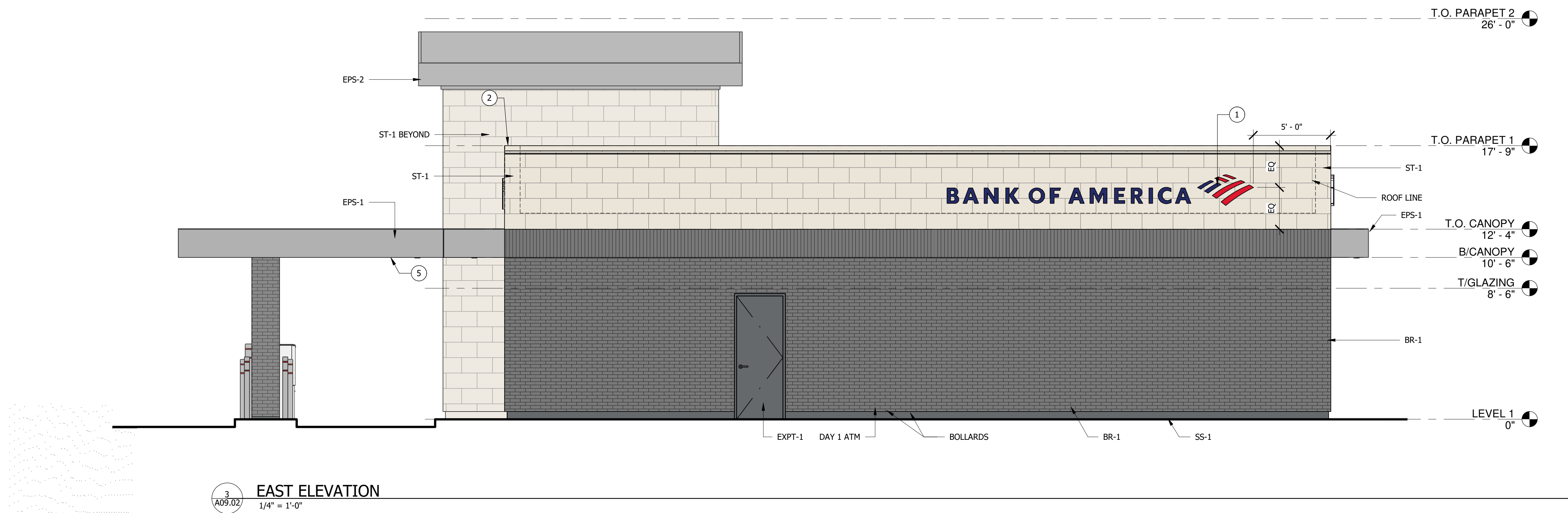
SS-1 BRAKE METAL BASE AT BR-1 - COLOR TO MATCH BR-1
SS-2 BRAKE METAL BASE AT ST-1 - COLOR TO MATCH ST-1
SS-3 BRAKE METAL BASE AT EPS-5 - COLOR TO MATCH EPS-5

EXTERIOR GENERAL NOTES:

- CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- SIGNAGE SHOWN FOR REFERENCE ONLY - TO BE COVERED UNDER SEPARATE DESIGN AND PERMIT BY OWNER VENDOR.
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3 EAST ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"