

Conceptual Review Agenda

Meetings hosted via Zoom Web Conferencing

Please use the URL and Meeting ID # listed below to join the Review Meeting

Review Date

7/24/2024 8:30 AM

Project Name

Johnson Drive Apartments

PDR240006

Applicant

Hamilton Reynolds

(706) 543-1910

Hamilton.Reynolds@LandmarkProperties.com

Planner: Arlo Schumann

Engineer: Tim Dinger

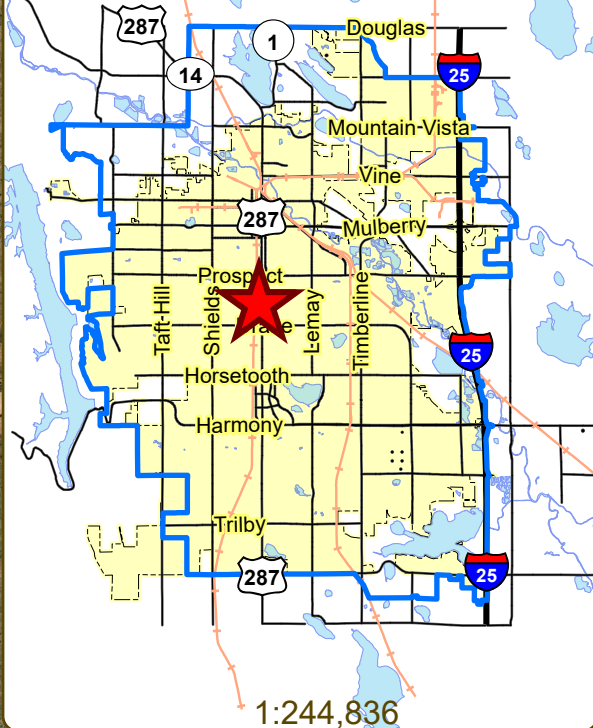
DRC: Marissa Pomerleau

Description

This is a request to continue the student-oriented multi-unit project at 255 Johnson Dr. (parcel # 9723119001). The project expired in 2023 and is moving forward with the previous proposal with minimal changes. The application is proposing a 6-story multi-unit with 193 units. There will be 400 bike parking spaces and 318 vehicular parking spaces provided in a structured parking garage on-site. Access is taken from Johnson Dr north of the property. The site is approximately 0.07 mi west of S College Ave and 0.38 mi south of W Prospect Rd. The property is located in the General Commercial (CG) Zone District and is subject to a Planning and Zoning (Type) Review.

Johnson Drive Apartments - Multi-Unit Dwelling

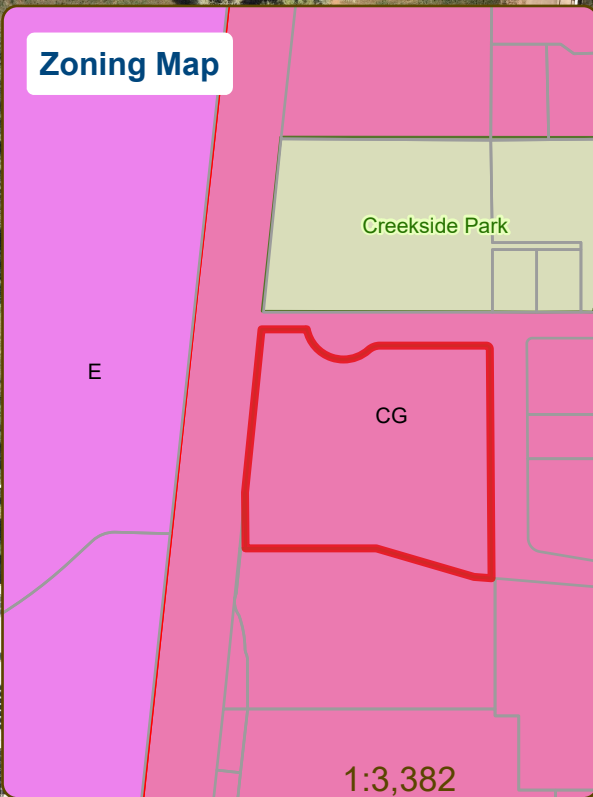
Vicinity Map



Aerial Site Map



Zoning Map



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PRELIMINARY DESIGN REVIEW: APPLICATION

General Information

Preliminary design review is an opportunity for an applicant to discuss the requirements, standards, procedure, and potential modifications of standards or variances that may be necessary for a project and to generally consider the development proposal design which has been evaluated as a part of the conceptual review process. While the conceptual review process is a general consideration of the development proposal, a Preliminary Design Review considers the development proposal in greater detail. Problems of both a major and minor nature can be identified and solved during the preliminary design review before a formal application is made.

Preliminary design review applications must be submitted to City Staff no later than Wednesday at 5:00pm three weeks prior to the anticipated Wednesday meeting date. Application materials can be e-mailed to preappmeeting@fcgov.com or sent to/dropped off at 281 North College Avenue.

Representatives of Community Development and Neighborhood Services (Zoning, Environmental Planning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning), Historic Preservation and Poudre Fire Authority regularly attend preliminary design review meetings. Additionally, other public or quasi-public agencies which may be impacted by the development project are invited and encouraged to attend the preliminary design review. These agencies may include the gas utility, water and/or wastewater utility districts, ditch companies, railroads, cable television service providers and other similar agencies.

Upon receipt of a preliminary development proposal for review, and after review of such proposal with the applicant, the staff shall furnish the applicant with written comments and recommendations regarding such proposal in order to inform and assist the applicant prior to preparing components of the development application. The staff shall provide the applicant with a "critical issues" list, which will identify those critical issues that have surfaced in the preliminary design review as issues that must be resolved during the review process of the formal development application. To the extent that there is a misunderstanding or a misrepresentation of facts, the opinion of the staff may change during the course of development review.

Section to be filled out by City Staff
Date of Meeting Project Planner
Submittal Date Fee Paid (\$1,000)

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Project Name

Project Address (parcel # if no address)

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc)

Business Name (if applicable)

Applicant Mailing Address

Phone Number E-mail Address

Basic Description of Proposal (a detailed narrative is also required)

Zoning Proposed Use Existing Use

Total Building Square Footage S.F. Number of Stories Lot Dimensions

Age of any Existing Structures

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

*If any structures are 50+ years old, good quality, color photos of all sides of the structure are required.

Is your property in a Flood Plain? Yes No If yes, then what risk level?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains

Increase in Impervious Area S.F.

(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

SUBMITTAL INFORMATION:
PRELIMINARY DESIGN REVIEW (PDR)

- 1) Preliminary Design Review Application form and filing fee (\$1000).
- 2) **Project Narrative** – Please include the following information:
 - (a) What are you proposing/use?
 - (b) What improvements and uses currently exist on the site?
 - (c) Describe the site circulation (auto and pedestrian), parking and how it coordinates with the existing neighborhood.
 - (d) Describe site design and architecture.
 - (e) How is your proposal compatible with the surrounding area?
 - (f) Is water detention provided? If so, where? (show on site plan)
 - (g) How does the site drain now (on and off site)? Will it change? If so, what will change?
 - (h) What is being proposed to treat run-off?
 - (i) How does the proposal impact natural features?
 - (j) Do any existing structures have automatic fire sprinklers? Will the new structures have fire sprinklers?
 - (k) Are there any unusual factors and/or characteristics are present that may restrict or affect your proposal?
 - (l) Have you previously submitted an application?
 - (m) What specific questions, if any, do you want addressed?
- 3) **Site Plan** – Please consider including the following:
 - (a) Project site boundary and adjacent property uses
 - (b) Proposed circulation system, and how it ties into existing infrastructure (pedestrian and auto)
 - (c) Existing and proposed landscaping (Will trees be removed?)
 - (d) Existing and proposed buildings (Will they remain? If they will change, how?)
 - (e) Existing natural features (Will these be impacted by the proposal?)
 - (f) On and off site improvements
 - (g) Location of detention, drainage and water quality features
 - (h) Emergency vehicle access and fire hydrant locations

Project Narrative | Johnson Dr Apartments

Preliminary Design Review

06/19/2024

Introduction

The Applicant is LCD Acquisitions, LLC (“Landmark” or “Landmark Properties”). Landmark Properties is a fully integrated real estate firm specializing in development, construction, management, investment, and consulting of high-quality residential communities. Backed by a deep understanding of the markets, a commitment to quality and a strong track record of success, Landmark is responsible for some of the premier student and single-family housing communities in the nation including The Standard at Fort Collins.

History of Property/Current Status

The history of the site at 255 Johnson Dr/Spring Ct. is intricate and goes back several years. Below is a summary of previous entitlement milestones:

- A development proposal was reviewed and approved by the City from 2017- 2020.
- Footing & Foundation Permit issued February 2020.
- Development Construction Permit was issued in May of 2021.
- The developer ceased construction on the site in March 2022 and the site has remained in the same condition since then.
- Vested Rights expired in 2023 - Public Infrastructure was not completed in required timeframe and thus the project is expired.

So, what is next for the property? Landmark is currently under contract with the owner to purchase the property and project, herein referred to as the applicant. The project plans will re-engage the Development Review process to get re-entitled before construction can commence on the site. A Preliminary Design Review is the next step. The intent of the project moving forward is to keep the design the same and move forward with minimal changes. The existing conditions are also being evaluated to see what may or may not be salvaged during the construction process.

Preliminary Design Review Criteria

(a) What are you proposing/use?

The proposed use is a 6-story multifamily student-oriented residential project accommodating 193 units with a total of 397 beds. The applicant plans to submit a modification request to the 4-story building height max in the General Commercial (CG) Zone District as was also requested and approved for the original project.



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(b) What improvements and uses currently exist on the site?

The site is currently an abandoned construction site with visible foundations and elevator shafts. As of this application, it is believed that all water and sewer services to the building have been built, and transformers have been installed. Also, most of the storm outfall to Spring Creek has been built, except for the outfall to Spring Creek. Based on aerial photography, approximately 75% of the building foundation has been built and a portion of the parking garage. The site work items still left to be built for the Johnson Drive Apartments include sidewalks, retaining walls, curb and gutter along Johnson Drive and Spring Court, and landscaping.

(c) Describe the site circulation (auto and pedestrian), parking and how it coordinates with the existing neighborhood.

Vehicular access to parking is provided with one access point along Spring Court. Primary pedestrian access is provided from Johnson Drive and the Spring Creek Trail. Spring Court is proposed to be widened to meet the LCUASS local connector roadway width and ROW requirements. Additional ROW was dedicated via the final plat by the previous developer. The site is in close proximity to commercial businesses (including Whole Foods, King Soopers, various banks, multiple restaurants and fast-food options as well as coffee shops), CSU, the Spring Creek and Mason Trail system, the MAX, and bus transportation. This makes it a prime location for student housing, as it allows for multi-modal transportation options that provide connections throughout the city.

As for parking, there will be 400 bike parking spaces for residents and 318 vehicular parking spaces provided in a structured parking garage on-site.

(d) Describe site design and architecture.

The site will consist of a 6-story podium type building with parking in a garage within the building footprint on floors 1 and 2. The parking garage is enclosed and secured with screens and door access. Screens on parking garage levels 1 and 2 are 3 different patterns to add interest to the garage base and will mimic glass/storefront in appearance to break up façade.

The building shows articulation and material palette of (brick, stone, fiber cement panels, storefront glass or spandrel panels) on all sides, not just street sides giving the building a 360-degree finish instead of just the street sides. Brick is used down low as much as possible on street sides to mimic the look of old town Fort Collins. The brick colors and overall material palette was chosen to bring the downtown look to this part of town. Small canopies added with tie-rod supports to add cover to entry way to buildings and add interest to façade. Varying roof heights on corners and corner balconies on select apartments adds interesting form to the building corners.



Courtyard amenities are provided on the 3rd floor, and they face outward with good views of the mountains, park and streets. The courtyards are placed to break up the overall mass of the building and add interest especially to the street sides. Landscaping within courtyards will make appearance from the street softer and interesting seeing vegetation in between building masses. Balconies face the park for certain apartments to optimize views.

(e) How is your proposal compatible with the surrounding area?

The surrounding area consists of commercial businesses to the east and south, Creekside Park and multifamily residential to the north, and the Max transit line to the west. There are a few things about the surrounding area and the site itself that make it a great location for a 6-story building. To the north is another student housing and mixed-use complex that is 4 and 5-stories tall. This site is also tucked behind the businesses that front College Ave. Other buildings to the south are perched at a higher elevation, which lessens the height in comparison. The hill on the south side of the site also helps to further break down the building's scale.

The purpose of the TOD Overlay district is to allow for a "mix of goods and services within convenient walking distance of transit stations; encourage creation of stable and attractive residential and commercial environments..." The proposal is compatible with the surrounding area and zone districts because it allows for a mix of uses that are conveniently located to transit and other amenities.

(f) Is water detention provided? If so, where? (show on site plan)

The approved Johnson Drive Apartments project was required to detain the difference between the historic and developed 100-year rate. Due to the historic condition of the site being mostly a paved storage facility, the detention requirements for the project were relatively minimal. The Johnson Drive Apartments design accounted for detention within a vault internal to the parking structure.

(g) How does the site drain now (on and off site)? Will it change? If so, what will change?

The historic property (prior to the Johnson Drive Apartments project) drained via sheet flow to an inlet in Johnson Drive. The outfall for the inlet was never located. The only direction the stormwater could drain was to Spring Creek. The proposed Johnson Drive Apartments built a storm sewer with the intent that it would outfall to Spring Creek. This drainage pattern will not change.

(h) What is being proposed to treat run-off?

A vault internal to the parking garage was approved with the Johnson Drive Apartments project. This vault provided both detention and water quality for the stormwater runoff from the building. The water quality and LID treatment was provided within this vault by means of a sand filter. This vault is currently built.

(i) How does the proposal impact natural features?

The proposal will have minimal impact on natural features. Because the building is proposed to align with the natural habitat buffer zone, there was previously an approved alternative compliance request



to allow for 4 motion-sensor building mounted light fixtures to be installed along the south portion of the proposed building to illuminate the walkway. The pathway was previously required as a secondary means of egress and as a performance standard within the Land Use Code Section – Natural Habitat and Features. We plan to submit an alternative request for this with the new proposal.

(j) Do any existing structures have automatic fire sprinklers? Will the new structures have fire sprinklers?

The site doesn't currently have any finished structures, therefore there are no existing fire sprinklers. The proposed building will be fully sprinklered with NFPA 13 system using fire pump, fire command room, additional standpipes added to the courtyards, back-up/emergency generator, pressurized stairs and elevator, areas of refuge on each floor, and host of other fire sprinkler and fire alarm devices per the Poudre Fire District approvals. Sprinklers in the parking garage area are dry type systems to prohibit freezing.

(k) Are there any unusual factors and/or characteristics are present that may restrict or affect your proposal?

This site and situation are incredibly unusual and there are many factors involved in the feasibility of the project and characteristics that could restrict the viability of moving forward with this site. Because there was a previously approved project that has been vetted with outreach and multiple iterations of review and design, there should be a limited scope for the review and limited vetting left to do. With the minimal changes we are proposing to the plans, it will still meet the intent of the previously approved plans and will adhere to the code requirements.

Because construction has been halted for several years, the viability of the existing improvements is in question, which makes it difficult to know what can be salvaged moving forward. The site has been in a blighted condition, with trash accumulation, weeds, trespassing and other visual nuisances. Because of the safety and environmental hazards that this site poses in its current condition, it would be in the best interest of the public and the City to see this site developed and the area activated in a positive way.

(l) Have you previously submitted an application?

The previously approved project numbers were: PDP170034 and FDP190021. There have not been any other applications submitted for this site since construction was halted.

(m) What specific questions, if any, do you want addressed?

Variances and Modifications

- An alternative compliance request was previously approved to allow for 4 motion-sensor building-mounted light fixtures to be installed along the south portion of the building to illuminate the walkway in the buffer zone. We plan to submit this request with our PDP submittal, believing it still meets the code's intent by providing a balance between public safety



- and security while protecting natural features. Can staff confirm that this would still be supported?
- Given the exceptional existing physical conditions, the undue hardship of why construction stopped, and the practical difficulty of the vested rights expiring, the existing site is complex to develop. This is the reason why the property has remained in its current condition for over two years with no sign of development. To make the project achievable and to move forward with developing the site, the new project is not proposing a mixed-use component and therefore wouldn't qualify to add additional stories, as allowed in the TOD section of the code. Would this modification be supported by staff?
 - The current design has a widened 6' walk and a 6' parkway for the street sections along Johnson Drive and Spring Court. The foundation of the building currently exists on site and since the flow line on Johnson Drive won't change, there is a limited amount of space to incorporate the walk and parkway. The applicant is willing to work with staff on what this will look like. Will a variance be supported for the sidewalk and parkway widths?
 - An extra occupancy request was approved for the previous project. Will the applicant be required to resubmit an extra occupancy request?
 - Will all previously approved variances need to be resubmitted?
 - Are there any variances or modifications we missed in this submittal?

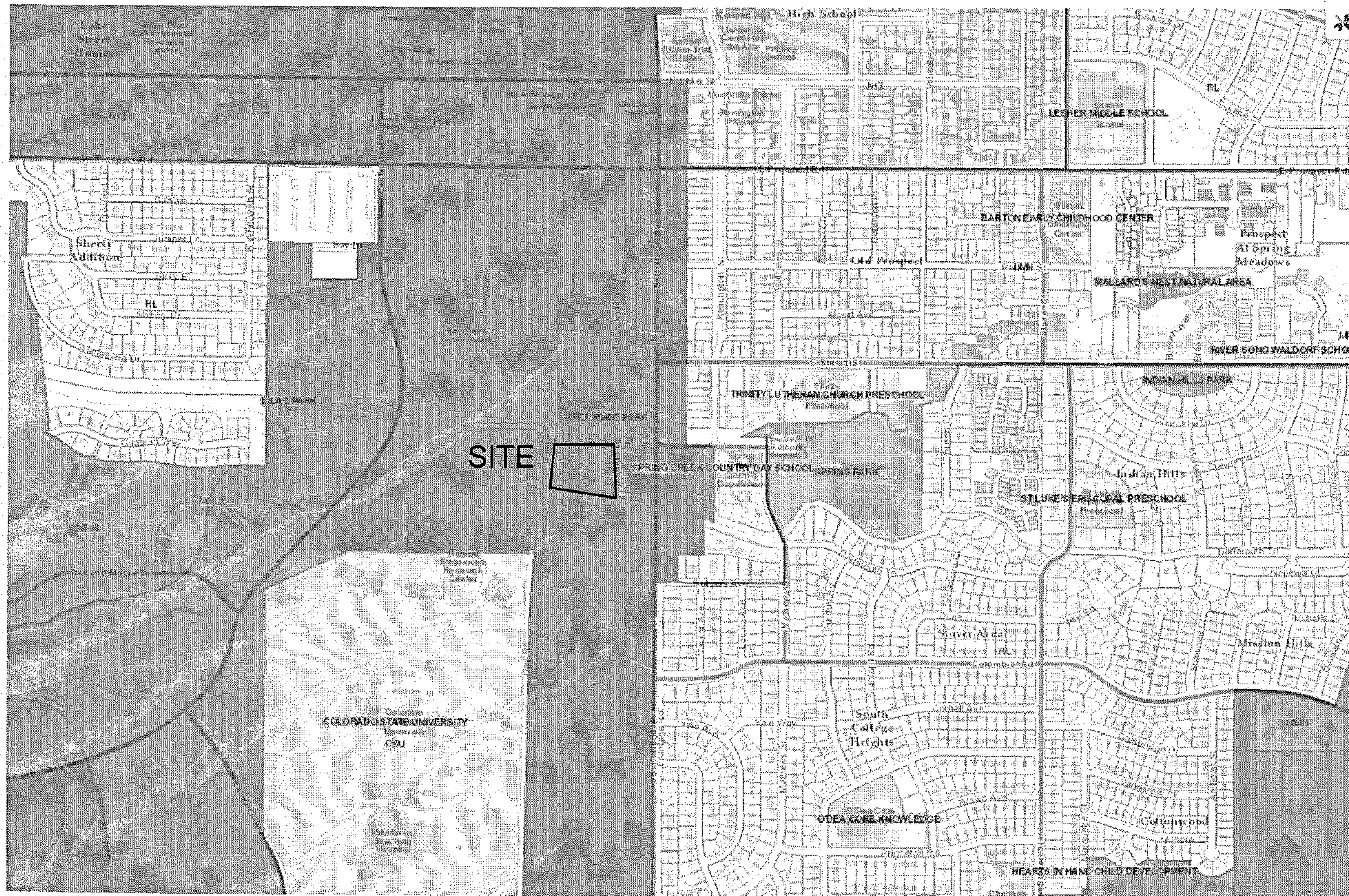
Other Questions

- Once an F&F permit is submitted to the Building Dept, at what point will each department be able to sign off for approval of an F&F?
- Our understanding is that the project will fall under a Type 1 Review if the project is considered residential. Can staff confirm this review process?
- Will the City refer the plans to Sherwood Irrigation Company or should the project team be expected to do that?
- Will a TIS and ECS need to be submitted? If so, are the previous ECS and TIS sufficient to re-submit with the new proposal?
- What will the City require as far as documenting existing conditions on the site (as of 2024)?
- Can the City provide an updated will-serve letter for Water and Sewer/confirm that there is capacity in the Water and Sewer systems?
- Are there any concerns from staff if the building switched to all-electric utilities (no natural gas)? How does that affect the number of transformers needed?
- Given that this is going to be submitted as a combined PDP/FDP and minimal changes occurring on the plans, would the City allow for a "Plan Review Only" building permit submittal after the first round of review?



JOHNSON DRIVE APARTMENTS

SITE PLAN



ZONING MAP: CG DISTRICT



CONTEXT MAP

LEGAL DESCRIPTION:
 LOT 1, JOHNSON DRIVE APARTMENTS LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.

SHEET INDEX

LS001	SITE COVER
LS101	OVERALL SITE PLAN
LS102	SECOND FLOOR SITE PLAN
LS103	TYPICAL COURTYARD PLAN
LS501	SITE DETAILS
LS502	SITE DETAILS
SK-01	COURTYARD PROGRAM

LAND USE CHART

EXISTING ZONING	CG - GENERAL COMMERCIAL W/ TOD OVERLAY
PROPOSED ZONING	CG - GENERAL COMMERCIAL W/ TOD OVERLAY
TOTAL GROSS AREA	122,093 SF / 2.80 AC
EXISTING LAND USE	RESIDENTIAL W/ SUPPORTING OFFICE/COMMERCIAL MIX-USE
PROPOSED LAND USE	N/A
FLOOR AREA RATIO	N/A

PROPERTY LIMIT IMPROVEMENTS	SITE AREA (AC)	SITE AREA (SF)	%TOTAL
BUILDING/PARKING GARAGE	1.69	73,537	60%
DRIVEWAY	.006	250	.21%
PLAZAS AND WALKS	.14	6,307	5%
LANDSCAPE AREA (lurf, plant beds)	.18	7,750	6.43%
NATURAL HABITAT BUFFER	.51	22,210	18.2%

R.O.W.:	SITE AREA (AC)	SITE AREA (SF)
ROADWAY	.14	6,191
SIDEWALKS	.08	3,405
TREE LAWNS	.05	1,965

PROPOSED BUILDING INFORMATION
 MAXIMUM PROPOSED BUILDING HEIGHT = 74'
 TOTAL SQUARE FOOTAGE (1ST-6TH FLOOR) = 359,388 SF

COMMERCIAL/RETAIL: 1,087 SF FOR LEASE SPACE

RESIDENTIAL UNIT BREAKDOWN:
 STUDIO UNIT: 80
 1 BEDROOM UNIT: 4
 2 BEDROOM UNIT: 32
 3 BEDROOM UNIT: 59
 4 BEDROOM UNIT: 18
 TOTAL UNITS: 193

INTERIOR AMENITY SPACE SQUARE FOOTAGE: 11,139 SF
 THIRD STORY COURTYARD SQUARE FOOTAGE: 22,016 SF

REQUIRED CAR PARKING:

0.75 / BEDROOM (397 BEDROOMS): 298
 TOTAL PARKING SPACES REQUIRED: 298

ALLOWABLE AMOUNT OF COMPACT SPACES: 40%

HANDICAP SPACES REQUIRED: 7

PROVIDED CAR PARKING	PROVIDED PARKING
TYPE OF PARKING COMPONENT	201 SPACES
STANDARD PARKING SPACES	7 SPACES
STANDARD PARKING SPACES FOR COMMERCIAL/RETAIL	7 SPACES
COMPACT PARKING SPACES	102 SPACES (32%)
HANDICAP PARKING SPACES PROVIDED:	8 SPACES
TOTAL PARKING SPACES PROVIDED:	318 SPACES

REQUIRED BIKE PARKING

1 PER BEDROOM = 397, MINIMUM OF 238 (60% ENCLOSED) 159 (40% FIXED)

PROVIDED BIKE PARKING

72 SPACES FIXED UNCOVERED
 87 SPACES FIXED COVERED (SECOND FLOOR GARAGE)
 88 SPACES COVERED (FIRST FLOOR GARAGE)
 153 SPACES COVERED (SECOND FLOOR GARAGE)
 TOTAL SPACES: 400 (159 FIXED, 241 COVERED)

OWNER'S CERTIFICATION
 THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNER'S OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

Thomas A. Steie 2/27/20 *Wendell J. Skrogge* 2/27/20
 OWNER (SIGNED) DATE OWNER (SIGNED) DATE

(STATE of Colorado) }
 (COUNTY of Larimer) } SS

SUBSCRIBED AND SWORN TO BE BEFORE THIS 27 DAY OF Feb 2020, BY WITNESS MY HAND AND OFFICIAL SEAL.

[Signature]
 NOTARY PUBLIC

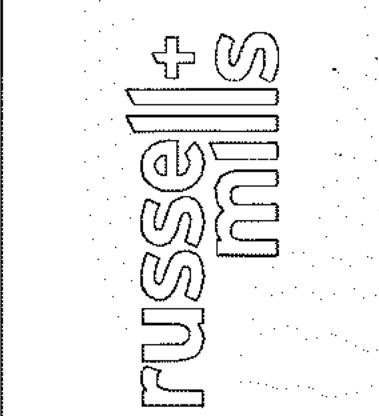
301 N. Powers St #100 Ft Collins CO 80521
 ADDRESS

7/28/20
 MY COMMISSION EXPIRES

DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES
 APPROVED BY THE CURRENT DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES OF THE CITY OF FORT COLLINS, COLORADO, THIS 31st OF March, 2020

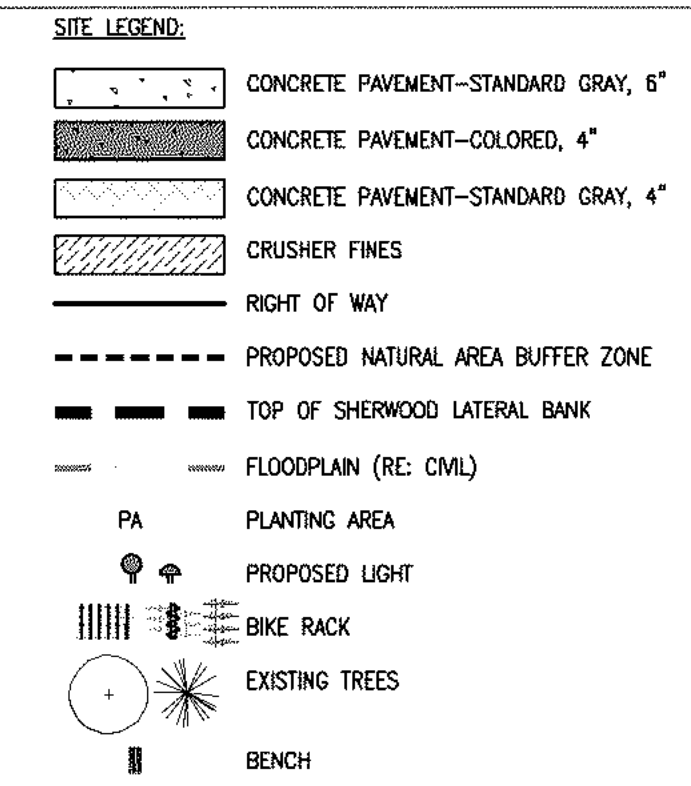
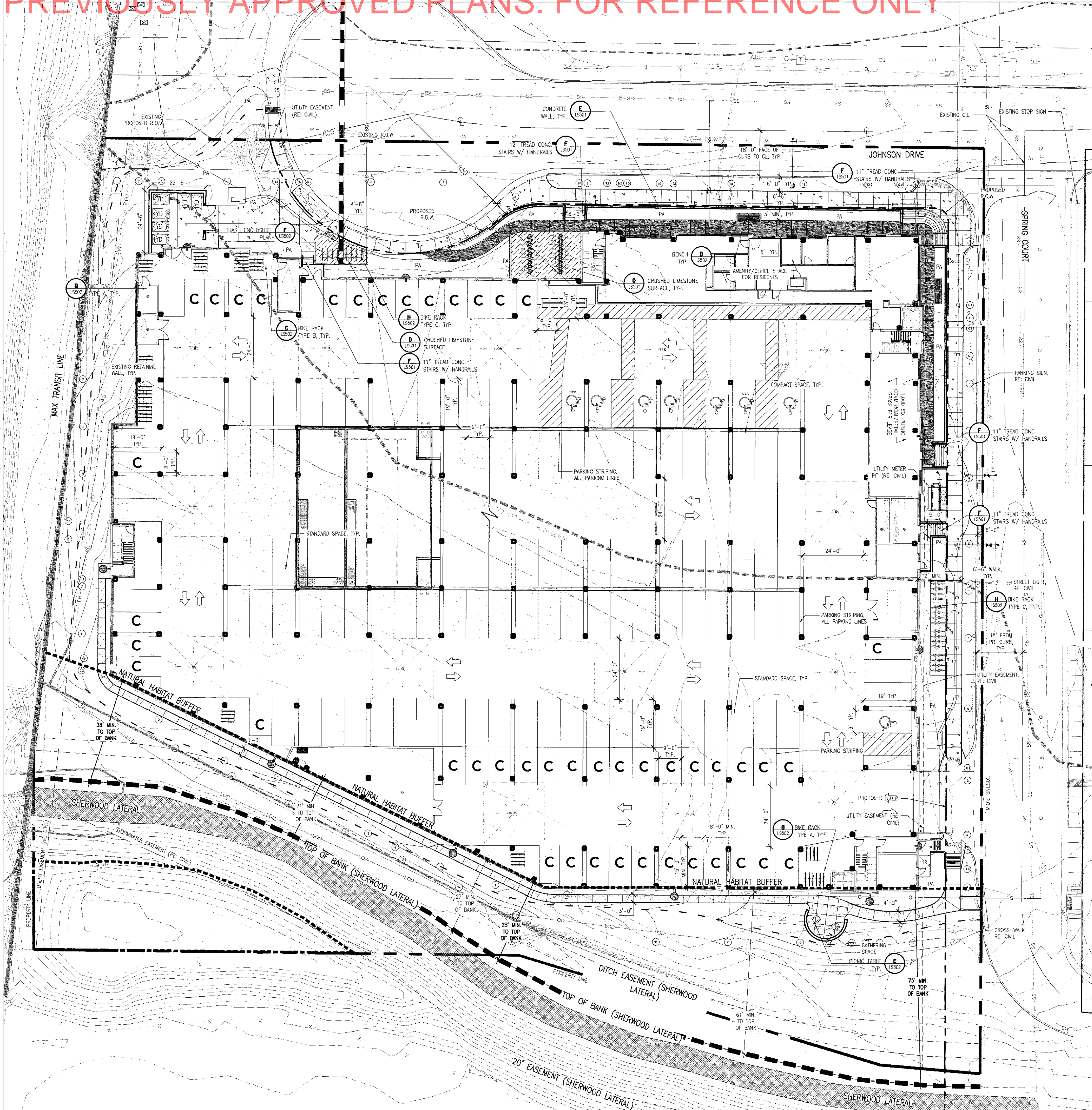
[Signature] for
 DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES

REV.	COMMENT	DATE



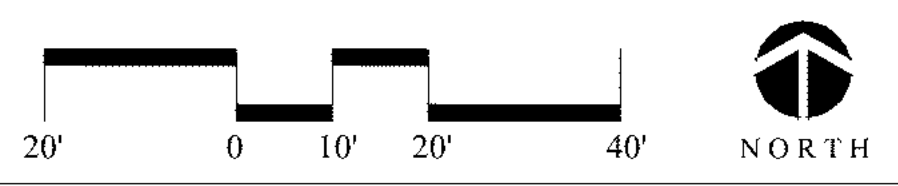
JOHNSON DRIVE APARTMENTS
 SITE COVER

Date: 01/2020
 Drawn By: DD
 Checked By: CR



- SITE PLAN NOTES:**
- THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
 - REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
 - REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
 - ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUNIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
 - ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
 - ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
 - SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
 - FIRE HYDRANTS MUST MEET OR EXCEED POUDEUR FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
 - ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
 - ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
 - COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNER OF THE COMMON AREA. THE PROPERTY OWNER IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.
 - DESIGN AND INSTALLATION OF ALL PARKWAY/TREE LAWN AND MEDIAN AREAS IN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY STANDARDS. UNLESS OTHERWISE AGREED TO BY THE CITY WITH THE FINAL PLANS, ALL ONGOING MAINTENANCE OF SUCH AREAS IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
 - THE PROPERTY OWNER IS RESPONSIBLE FOR SNOW REMOVAL ON ALL STREET SIDEWALKS ADJACENT TO EACH UNIT/APARTMENT BUILDING.
 - PRIVATE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&R'S), OR ANY OTHER PRIVATE RESTRICTIVE COVENANT IMPOSED ON LANDOWNERS WITHIN THE DEVELOPMENT, MAY NOT BE CREATED OR ENFORCED HAVING THE EFFECT OF PROHIBITING OR LIMITING THE INSTALLATION OF XERISCAPE LANDSCAPING, SOLAR/PHOTO-VOLTAIC COLLECTORS (IF MOUNTED FLUSH UPON ANY ESTABLISHED ROOF LINE), CLOTHES LINES (IF LOCATED IN BACK YARDS), ODOR-CONTROLLED COMPOST BINS, OR WHICH HAVE THE EFFECT OF REQUIRING THAT A PORTION OF ANY INDIVIDUAL LOT BE PLANTED IN TURF GRASS.
 - ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
 - FIRE LANE MARKING: A FIRE LANE MARKING PLAN MUST BE REVIEWED AND APPROVED BY THE FIRE OFFICIAL PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES THAT INCLUDE THE WORDS NO PARKING FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.
 - PREMISE IDENTIFICATION: AN ADDRESSING PLAN IS REQUIRED TO BE REVIEWED AND APPROVED BY THE CITY AND POUDEUR FIRE AUTHORITY PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. UNLESS THE PRIVATE DRIVE IS NAMED, MONUMENT SIGNAGE MAY BE REQUIRED TO ALLOW WAY FINDING. ALL BUILDINGS SHALL HAVE ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE, VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, AND POSTED WITH A MINIMUM OF SIX INCH NUMERALS ON A CONTRASTING BACKGROUND. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
 - THIS PROJECT IS LOCATED WITHIN THE FEMA REGULATED, SPRING CREEK 100 YEAR FLOODPLAIN AND FLOODWAY AND MUST

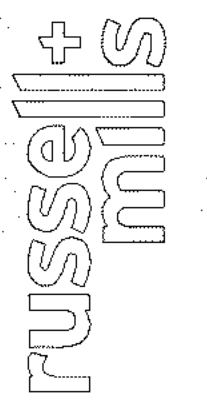
THE NATURAL HABITAT BUFFER ZONE IS INTENDED TO BE MAINTAINED IN A NATIVE LANDSCAPE. PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.



For official copy, please see Engineering

REV.	COMMENT	DATE

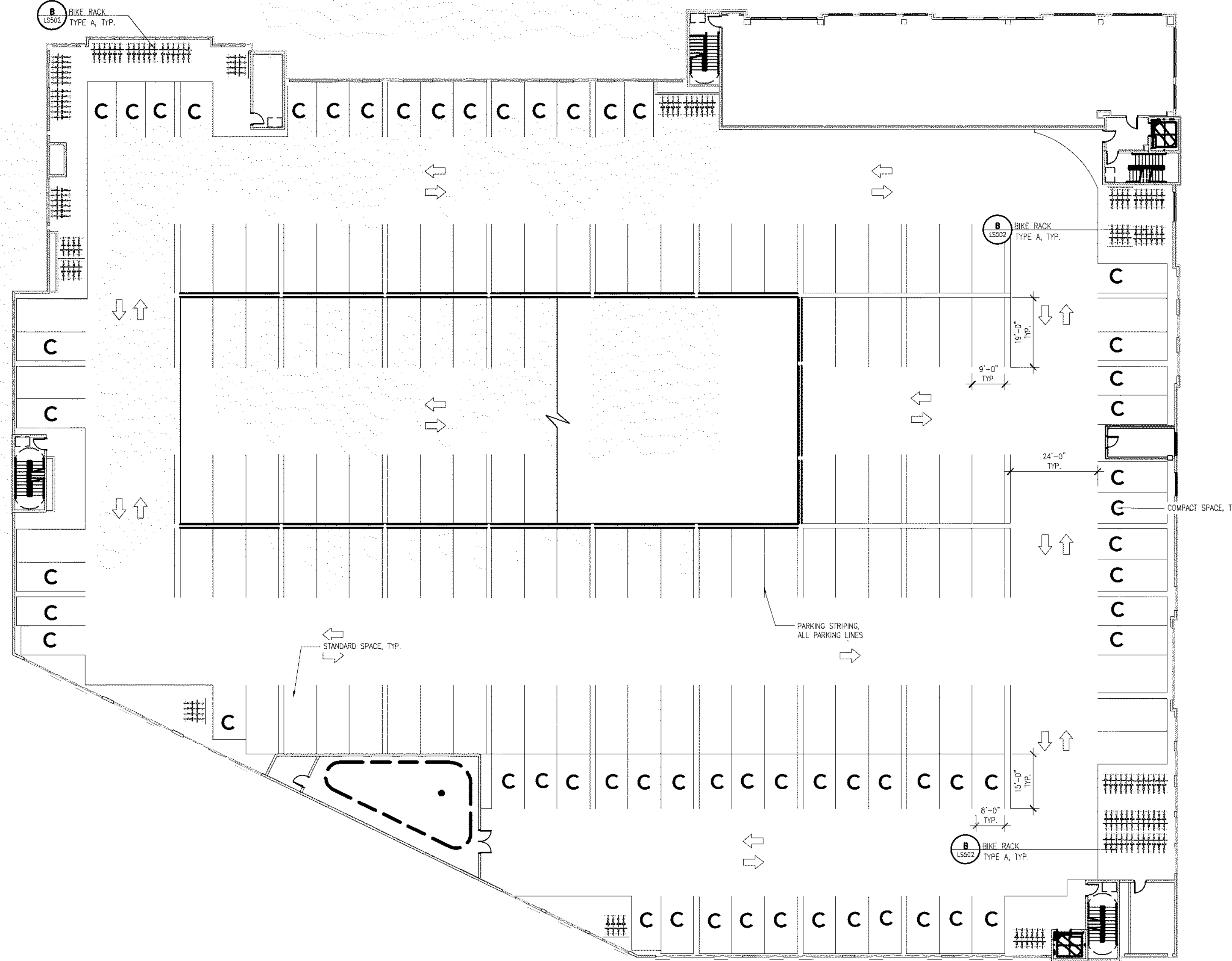
JOHNSON DRIVE APARTMENTS



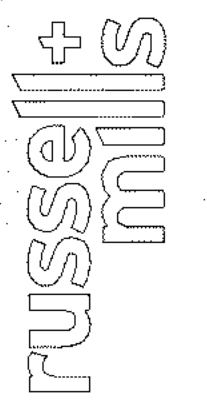
OVERALL SITE PLAN

Date: 01/2020
 Drawn By: DD
 Checked By: CR

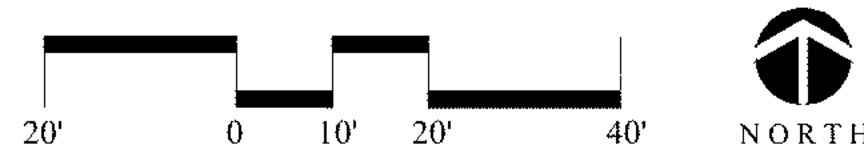
- SITE LEGEND:
- CONCRETE PAVEMENT-STANDARD GRAY, 6"
 - CONCRETE PAVEMENT-COLORED, 4"
 - CONCRETE PAVEMENT-STANDARD GRAY, 4"
 - CRUSHER FINES
 - RIGHT OF WAY
 - PROPOSED NATURAL AREA BUFFER ZONE
 - TOP OF SHERWOOD LATERAL BANK
 - FLOODPLAIN (RE: CIVIL)
 - PLANTING AREA
 - PROPOSED LIGHT
 - BIKE RACK
 - EXISTING TREES
 - BENCH



REV.	COMMENT	DATE



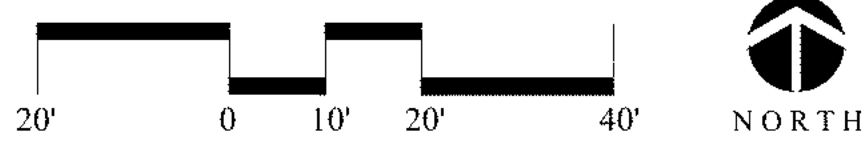
JOHNSON DRIVE APARTMENTS
SECOND FLOOR SITE PLAN



For official copy, please see Engineering

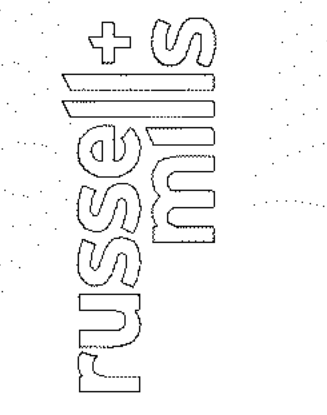
Date: 01/2020
 Drawn By: DD
 Checked By: CR

Sheet
LS102
 J - 14 2918



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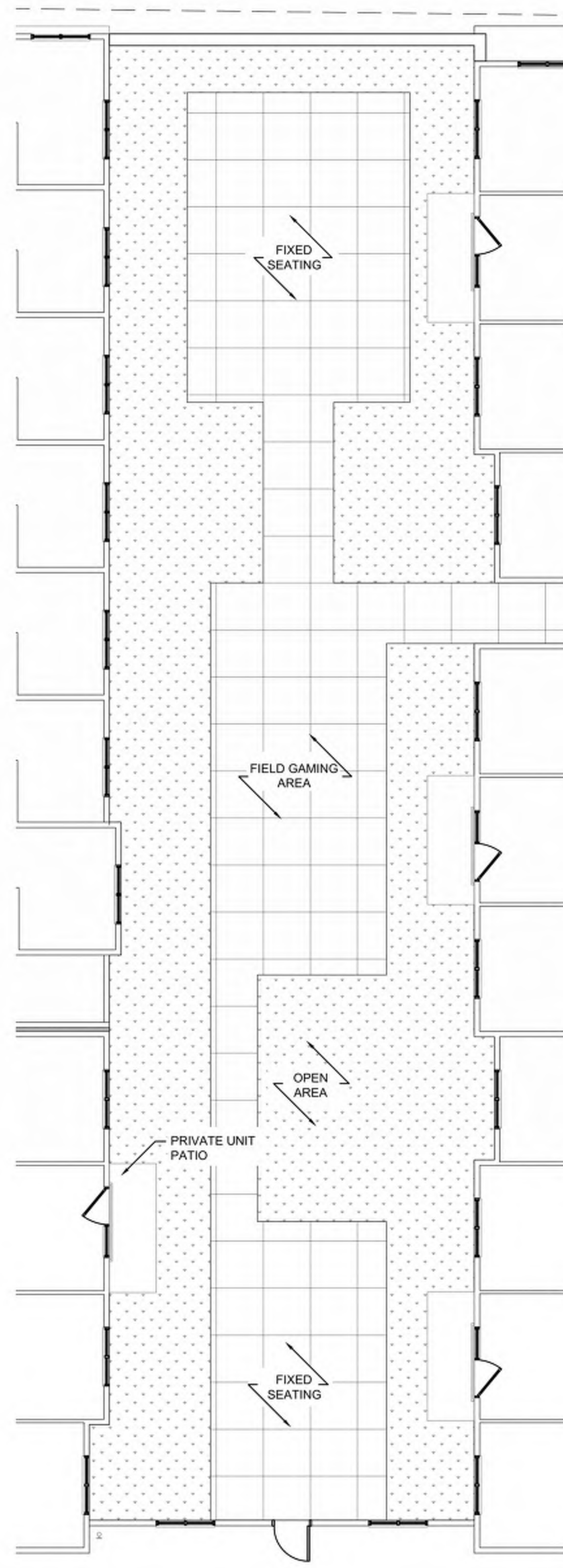
REV.	COMMENT	DATE



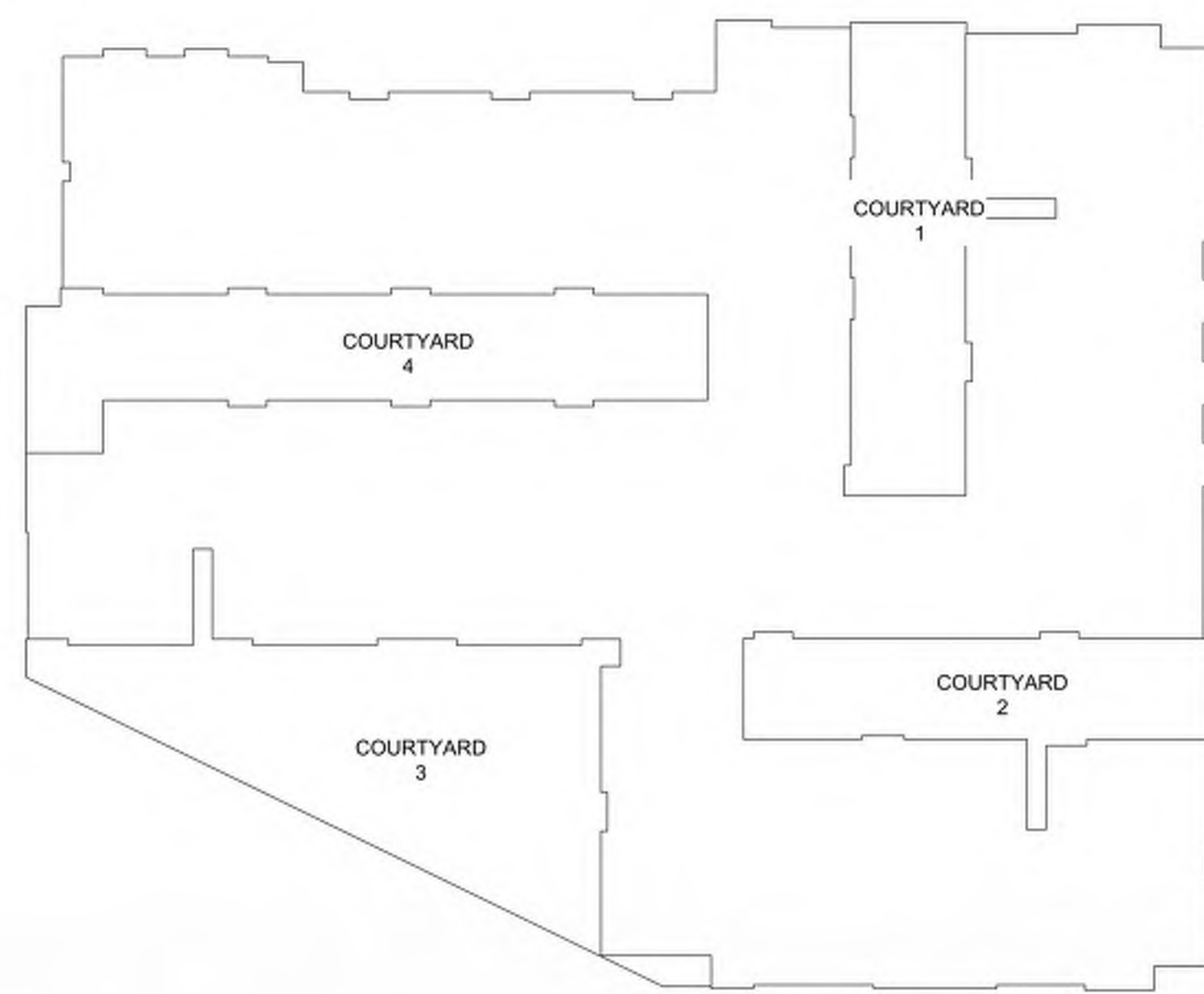
JOHNSON DRIVE APARTMENTS
 TYPICAL COURTYARD PLAN

Date: 01/2020
 Drawn By: DD
 Checked By: CR

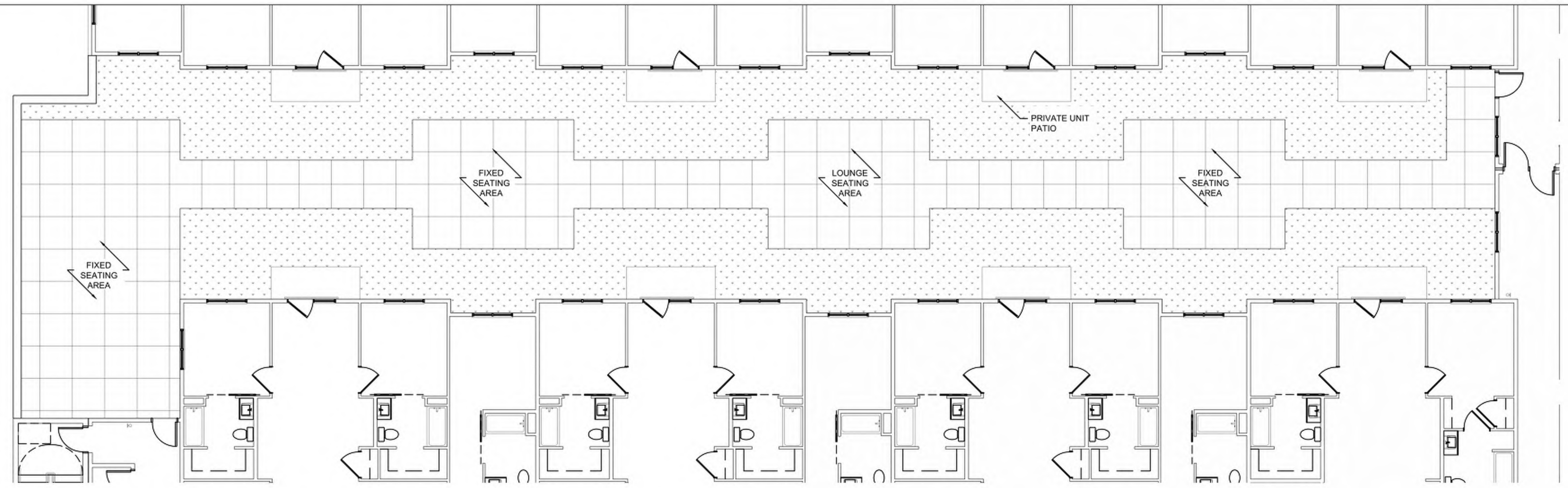
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LS103
 J - 14 2918



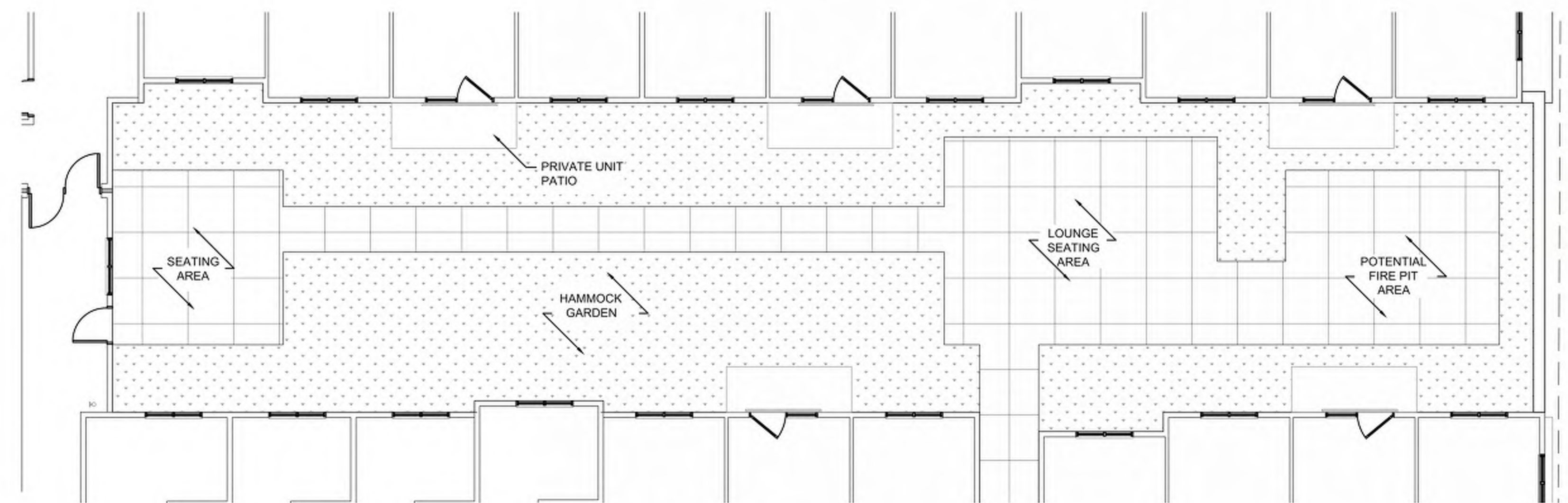
4 COURTYARD 1
1/8" = 1'-0"



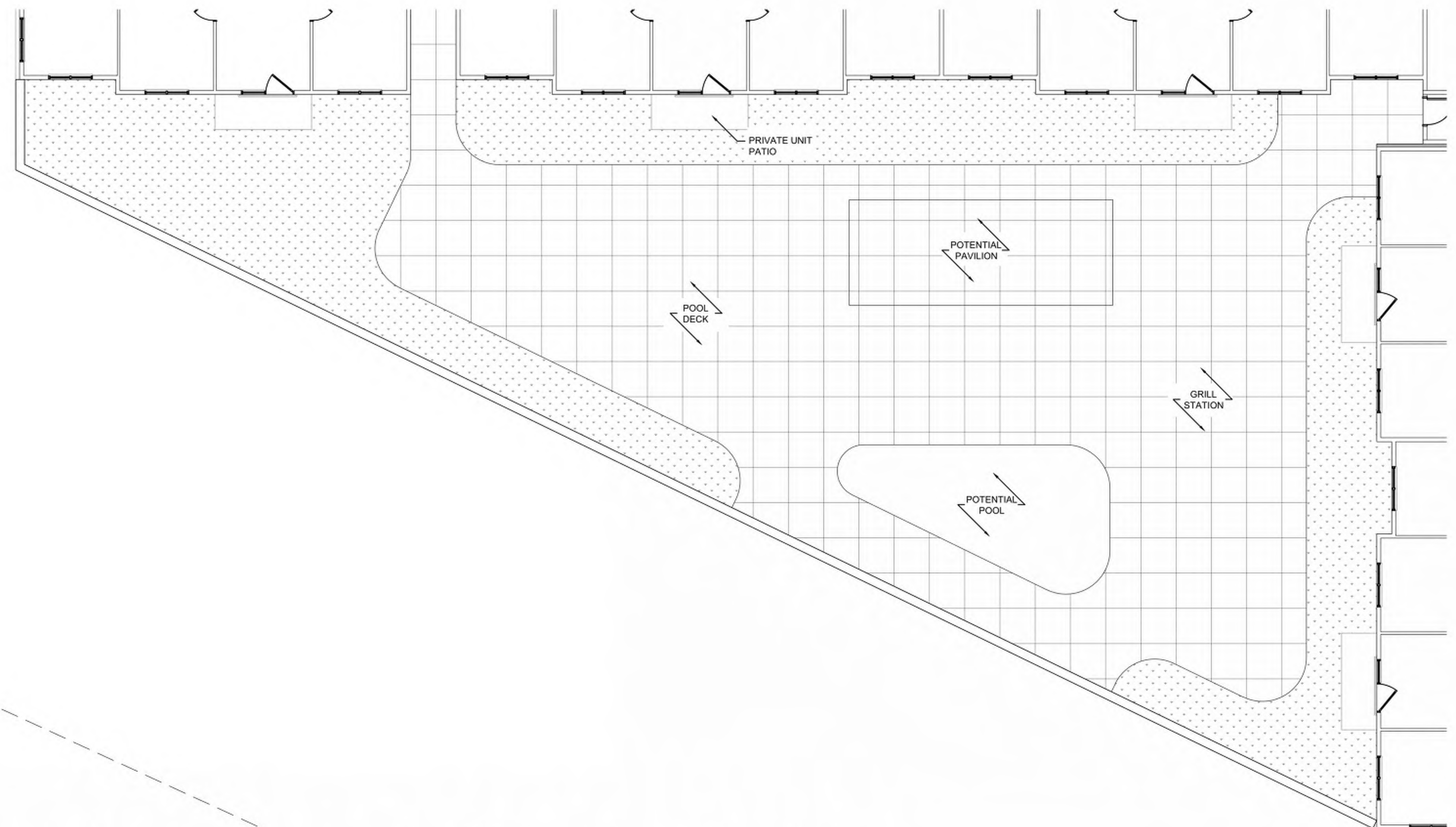
5 KEY



3 COURTYARD 4
1/8" = 1'-0"



2 COURTYARD 2
1/8" = 1'-0"



1 COURTYARD 3
1/8" = 1'-0"

For official copy, please see Engineering

THESE DOCUMENTS PROVIDED BY VALEO GROUP INC. ARE SUBJECT TO THE DEVELOPER'S WORKS CONTRACT AND PROJECT SPECIFICATIONS. ALL APPLICABLE TO ELECTRONIC INFORMATION IN ANY FORM AND MEDIUM. CONSULT THE ORIGINAL INTENT AND COORDINATION. DO NOT USE FOR CONSTRUCTION DOCUMENTS.

VALEO AMERICAS
1001 MOREHEAD SQUARE DR., SUITE 300
CHARLOTTE, NORTH CAROLINA, 28203

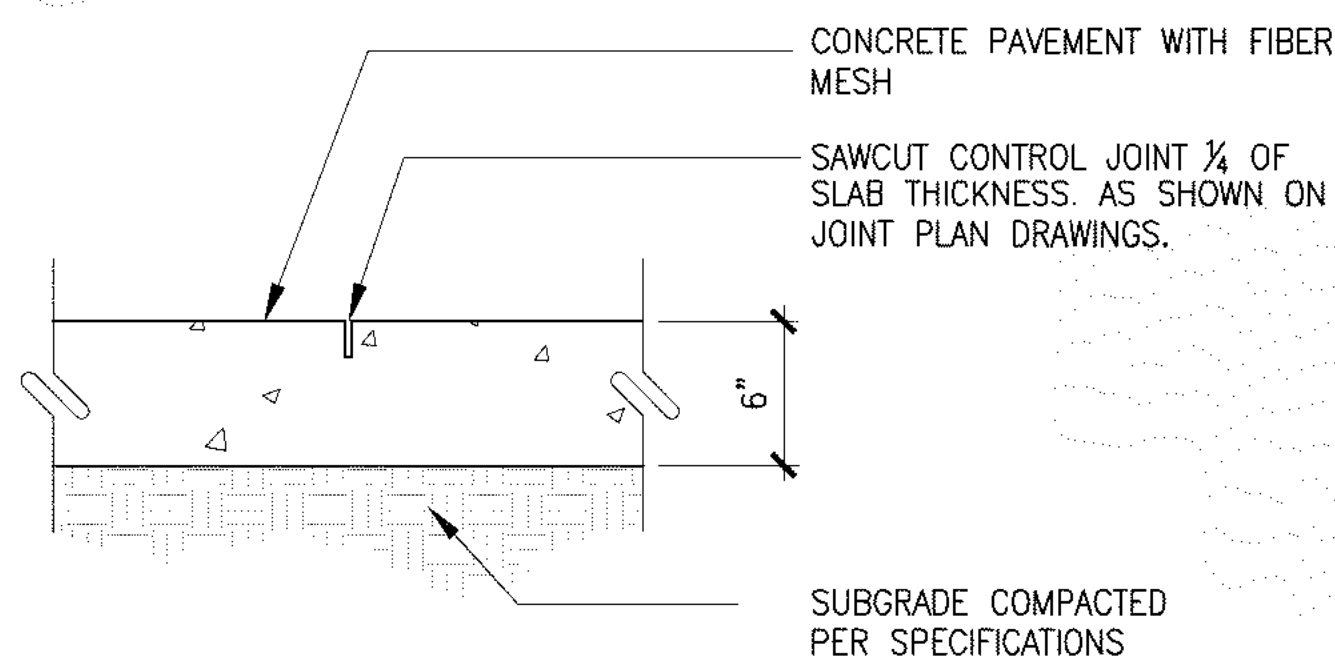
COURTYARD PROGRAM



RPOCH
FORT COLLINS

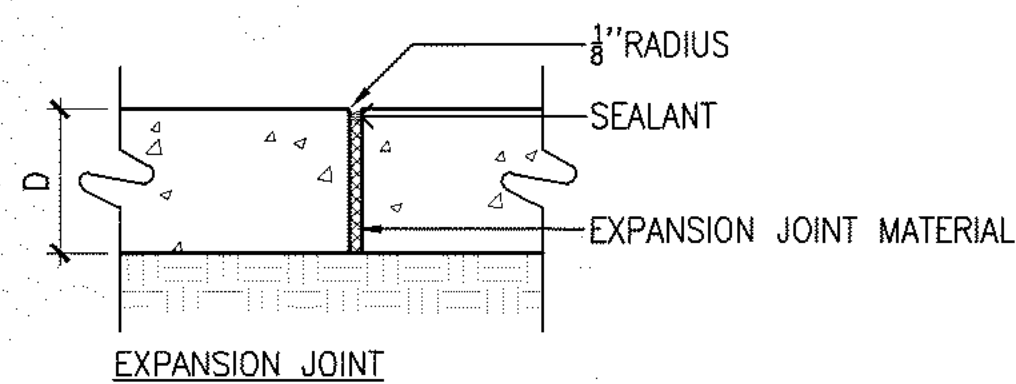
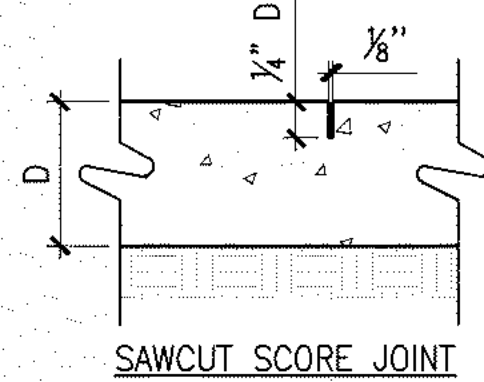
PROJECT NUMBER
EPOCH
ISSUED
12/18/2019

SK - 01

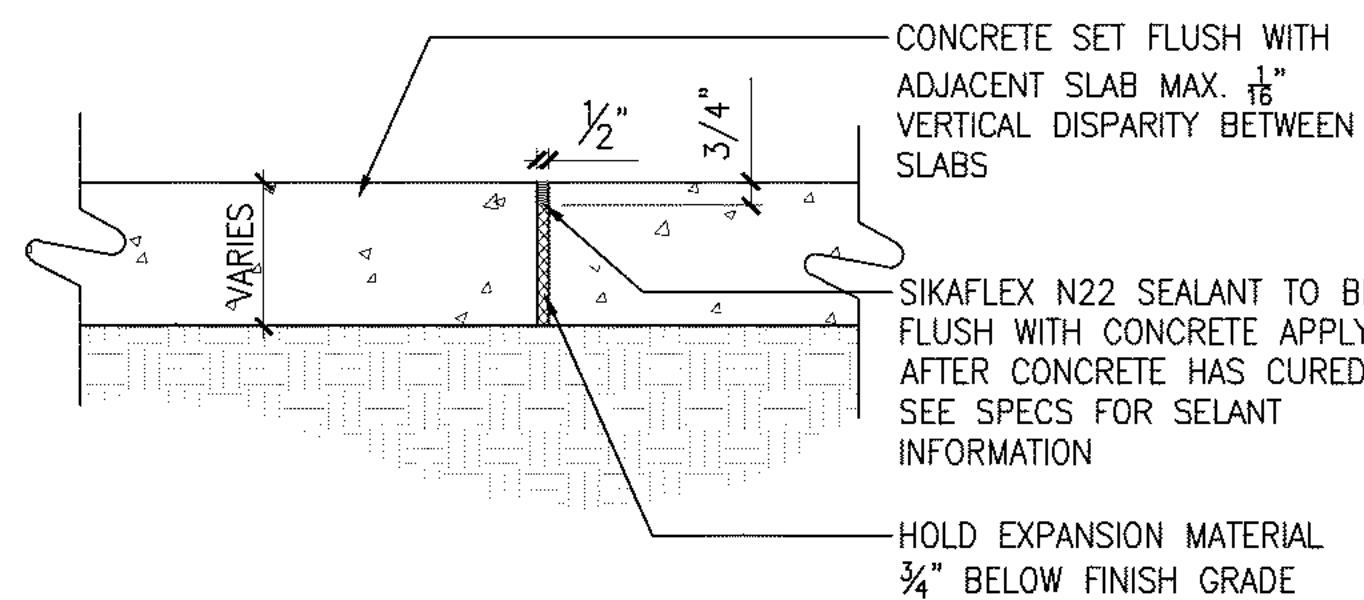


- NOTES:
1. EXPANSION JOINTS PLACED PER JOINT PLAN, BUT NO LESS THAN 100' O.C.
 2. CONTROL JOINT PLACED PER JOINT PLAN, MAXIMUM SPACING 10'.
 3. CONCRETE TO HAVE FINE BROOM FINISH PERPENDICULAR TO CENTERLINE OF PAVING.
 4. FINISHED GRADE OF LANDSCAPE AREA TO BE 1" BELOW FINISH GRADE OF CONCRETE (TYPICAL BOTH SIDES).

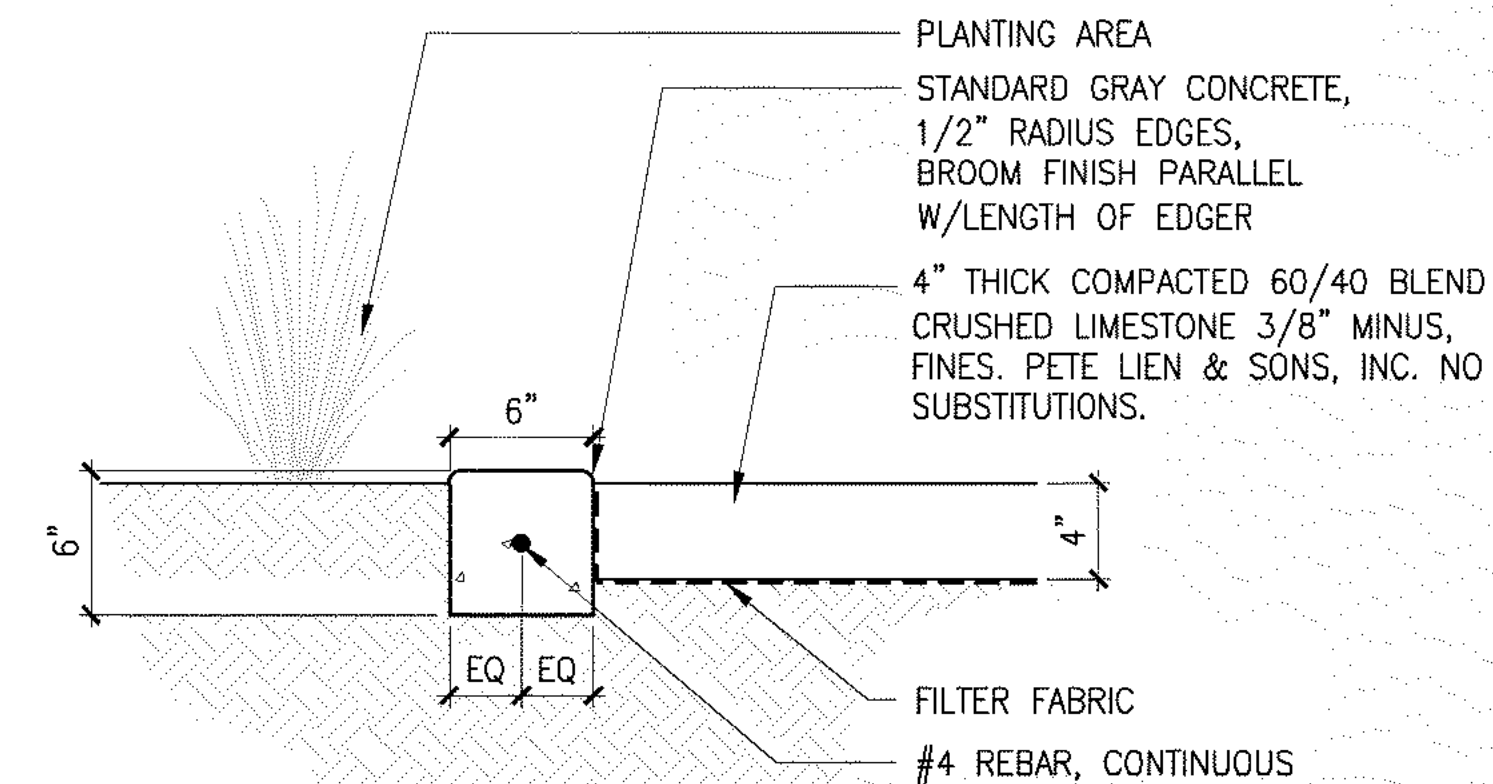
A CONCRETE PAVEMENT
SCALE: N.T.S. DT-PVMT-CONC



B CONCRETE PAVEMENT JOINTS
SCALE: 1 1/2" = 1'-0"

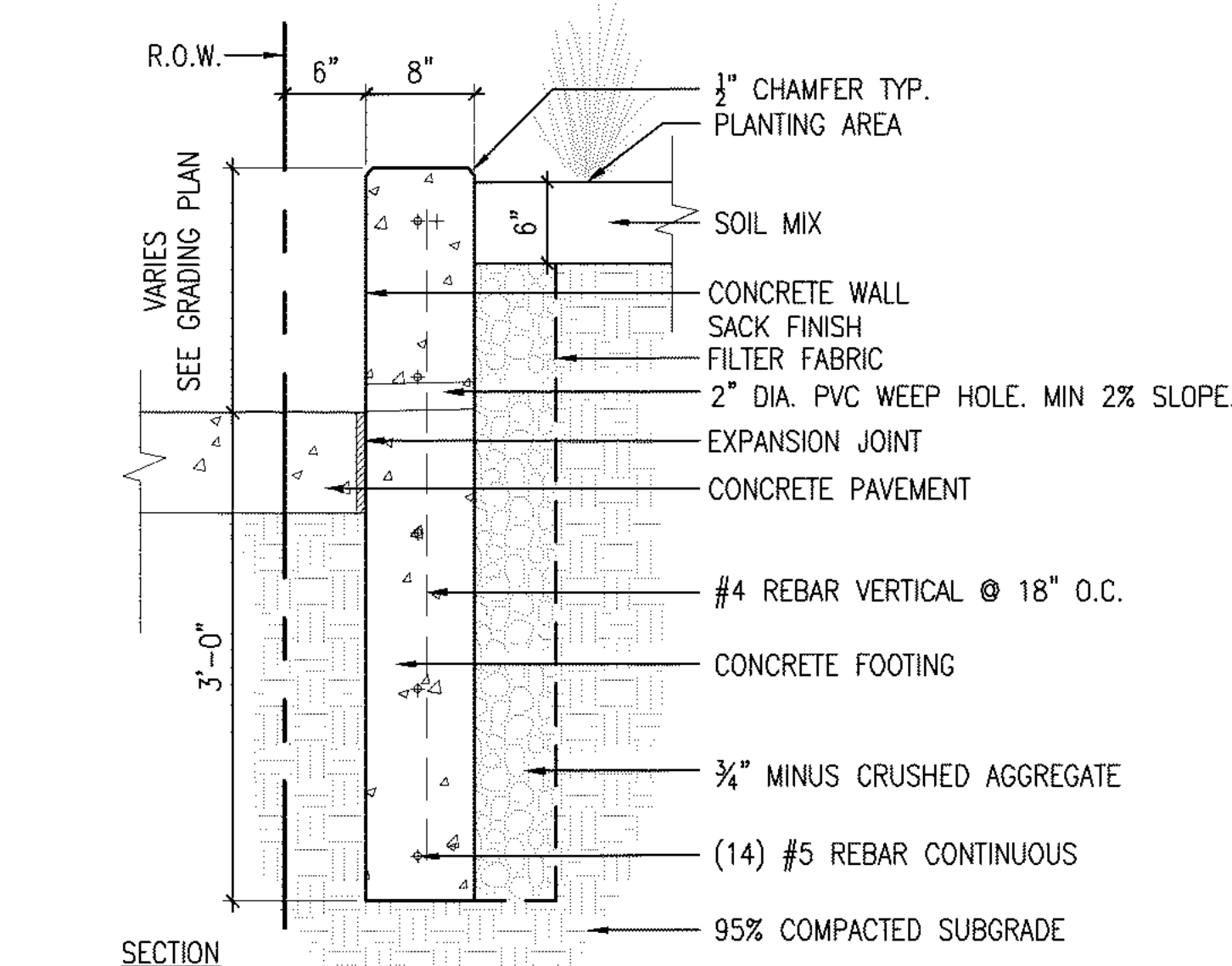
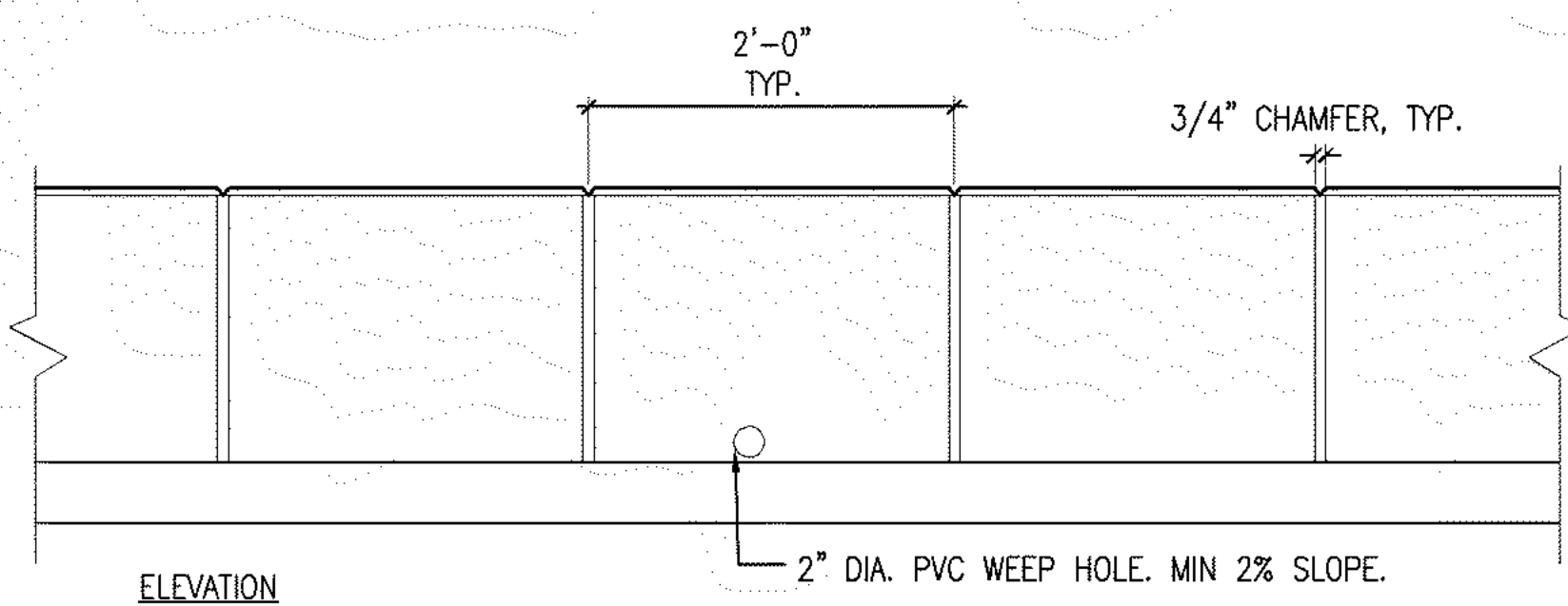


C EXPANSION JOINT
SCALE: 1 1/2" = 1'-0"



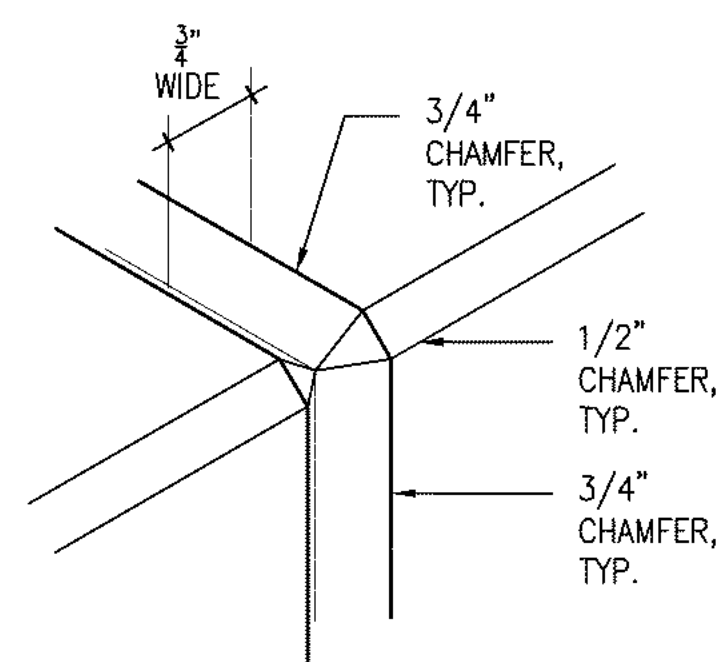
- NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS ADJACENT TO CURB DURING CONSTRUCTION—THIS INCLUDES EXISTING CONCRETE WALK, IRRIGATION, TREES AND LANDSCAPE.
 2. CONTRACTOR TO TAKE SPECIAL PRECAUTION TO NOT OVER EXCAVATE AROUND EXISTING TREES
 3. SOURCE: PETE LIEN & SONS, INC. 16230 N. US HWY. 287, LAPORTE, CO. 80535 970-493-7017

D CRUSHED LIMESTONE PAVEMENT
SCALE: 1 1/2" = 1'-0" DT-CURB-LAND

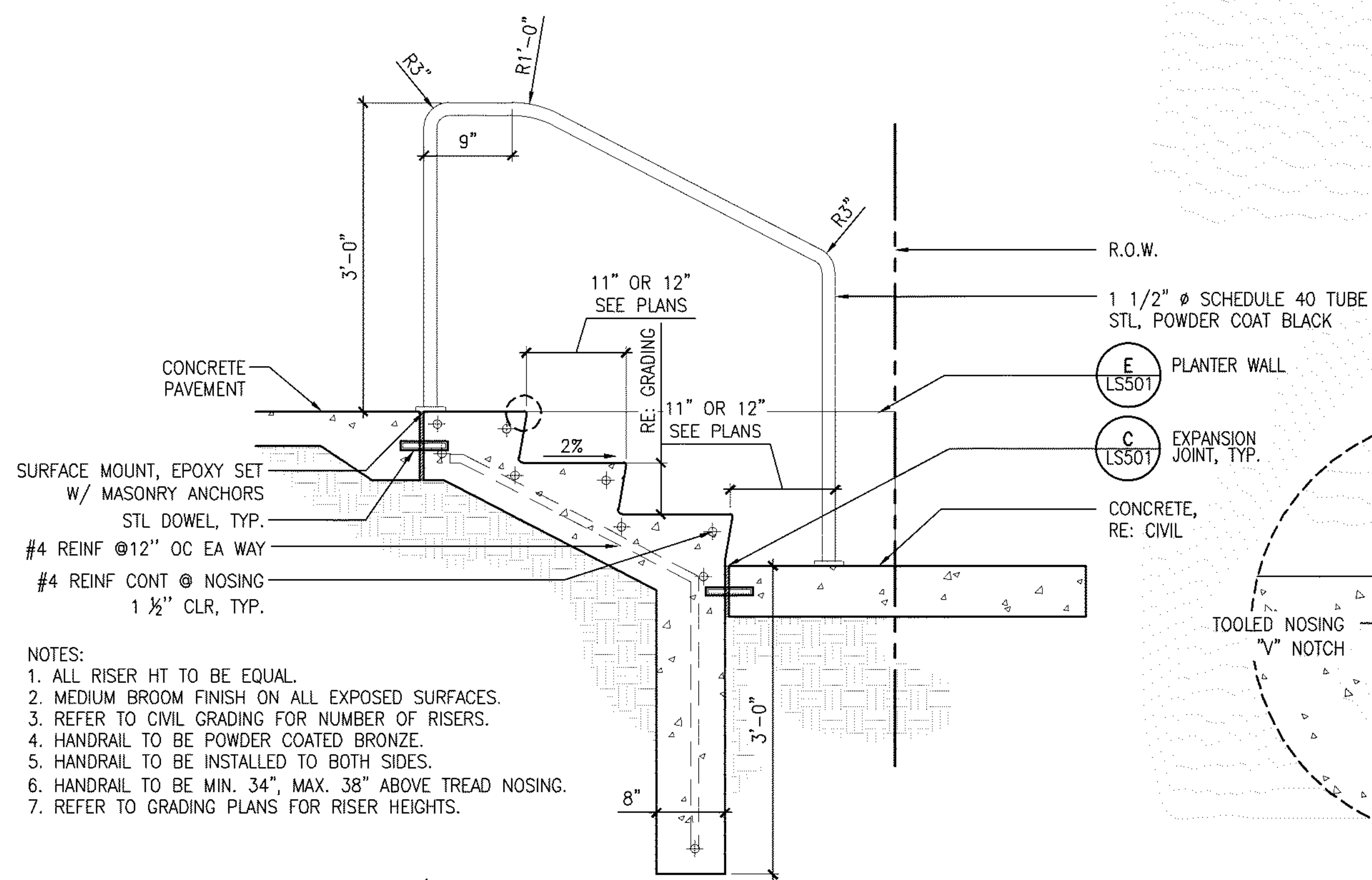


- NOTES:
1. REFER TO PLANS APPROXIMATE LOCATION OF EXPANSION JOINT/SKATEBOARD DETERRENT LOCATIONS. LANDSCAPE ARCHITECT TO FIELD VERIFY JOINT LAYOUT PRIOR TO CONSTRUCTION.
 2. INSTALL WEEP HOLES @ 10' O.C.

E CONCRETE PLANTER WALL
SCALE: 1'-1'-0"



AXONOMETRIC - SKATEBOARD DETERRENT

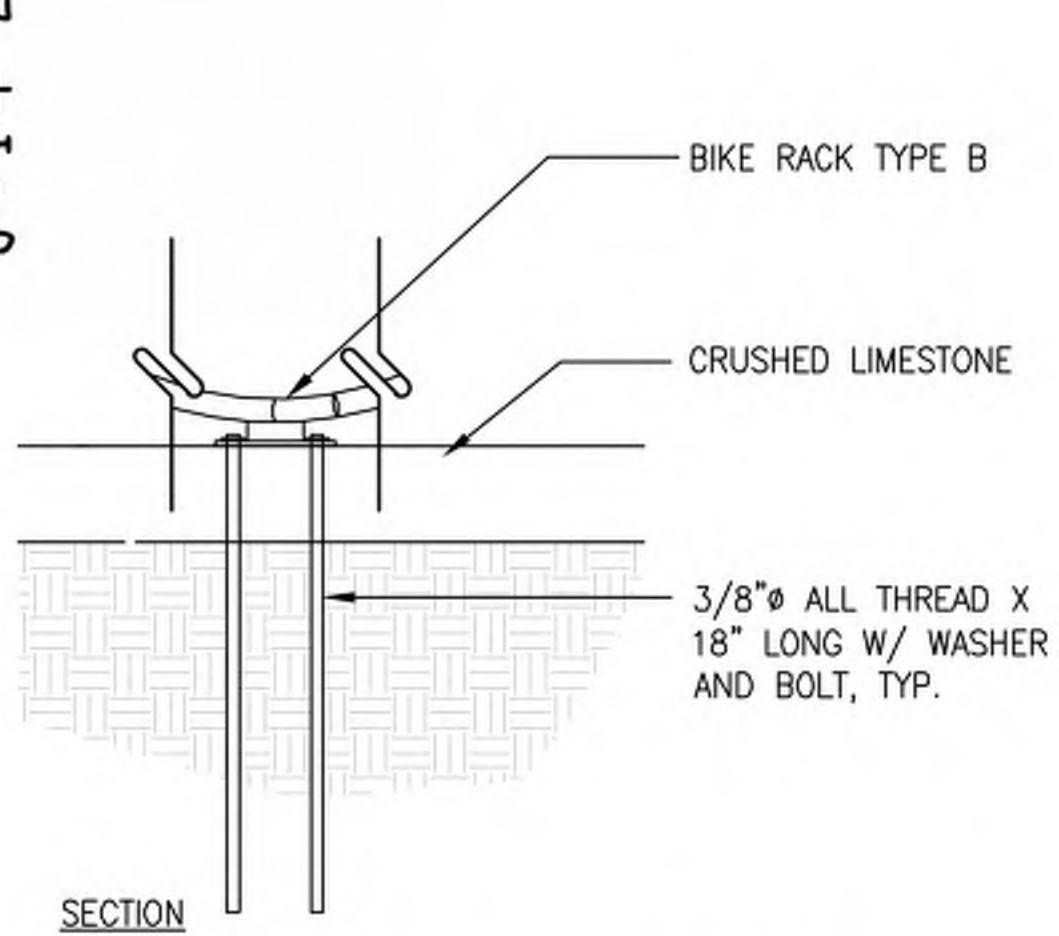


- NOTES:
1. ALL RISER HT TO BE EQUAL.
 2. MEDIUM BROOM FINISH ON ALL EXPOSED SURFACES.
 3. REFER TO CIVIL GRADING FOR NUMBER OF RISERS.
 4. HANDRAIL TO BE POWDER COATED BRONZE.
 5. HANDRAIL TO BE INSTALLED TO BOTH SIDES.
 6. HANDRAIL TO BE MIN. 34", MAX. 38" ABOVE TREAD NOSING.
 7. REFER TO GRADING PLANS FOR RISER HEIGHTS.

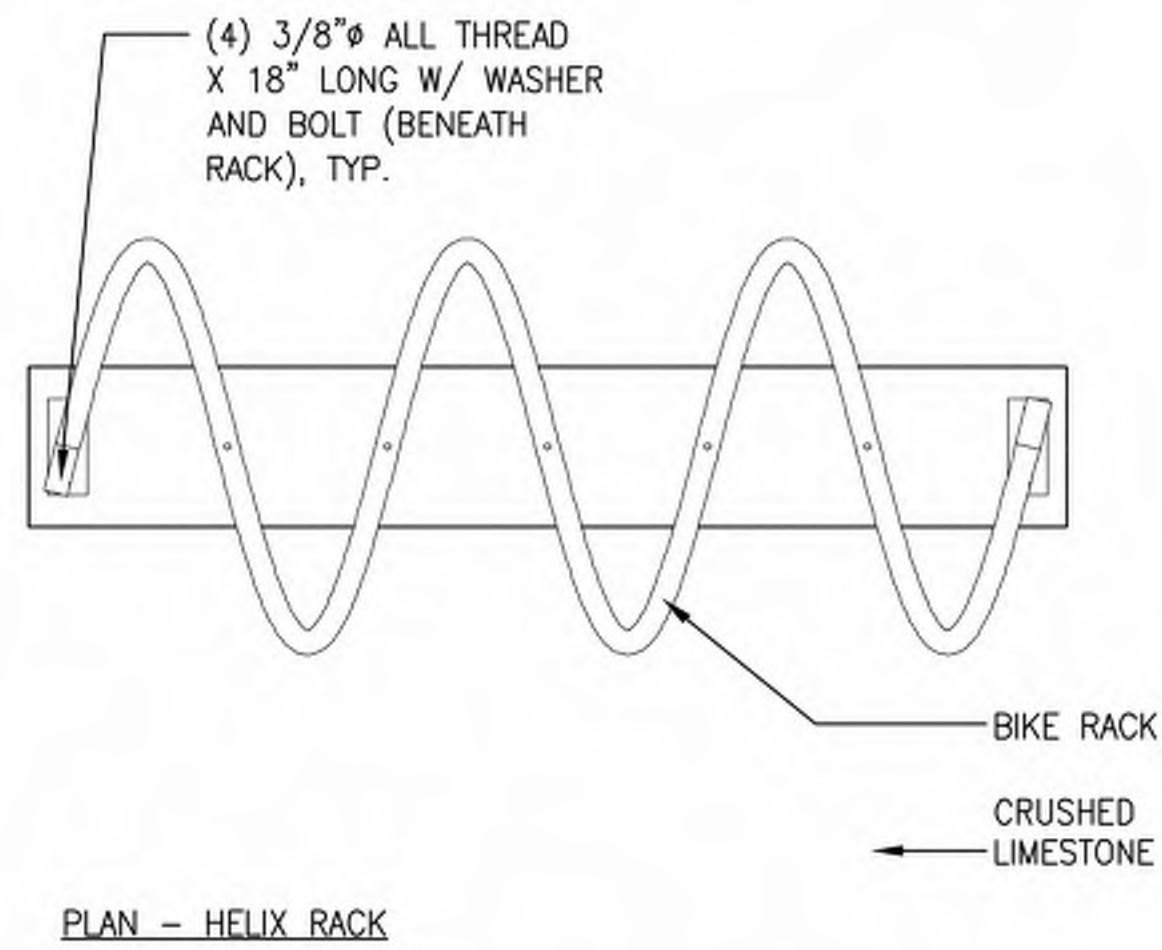
F CONCRETE STAIRS W/ HANDRAILS
SCALE: 1'-1'-0" DT-STAIRS

REV.	COMMENT	DATE

J-14 2918



A BIKE RACK FOOTING
SCALE: 1 1/2" = 1'-0"



PLAN - HELIX RACK



8-BICYCLE MODEL SHOWN.

COMPANY: DERO
MODEL: DUPLEX
BICYCLE CAPACITY: 4, 8, AND 12
(RE: PLANS FOR QUANTITIES)
COLOR: BLACK
MOUNT: SURFACE
CONTACT: 1-888-337-6729
(WWW.DERO.COM)
INSTALL PER MANUFACTURER RECOMMENDATIONS.

B BIKE RACK - TYPE A
SCALE: NTS DT-FURN-BIKE-RACK-TYPE-A



COMPANY: DERO
MODEL: HELIX
BICYCLE CAPACITY: 6
COLOR: BLACK
MOUNT: SURFACE
CONTACT: 1-888-337-6729
(WWW.DERO.COM)
INSTALL PER MANUFACTURER RECOMMENDATIONS.

C BIKE RACK - TYPE B
SCALE: NTS DT-FURN-BIKE-RACK-TYPE-B



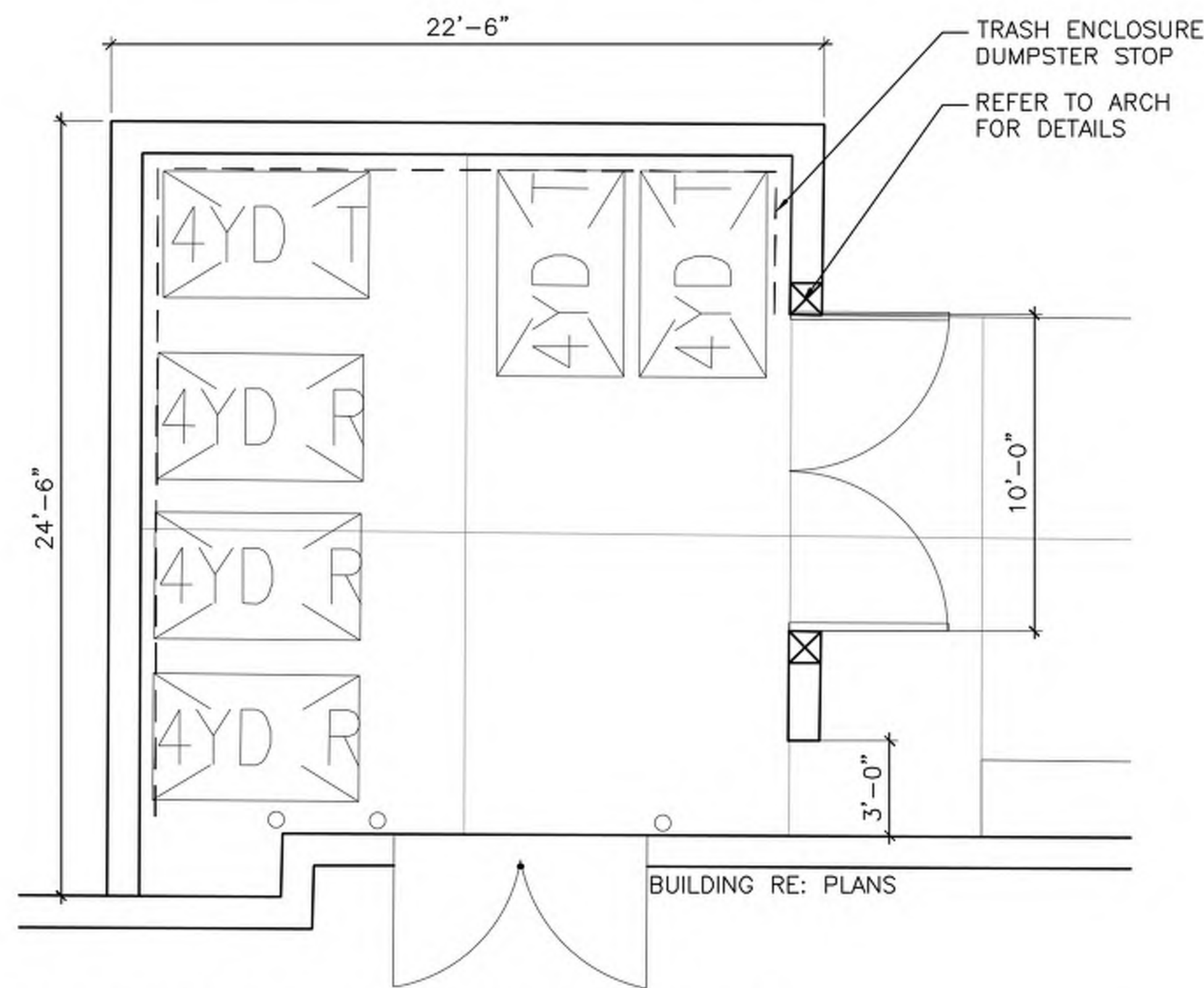
MANUFACTURER: SITE PIECES (www.sitepieces.com)
CONTACT: MIKE HONERLAW -mike@sitepieces.com
MODEL: MONOLINE ML-FLAT48
SIZE: 4'
COLOR: RIVER ROCK W/ DESIGNER ALUMINUM LIGHT CHERRY

D BENCH
SCALE: NTS



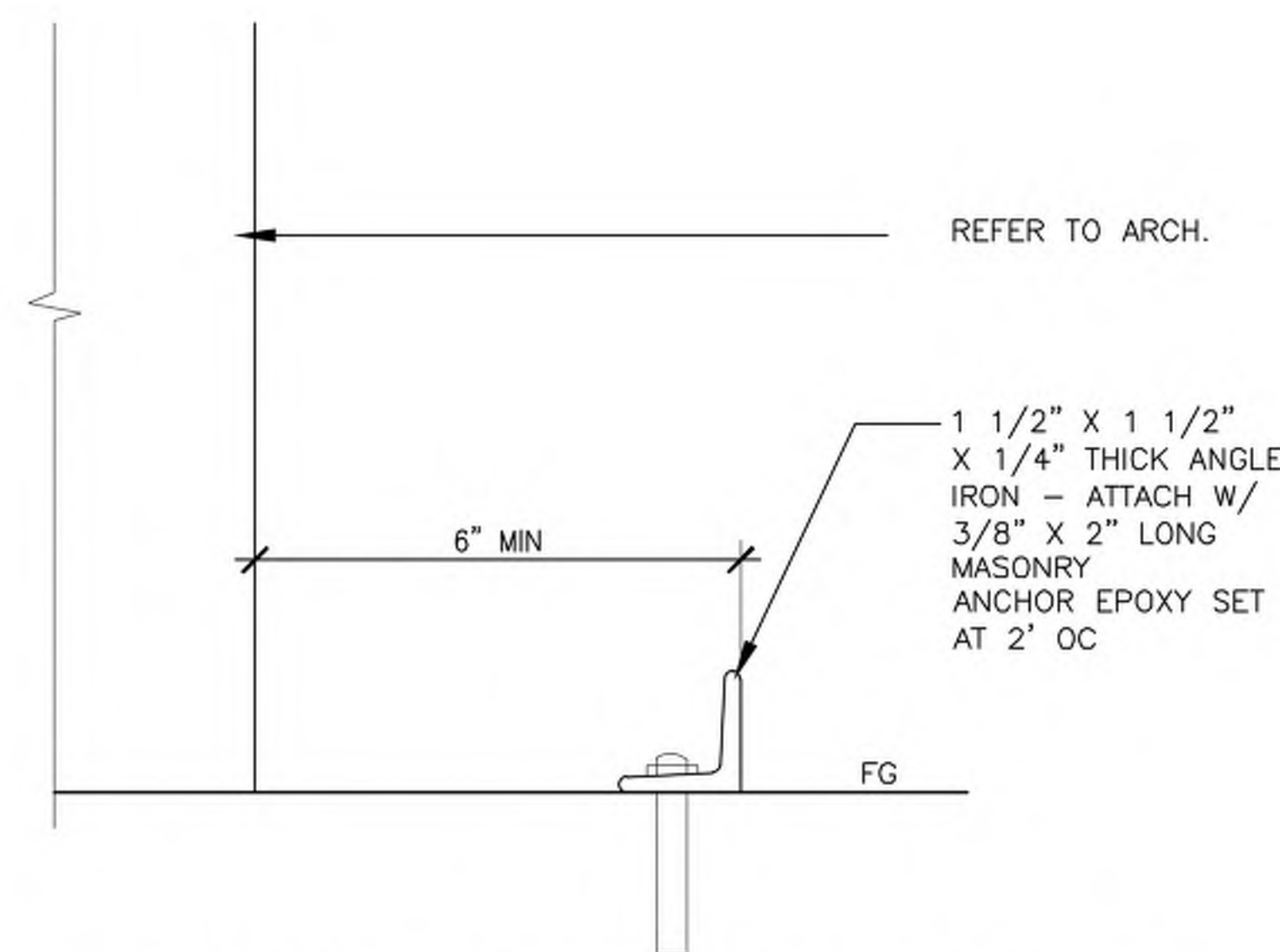
MANUFACTURER: MAGLIN
MODEL: MLPT210-S-RC
COLOR: SURFACE MOUNT CEDAR - HDPE

E PICNIC TABLE
SCALE: NTS



RECYCLING: (3) 4 YARD DUMPSTERS 3X PER WEEK PICKUP
TRASH: (3) 4 YARD DUMPSTERS 5X PER WEEK PICKUP

F TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



G TRASH ENCLOSURE DUMPSTER STOP
SCALE: 6" = 1'-0"



COMPANY: DERO
MODEL: HIGH ROLLER H14H
COLOR: BLACK
MOUNT: IN-GROUND W/ FOOTING
CONTACT: 1-888-337-6729
(WWW.DERO.COM)
INSTALL PER MANUFACTURER RECOMMENDATIONS.

H BIKE RACK - TYPE C
SCALE: NTS DT-FURN-BIKE-RACK

REV.	COMMENT	DATE



JOHNSON DRIVE APARTMENTS

SITE DETAILS

Date: 01/2020
Drawn By: DD
Checked By: CR

Sheet



LEGEND
 ⊗ TREE TO BE REMOVED

TREE INVENTORY CHART					
NAME	SPECIES	SIZE	CONDITION	ACTION	MITIGATION
T1	HONEYLOCUST	19" CAL.	FAIR	REMOVE	2
T2	HONEYLOCUST	13" CAL.	FAIR	REMOVE	1.5
T3	HONEYLOCUST	25" CAL.	FAIR-	REMOVE	2.5
T4	SILVER MAPLE	56" CAL.	FAIR+	REMOVE	5
T5	ASPEN CLUMP	7,6&5" CAL.	POOR	REMOVE	1.5
T6	ASPEN CLUMP	2-5" CAL.	FAIR	REMOVE	0
T7	SIBERIAN ELM	32" CAL.	FAIR+	REMOVE	3
T8	CHOKECHERRY	3" CAL.	FAIR-	REMOVE	0
T9	SIBERIAN ELM	30" CAL.	FAIR	REMOVE	2.5
T10	PLUM	7" CAL.	FAIR	REMOVE	1
T11	GREEN ASH	10" CAL.	FAIR+	REMOVE	2
T12	GREEN ASH	10" CAL.	FAIR	REMOVE	2
T13	COTTONWOOD	36" CAL.	GOOD	REMOVE	4.5
T14	SIBERIAN ELM	30,27" CAL.	FAIR	REMOVE	3.5
T15	SIBERIAN ELM	40" CAL.	FAIR	REMOVE	3.5
T16	SIBERIAN ELM	10,7&7" CAL.	FAIR-	PROTECT	(0)
T17	SIBERIAN ELM		DEAD	REMOVE	0
T18	PINON PINE	5" CAL.	POOR	REMOVE	0
T19	ELM CLUMP	3-6" CAL.	POOR	REMOVE	0
T20	PINON PINE/ELM	5,12" CAL.	FAIR,POOR	REMOVE	0
T21	SIBERIAN ELM	14" CAL.	POOR	REMOVE	0
T22	SIBERIAN ELM	17" CAL.	POOR	REMOVE	0
T23	PINON PINE	8" CAL.	DEAD	REMOVE	0
T24	SIBERIAN ELM	23" CAL.	FAIR-	PROTECT	(2)
T25	BLUE SPRUCE	9" CAL.	FAIR-	PROTECT	(1)
T26	BLUE SPRUCE	12" CAL.	FAIR-	PROTECT	(1.5)
T27	BLUE SPRUCE	17" CAL.	FAIR	PROTECT	(2)
T28	ASPEN	10,11" CAL.	DEAD	REMOVE	0
T29	RUSSIAN OLIVE	26" CAL.	FAIR-	REMOVE	1.5
T30	NORWAY MAPLE	5" CAL.	FAIR	REMOVE	1

TOTAL MITIGATION TREES REQUIRED DUE TO TREE REMOVAL: 37

TREE PROTECTION NOTES:

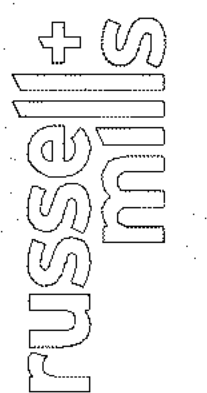
- ALL EXISTING TREES WITHIN THE LIMITS OF THE DEVELOPMENT AND WITHIN ANY NATURAL AREA BUFFER ZONES SHALL REMAIN AND BE PROTECTED UNLESS NOTED ON THESE PLANS FOR REMOVAL.
- WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE CITY OF FORT COLLINS FORESTRY STANDARDS. TREE PRUNING AND REMOVAL SHALL BE PERFORMED BY A BUSINESS THAT HOLDS A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE WHERE REQUIRED BY CODE.
- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE-HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF," RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (G)(3) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW:

TREE DIAMETER AT BREAST HEIGHT (INCHES)	AUGER DISTANCE FROM FACE OF TREE (FEET)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
Over 19	15

- NO TREES SHALL BE REMOVED DURING THE SONGBIRD NESTING SEASON (FEBRUARY 1 TO JULY 31) WITHOUT FIRST HAVING A PROFESSIONAL ECOLOGIST OR WILDLIFE BIOLOGIST COMPLETE A NESTING SURVEY TO IDENTIFY ANY ACTIVE NESTS EXISTING ON THE PROJECT SITE. THE SURVEY SHALL BE SENT TO THE CITY ENVIRONMENTAL PLANNER. IF ACTIVE NESTS ARE FOUND, THE CITY WILL COORDINATE WITH RELEVANT STATE AND FEDERAL REPRESENTATIVES TO DETERMINE WHETHER ADDITIONAL RESTRICTIONS ON TREE REMOVAL AND CONSTRUCTION APPLY.

A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.

REV.	COMMENT	DATE



JOHNSON DRIVE APARTMENTS
 TREE INVENTORY AND MITIGATION PLAN

Date: 01/2020
 Drawn By: DD
 Checked By: CR

Sheet
LP001
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LEGEND

⊗ TREE TO BE REMOVED

CREEKSIDE PARK TREE INVENTORY CHART

NAME	SPECIES	SIZE	CONDITION	MITIGATION ACTION
T1A	CRABAPPLE	12"	FAIR	1.5 RETAIN
T2A	BIGTOOTH MAPLE	7-8"	FAIR PLUS	2 RETAIN
T3A	PINON PINE	6"	FAIR MINUS	1 RETAIN
T4A	GAMBEL/BUR	9"	FAIR PLUS	2 RETAIN
T5A	PINON PINE	7"	FAIR	1.5 RETAIN
T6A	GAMBEL OAK	9 STEMS 2-4"	FAIR PLUS	3 RETAIN
T7A	GAMBEL OAK	6 STEMS 2-3"	FAIR	2 RETAIN
T8A	GAMBEL OAK	5 STEMS 2-4"	FAIR PLUS	3 RETAIN
T9A	GAMBEL OAK	7 STEMS 2-4"	FAIR PLUS	2.5 RETAIN
T10A	OSAGE ORANGE	5"	FAIR	3 RETAIN
T11A	ARIZONA CYPRESS/ ONE SEED JUNIPER	10"	FAIR PLUS	3 RETAIN
T12A	GREEN ASH	13"	FAIR PLUS	2 REMOVE
T13A	GREEN ASH	11"	FAIR PLUS	2 REMOVE
T14A	MULTI-STEM SHRUB (SPECIES TBD)		DEAD	0 REMOVE

TOTAL MITIGATION TREES REQUIRED DUE TO TREE REMOVAL: 4
 REQUIRED MITIGATION PAYMENT IN LIEU IS \$450 PER MITIGATION TREE. SINCE BOTH ASH (TREES 12A AND 13A) WILL BE REMOVED, 4 MITIGATION TREES TOTALS \$1,800

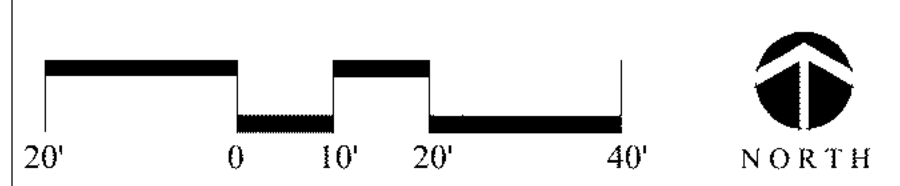
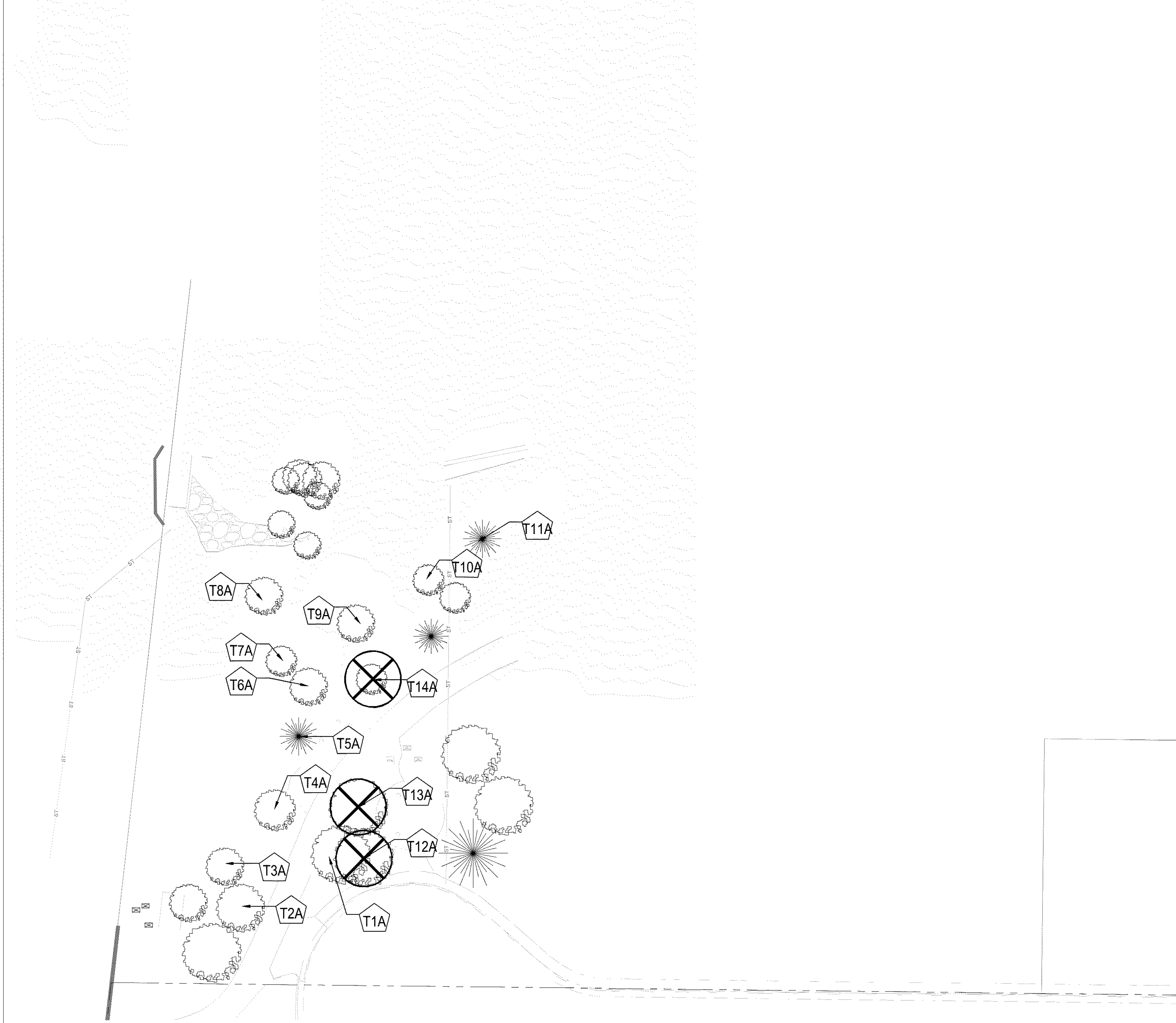
TREE PROTECTION NOTES:

- ALL EXISTING TREES WITHIN THE LIMITS OF THE DEVELOPMENT AND WITHIN ANY NATURAL AREA BUFFER ZONES SHALL REMAIN AND BE PROTECTED UNLESS NOTED ON THESE PLANS FOR REMOVAL.
- WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE CITY OF FORT COLLINS FORESTRY STANDARDS. TREE PRUNING AND REMOVAL SHALL BE PERFORMED BY A BUSINESS THAT HOLDS A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE WHERE REQUIRED BY CODE.
- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE-HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF," RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (C)(3) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW:

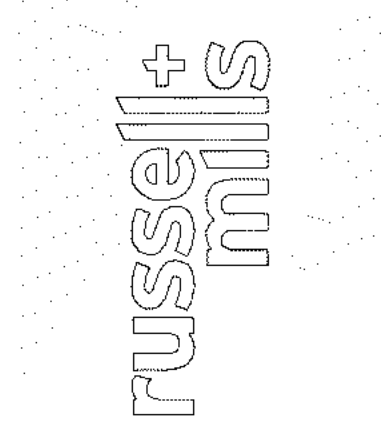
TREE DIAMETER AT BREAST HEIGHT (INCHES)	AUGER DISTANCE FROM FACE OF TREE (FEET)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
Over 19	15

- NO TREES SHALL BE REMOVED DURING THE SONGBIRD NESTING SEASON (FEBRUARY 1 TO JULY 31) WITHOUT FIRST HAVING A PROFESSIONAL ECOLOGIST OR WILDLIFE BIOLOGIST COMPLETE A NESTING SURVEY TO IDENTIFY ANY ACTIVE NESTS EXISTING ON THE PROJECT SITE. THE SURVEY SHALL BE SENT TO THE CITY ENVIRONMENTAL PLANNER. IF ACTIVE NESTS ARE FOUND, THE CITY WILL COORDINATE WITH RELEVANT STATE AND FEDERAL REPRESENTATIVES TO DETERMINE WHETHER ADDITIONAL RESTRICTIONS ON TREE REMOVAL AND CONSTRUCTION APPLY.

A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.



REV.	COMMENT	DATE



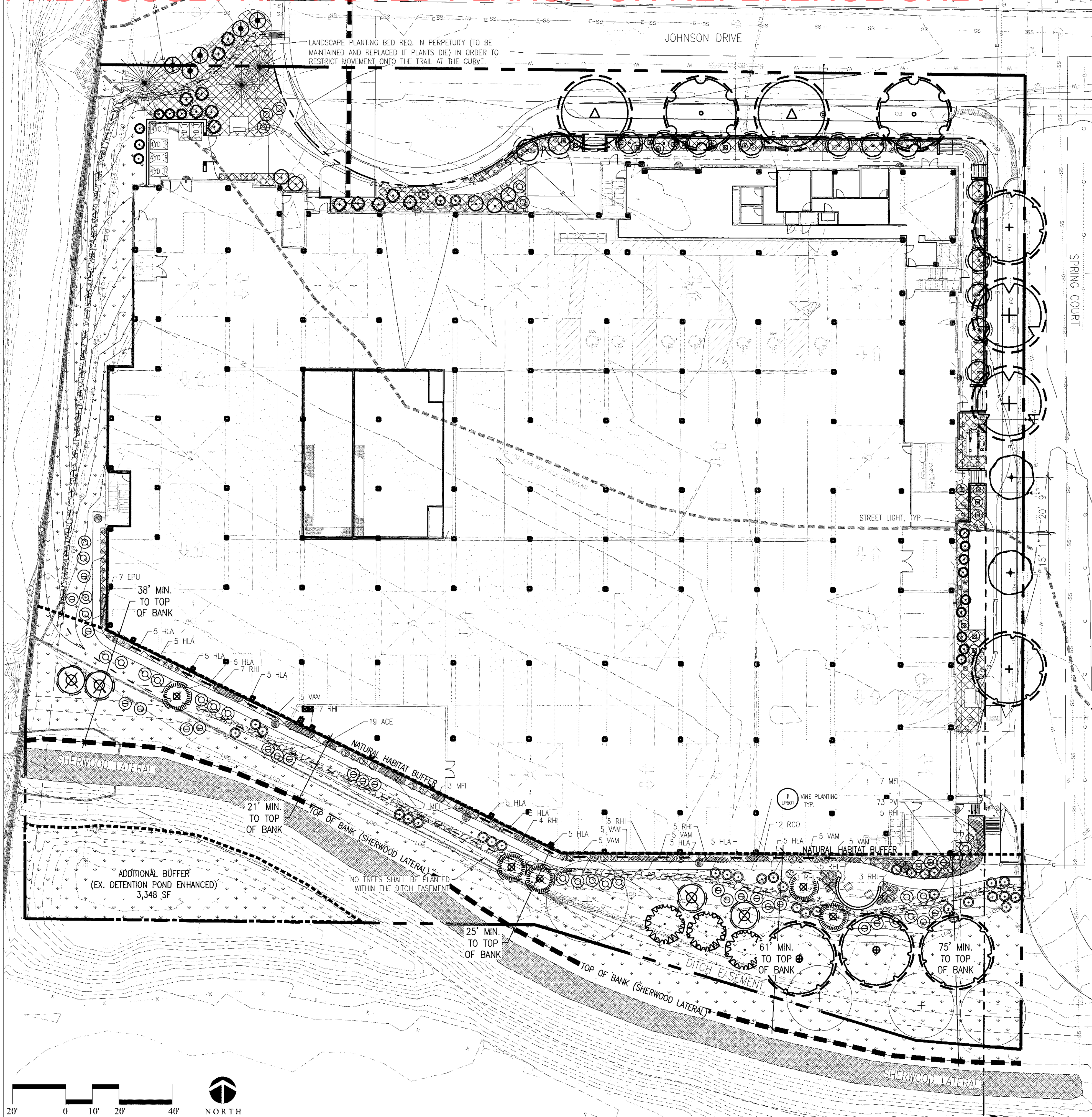
JOHNSON DRIVE APARTMENTS
 CREEKSIDE PARK
 TREE INVENTORY AND MITIGATION PLAN

Date: 01/2020
 Drawn By: DD
 Checked By: CR

Sheet
 LP002
 J - 14 2918

For official copy, please see Engineering

PREVIOUSLY APPROVED PLANS. FOR REFERENCE ONLY



LANDSCAPE LEGEND:

- SOO - ENVIROTURF (IRRIGATED TURF FOR R.O.W.)
- EXISTING TREES
- PROPOSED NATURAL HABITAT BUFFER ZONE
- TOP OF BANK
- DETENTION BASIN SEED MIX PER CITY
- UPLAND SEED MIX PER CITY
- IRRIGATED PLANTING BED SHREDED CEDAR MULCH (4" DEPTH-NO WEED BARRIER)
- (37) MITIGATION TREE CANOPY-2.5' CAL. EVERGREEN-8' HT. ORNAMENTAL-2" CAL. 6-8" DIA. RIVER COBBLE

LANDSCAPE SCHEDULE - 59 TOTAL TREES 25% MAX (15) ONE SPECIES

QTY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	%
2	(Symbol)	ULMUS MORTON 'ACCOLADE'	ACCOLADE ELM	2.5" CAL.	3.4%
3	(Symbol)	POPULUS ANGUSTIFOLIA (NON-STREET TREE)	NARROWLEAF COTTONWOOD	2.5" CAL.	5.1%
2	(Symbol)	QUERCUS BUCKLEYI	TEXAS RED OAK	2.5" CAL.	3.4%
2	(Symbol)	CATALPA SPECIOSA	NORTHERN CATALPA	2.5" CAL.	3.4%
2	(Symbol)	GYNOCADUS DIOICA 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	2.5" CAL.	3.4%
14	(Symbol)	QUERCUS ROBUR X BICOLOR 'LONG'	REGAL PRINCE OAK	2" CAL*	23.7%
5	(Symbol)	PRUNUS X CERASIFERA 'CRINOIDAM' CRIMSON POINTE	CRIMSON POINTE PLUM	1.5" CAL.	8.5%
4	(Symbol)	PRUNUS AMERICANA	AMERICAN PLUM (MULTI-STEM)	8" HT.**	6.8%
2	(Symbol)	MALUS 'SPRING SNOW'	SPRING SNOW CRAB	1.5" CAL.	3.4%
3	(Symbol)	PINUS EDULIS	PINYON PINE	8" HT.	5.1%
5	(Symbol)	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	8" HT.	6.5%
15	(Symbol)	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR JUNIPER	6" HT.	25%
18	(Symbol)	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	5 GAL.	
27	(Symbol)	RUBUS DELICIOSUS	BOULDER RASPBERRY	5 GAL.	
27	(Symbol)	ATRIPLEX CANESCENS	FOURRING SALTBUSH	5 GAL.	
35	(Symbol)	SYMPHORICARPUS OREOPHILUS	ROCKY MOUNTAIN SNOWBERRY	5 GAL.	
51	(Symbol)	BOUTELOUA CURTIPENDULA	SIDEOATS GRAMA	1 GAL.	
20	(Symbol)	PANICUM VIRGATUM	SHEWANDOH SWITCHGRASS	1 GAL.	
38	(Symbol)	SORGHASTRUM HUTANS	INDIAN RICEGRASS	1 GAL.	
58	(Symbol)	BOUTELOUA GRACILIS 'BLOND AMBITION'	BLOND AMBITION BLUE GRAMA	1 GAL.	
12	(Symbol)	PICEA PUNGENS 'GLOBOSA'	DWARF GLOBE SPRUCE	5 GAL.	
5	(Symbol)	RHUS TRILOBATA	GRD-LOW SUMAC	5 GAL.	
44	(Symbol)	RUBICECKIA HIRTA	BLACK-EYED SUSAN	1 GAL.	
73	(Symbol)	PENSTEMON VIRENS	BLUE MIST PENSTEMON	1 GAL.	
17	(Symbol)	ERUJA MONARDA FISTULOSA VAR. MENTHAEOFLIA	PURPLE CONEFLOWER	1 GAL.	
8	(Symbol)	SOLIDAGO CANADENSIS	CANADA GOLDENROD	1 GAL.	
12	(Symbol)	MEXICANI HAT	RATIBIDA COLUMNIFERA	1 GAL.	
30	(Symbol)	HUMULUS LUPULUS AMERICANUS	NEW MEXICAN HOP	1 GAL.	
19	(Symbol)	VICIA AMERICANA	AMERICAN VETCH	1 GAL.	
19	(Symbol)	ALLIUM CERNUUM	NODDING ONION	4" POT	

DECIDUOUS TREES

ORNAMENTAL TREES

DECIDUOUS SHRUBS

ORNAMENTAL GRASSES

EVERGREEN SHRUBS

PERENNIALS

GROUNDCOVER & VINES

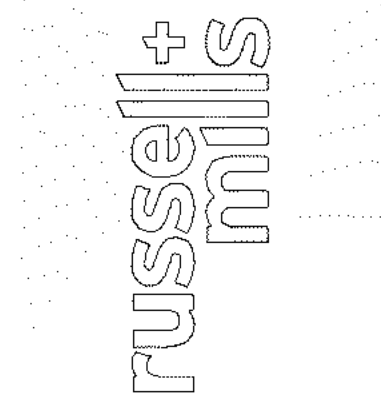
- GENERAL LANDSCAPE NOTES:**
- PLANT QUALITY: ALL PLANT MATERIAL SHALL BE A-GRADE OR NO. 1 GRADE - FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.
 - IRRIGATION: ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC FURROW IRRIGATION SYSTEM AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRUCKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL. IRRIGATION SYSTEMS TO BE TURNED OVER TO THE CITY PARKS DEPARTMENT FOR MAINTENANCE MUST BE APPROVED BY THE PARKS MANAGER AND MEET PARKS IRRIGATION STANDARDS. DESIGN REVIEW SHALL OCCUR DURING UTILITIES DEPARTMENT IRRIGATION REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND CONSTRUCTION OBSERVATION AND INSPECTION BY PARKS SHALL BE INCORPORATED INTO THE CONSTRUCTION PROCESS.
 - TOPSOIL: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
 - SOIL AMENDMENTS: SOIL AMENDMENTS SHALL BE PROVIDED AND DOCUMENTED IN ACCORDANCE WITH CITY CODE SECTION 12-132. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT(8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF SIX(6) INCHES BY TILLING, DISING OR OTHER SUITABLE METHOD. AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, A WRITTEN CERTIFICATION MUST BE SUBMITTED TO THE CITY THAT ALL PLANTED AREAS, OR AREAS TO BE PLANTED, HAVE BEEN THOROUGHLY LOOSENED AND THE SOIL AMENDED, CONSISTENT WITH THE REQUIREMENTS SET FORTH IN SECTION 12-132.
 - INSTALLATION AND GUARANTEE: ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
 - MAINTENANCE: TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS WITH THESE FINAL PLANS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
 - REPLACEMENT: ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.
 - THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:
 - 40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS
 - 15 FEET BETWEEN ORNAMENTAL TREES AND STREETLIGHTS
 - 10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES
 - 6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES.
 - 4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES
 - 4 FEET BETWEEN TREES AND GAS LINES
 - ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS PER ILC 3.2.1(1)(2)(4).
 - PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
 - THE FINAL LANDSCAPE PLAN SHALL BE COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
 - MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION -- AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR TO INSTALLATION.
 - ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.
 - ALL TREES ALONG EAE TO BE LIMBED AND MAINTAINED AT 14'-0" HEIGHT FOR PFA ACCESS.
 - IF 8 HEIGHT AMERICAN PLUM TREES ARE NOT AVAILABLE, THE FOLLOWING SUBSTITUTION MUST BE IMPLEMENTED: (4) 5-GALLON MULTI-STEM SHRUBS PLANTED FOR EVERY (1) MITIGATION TREE IN ORDER TO MEET THE TOTAL NUMBER OF REQUIRED ON-SITE MITIGATION.
- NATIVE SEED MIX NOTES:**
- PREPARE SOIL AS NECESSARY AND APPROPRIATE FOR NATIVE SEED MIX SPECIES THROUGH AERATION AND ADDITION OF AMENDMENTS, THEN SEED IN TWO DIRECTIONS TO DISTRIBUTE SEED EVENLY OVER ENTIRE AREA.
 - IF CHANGES ARE TO BE MADE TO SEED MIX BASED ON SITE CONDITIONS THEN APPROVAL MUST BE PROVIDED BY CITY ENVIRONMENTAL PLANNER.
 - APPROPRIATE NATIVE SEEDING EQUIPMENT WILL BE USED (STANDARD TURF SEEDING EQUIPMENT OR AGRICULTURE EQUIPMENT SHALL NOT BE USED).
 - DRILL SEED APPLICATION RECOMMENDED PER SPECIFIED APPLICATION RATE TO NO MORE THAN 1/2 INCH DEPTH. FOR BROADCAST SEEDING INSTEAD OF DRILL SEEDING METHOD DOUBLE SPECIFIED APPLICATION RATE. REFER TO NATIVE SEED MIX TABLE FOR SPECIES, PERCENTAGES AND APPLICATION RATES.
 - TREAT NATIVE SEED MIX AREA PRIOR TO INSTALLATION OF SEED WITH APPROPRIATE HERBICIDE TO PROACTIVELY MITIGATE HERBACEOUS WEED SPECIES GROWTH DURING ESTABLISHMENT PERIOD THEN AFTER APPROPRIATE TIME PERIOD APPLY NATIVE SEED AS CALLED FOR ON APPROVED PLANS.
 - AFTER SEEDING THE AREA SHALL BE COVERED WITH CRIMPED STRAW OR OTHER APPROPRIATE METHODS AND PROVIDED TEMPORARY IRRIGATION UNTIL SEED IS ESTABLISHED.
 - CONTRACTOR SHALL MONITOR SEEDING AREA FOR PROPER IRRIGATION, EROSION CONTROL, DENIMATION AND RESEEDING AS NEEDED TO ESTABLISH COVER.
 - THE APPROVED SEED MIX AREA IS INTENDED TO BE MAINTAINED IN A NATURAL LIKE LANDSCAPE AESTHETIC. IF AND WHEN MOWING OCCURS IN NATIVE GRASS SEED MIX AREAS DO NOT MOW LOWER THAN 6 TO 8 INCHES IN HEIGHT TO AVOID INHIBITING NATIVE PLANT GROWTH.
 - NATIVE SEED AREA WILL BE CONSIDERED ESTABLISHED WHEN SEVENTY PERCENT TOTAL COVER IS REACHED WITH NO LARGER THAN ONE FOOT SQUARE BARE SPOTS AND/OR UNTIL DEEMED ESTABLISHED BY CITY PLANNING SERVICES.
- STREET TREE NOTES:**
- A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. TREE PLANTS SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY. CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL MUST BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN.
 - APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE.
 - STREET LANDSCAPING, INCLUDING STREET TREES, SHALL BE SELECTED IN ACCORDANCE WITH ALL CITY CODES AND POLICIES. ALL TREE PRUNING AND REMOVAL WORKS SHALL BE PERFORMED BY A CITY OF FORT COLLINS LICENSED ARBORIST WHERE REQUIRED BY CODE STREET TREES SHALL BE SUPPLIED AND PLANTED BY THE DEVELOPER USING A QUALIFIED LANDSCAPE CONTRACTOR.
 - THE DEVELOPER SHALL REPAIR DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL MAINTENANCE INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES IN THE PROJECT MUST BE ESTABLISHED, WITH AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
 - SUBJECT TO APPROVAL BY THE CITY FORESTER -- STREET TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, UTILITY SEPARATIONS BETWEEN TREES, STREET SIGNS AND STREET LIGHTS. STREET TREES TO BE CENTERED IN THE MIDDLE OF THE LOT TO THE EXTENT FEASIBLE. QUANTITIES SHOWN ON PLAN MUST BE INSTALLED UNLESS A REDUCTION IS APPROVED BY THE CITY TO MEET SEPARATION STANDARDS.
- NATURAL AREA BUFFER NOTES:**
- STANDARDS FOR PROTECTION DURING CONSTRUCTION -- THE DIRECTOR SHALL ESTABLISH A "LIMITS OF DEVELOPMENT" ("LOD") LINE(S) TO ESTABLISH THE BOUNDARY OF THE PROJECT OUTSIDE OF WHICH NO LAND DISTURBANCE ACTIVITIES WILL OCCUR DURING THE CONSTRUCTION OF THE PROJECT.
 - SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE.
 - CONSTRUCTION SHALL BE ORGANIZED AND TIMED TO MINIMIZE THE DISTURBANCE OF SENSITIVE SPECIES OCCUPYING OR USING ON-SITE AND ADJACENT NATURAL HABITATS OR FEATURES.
 - CONSTRUCTION OF BARRIER FENCING SHALL BE PROVIDED AT THE LIMITS OF THE DEVELOPMENT DURING CONSTRUCTION.
- FLOODPLAIN AND FLOODWAY NOTES:**
- PORTIONS OF THIS PROPERTY ARE LOCATED IN THE FEMA REGULATORY 100-YEAR (INSERT NAME OF FLOODWAY) AND HIGH RISK FLOOD FRINGE.
 - ALL DEVELOPMENT WITHIN THE FLOODPLAIN MUST COMPLY WITH THE FLOODPLAIN REGULATIONS OF CHAPTER 10 OF CITY OF FORT COLLINS MUNICIPAL CODE.
 - CONSTRUCTION OF RESIDENTIAL STRUCTURES IS NOT ALLOWED IN THE 100 YEAR FLOODWAY. RESIDENTIAL STRUCTURES ARE ALLOWED IN THE 100 YEAR HIGH RISK FLOOD FRINGE PROVIDED THEY MEET ALL ELEVATION REQUIREMENTS OF CHAPTER 10 OF CITY MUNICIPAL CODE.
 - NON-STRUCTURAL DEVELOPMENT (FENCES, DETENTION PONDS, HARD SURFACE PATHS, FILL, DRIVEWAYS, PARKING AREAS, VEGETATION, ETC.) IS ALLOWED WITHIN THE 100 YEAR FLOODWAY, PROVIDED THE DEVELOPMENT WILL NOT CAUSE A RISE IN THE BASE FLOOD ELEVATION OR A CHANGE TO THE FLOODWAY OR FLOOD FRINGE BOUNDARIES. NON-STRUCTURAL DEVELOPMENT IS NOT RESTRICTED IN THE FLOOD FRINGE.

HYDROZONE	AREA (SF)	WATER NEED (GAL/SF)	ANNUAL WATER USE (GAL)
HIGH	0	18.0	0
MODERATE	5138	10.0	51382
LOW	29234	3.0	87702
TOTAL	34372	4.0	139084

*BREAKDOWN OF AREAS:
 MODERATE = TURF + HALF OF SHRUB BEDS
 LOW = SEED MIXES PER CITY + HALF OF SHRUB BED
 (INCLUDES SEED MIXES ALONG SHERWOOD LATERAL AND DETENTION BASIN)

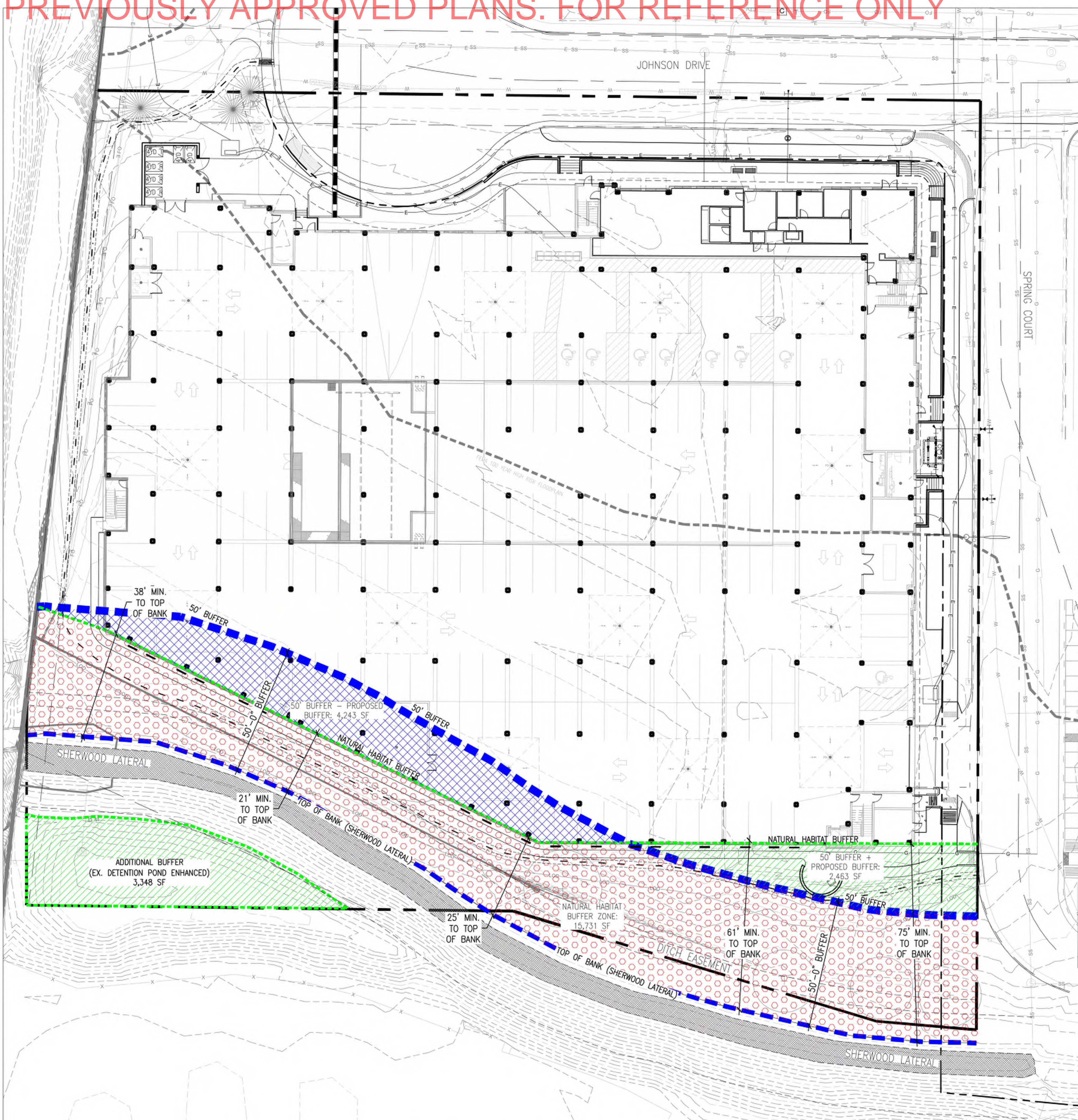
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REV.	COMMENT	DATE



JOHNSON DRIVE APARTMENTS
 OVERALL LANDSCAPE PLAN

Date: 01/2020
 Drawn By: DD
 Checked By: CR



LANDSCAPE LEGEND:

- REQUIRED 50' NATURAL HABITAT BUFFER
- PROPOSED NATURAL HABITAT BUFFER
- TOP OF LATERAL BANK
- 50' BUFFER - PROPOSED NATURAL HABITAT BUFFER
- 50' BUFFER + PROPOSED NATURAL HABITAT BUFFER
- PROPOSED NATURAL HABITAT BUFFER AREA

REQUIRED 50' BUFFER ZONE CALCULATIONS		PROPOSED BUFFER ZONE CALCULATIONS		PROPOSED BUFFER ZONE CALCULATIONS CONTINUED	
50' BUFFER AREA REQUIRED	19,933 SF	PROPOSED BUFFER AREA	18,194 SF	MINIMUM BUFFER DISTANCE	21 FEET
REQUIRED BUFFER DISTANCE	50 FEET	PROPOSED ADDITIONAL AREA ENHANCED (DETENTION POND)	3,348 SF	MAXIMUM BUFFER DISTANCE	78 FEET
		TOTAL PROPOSED BUFFER AREA	21,542 SF	AVERAGE BUFFER DISTANCE	42 FEET

NATIVE SEED MIX NOTES

1. PREPARE SOIL AS NECESSARY AND APPROPRIATE FOR NATIVE SEED MIX SPECIES THROUGH AERATION AND ADDITION OF AMENDMENTS, THEN SEED IN TWO DIRECTIONS TO DISTRIBUTE SEED EVENLY OVER ENTIRE AREA.
2. IF CHANGES ARE TO BE MADE TO SEED MIX BASED ON SITE CONDITIONS THEN APPROVAL MUST BE PROVIDED BY CITY ENVIRONMENTAL PLANNER.
3. APPROPRIATE NATIVE SEEDING EQUIPMENT WILL BE USED (STANDARD TURF SEEDING EQUIPMENT OR AGRICULTURE EQUIPMENT SHALL NOT BE USED).
4. DRILL SEED APPLICATION RECOMMENDED PER SPECIFIED APPLICATION RATE TO NO MORE THAN 1/2 INCH DEPTH. FOR BROADCAST SEEDING INSTEAD OF DRILL SEEDING METHOD DOUBLE SPECIFIED APPLICATION RATE. REFER TO NATIVE SEED MIX TABLE FOR SPECIES, PERCENTAGES AND APPLICATION RATES.
5. TREAT NATIVE SEED MIX AREA PRIOR TO INSTALLATION OF SEED WITH APPROPRIATE HERBICIDE TO PROACTIVELY MITIGATE HERBACEOUS WEED SPECIES GROWTH DURING ESTABLISHMENT PERIOD THEN AFTER APPROPRIATE TIME PERIOD APPLY NATIVE SEED AS CALLED FOR ON APPROVED PLANS.
6. AFTER SEEDING THE AREA SHALL BE COVERED WITH CRIMPED STRAW OR OTHER APPROPRIATE METHODS AND PROVIDED TEMPORARY IRRIGATION UNTIL SEED IS ESTABLISHED.
7. CONTRACTOR SHALL MONITOR SEEDED AREA FOR PROPER IRRIGATION, EROSION CONTROL, GERMINATION AND RESEEDING AS NEEDED TO ESTABLISH COVER.
8. THE APPROVED SEED MIX AREA IS INTENDED TO BE MAINTAINED IN A NATURAL LIKE LANDSCAPE AESTHETIC. IF AND WHEN MOWING OCCURS IN NATIVE GRASS SEED MIX AREAS DO NOT MOW LOWER THAN 6 TO 8 INCHES IN HEIGHT TO AVOID INHIBITING NATIVE PLANT GROWTH.
9. NATIVE SEED AREA WILL BE CONSIDERED ESTABLISHED WHEN SEVENTY PERCENT TOTAL COVER IS REACHED WITH NO LARGER THAN ONE FOOT SQUARE BARE SPOTS AND/OR UNTIL DEEMED ESTABLISHED BY CITY PLANNING SERVICES.
10. THE NATURAL HABITAT BUFFER ZONE IS INTENDED TO BE MAINTAINED IN A NATIVE LANDSCAPE. PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.

NATURAL AREA BUFFER NOTES

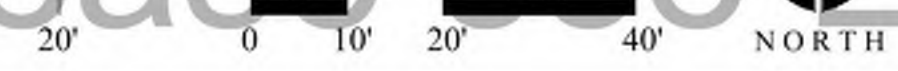
1. STANDARDS FOR PROTECTION DURING CONSTRUCTION - THE DIRECTOR SHALL ESTABLISH A "LIMITS OF DEVELOPMENT" ("LOD") LINE(S) TO ESTABLISH THE BOUNDARY OF THE PROJECT OUTSIDE OF WHICH NO LAND DISTURBANCE ACTIVITIES WILL OCCUR DURING THE CONSTRUCTION OF THE PROJECT.
2. SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE.
3. CONSTRUCTION SHALL BE ORGANIZED AND TIMED TO MINIMIZE THE DISTURBANCE OF SENSITIVE SPECIES OCCUPYING OR USING ON-SITE AND ADJACENT NATURAL HABITATS OR FEATURES.
4. CONSTRUCTION OF BARRIER FENCING SHALL BE PROVIDED AT THE LIMITS OF THE DEVELOPMENT DURING CONSTRUCTION.

REV.	COMMENT	DATE



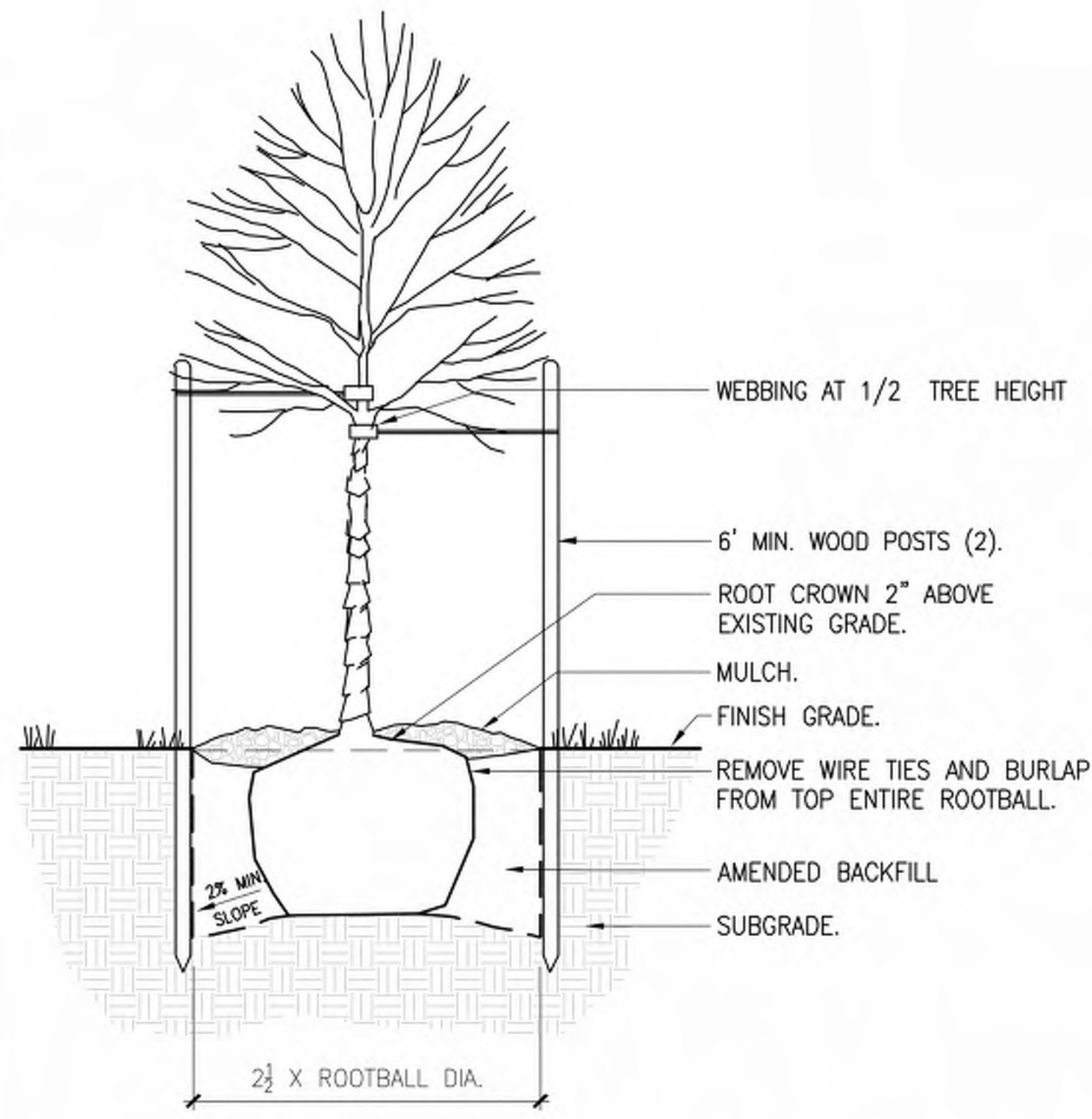
JOHNSON DRIVE APARTMENTS
 BUFFER ZONE DIAGRAM

For official copy, please see Engineering

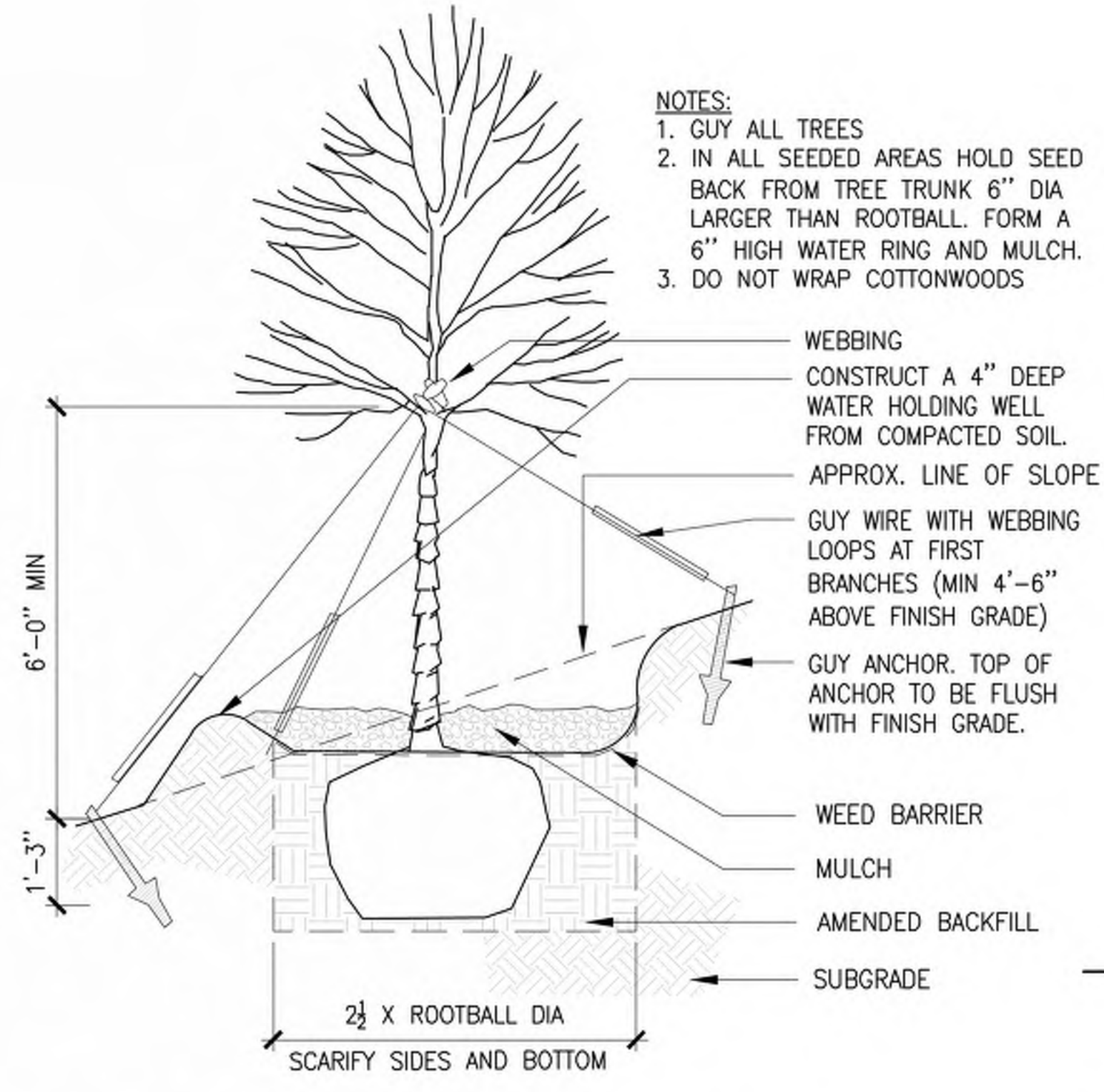


Date: 01/2020
 Drawn By: DD
 Checked By: CR

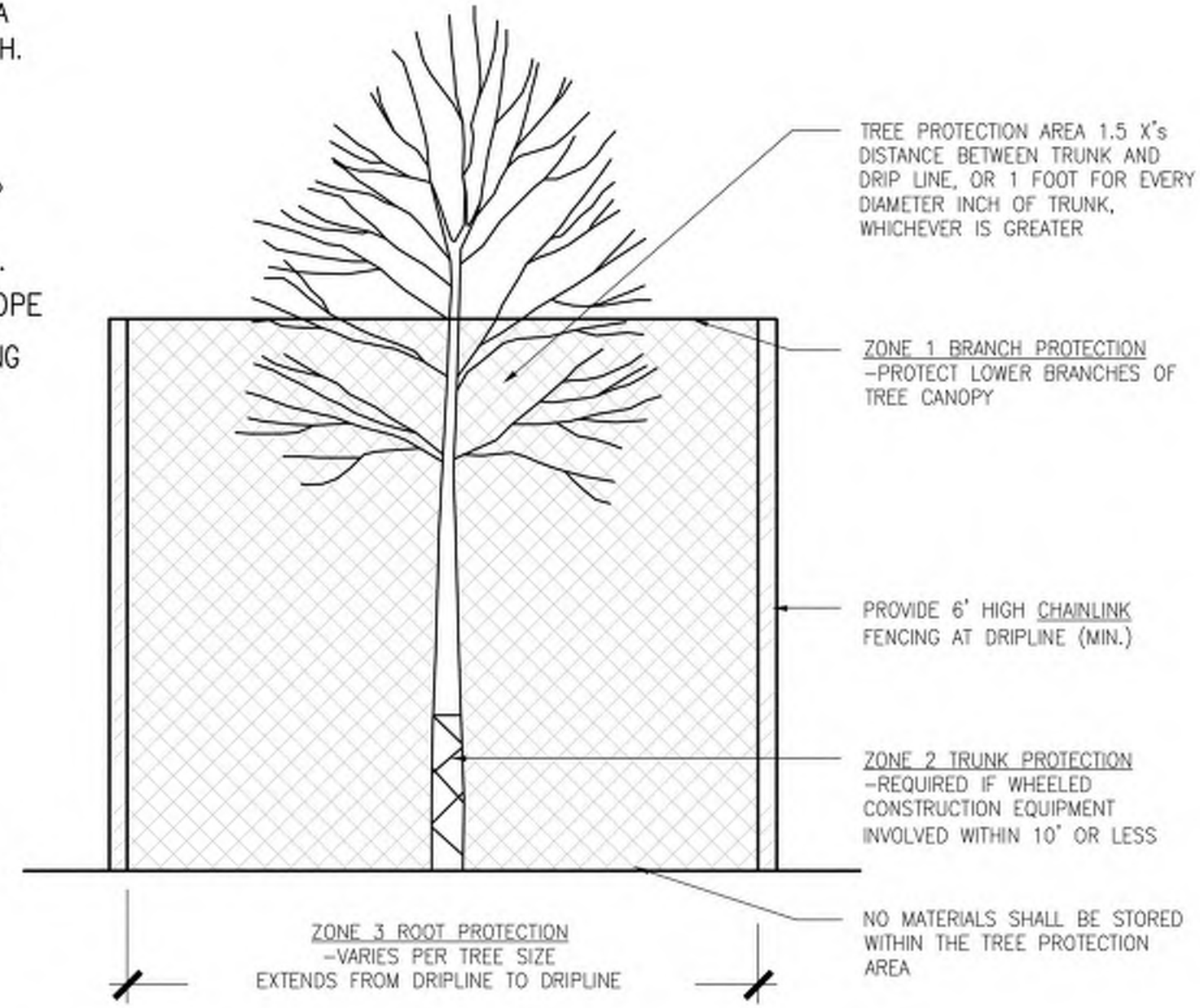
REV.	COMMENT	DATE



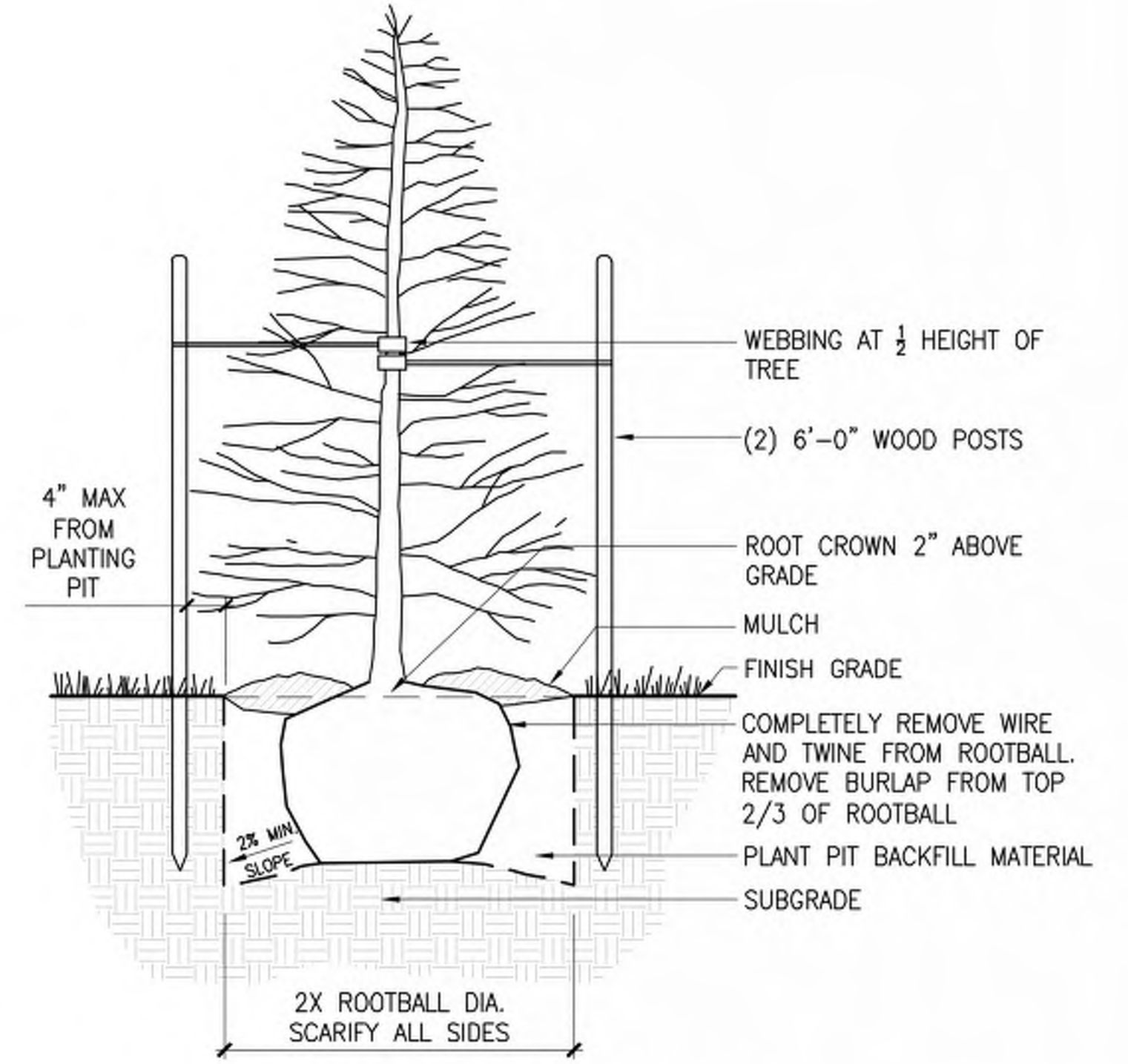
A DECIDUOUS TREE PLANTING
SCALE: NTS
DT-tree-Decid.dwg



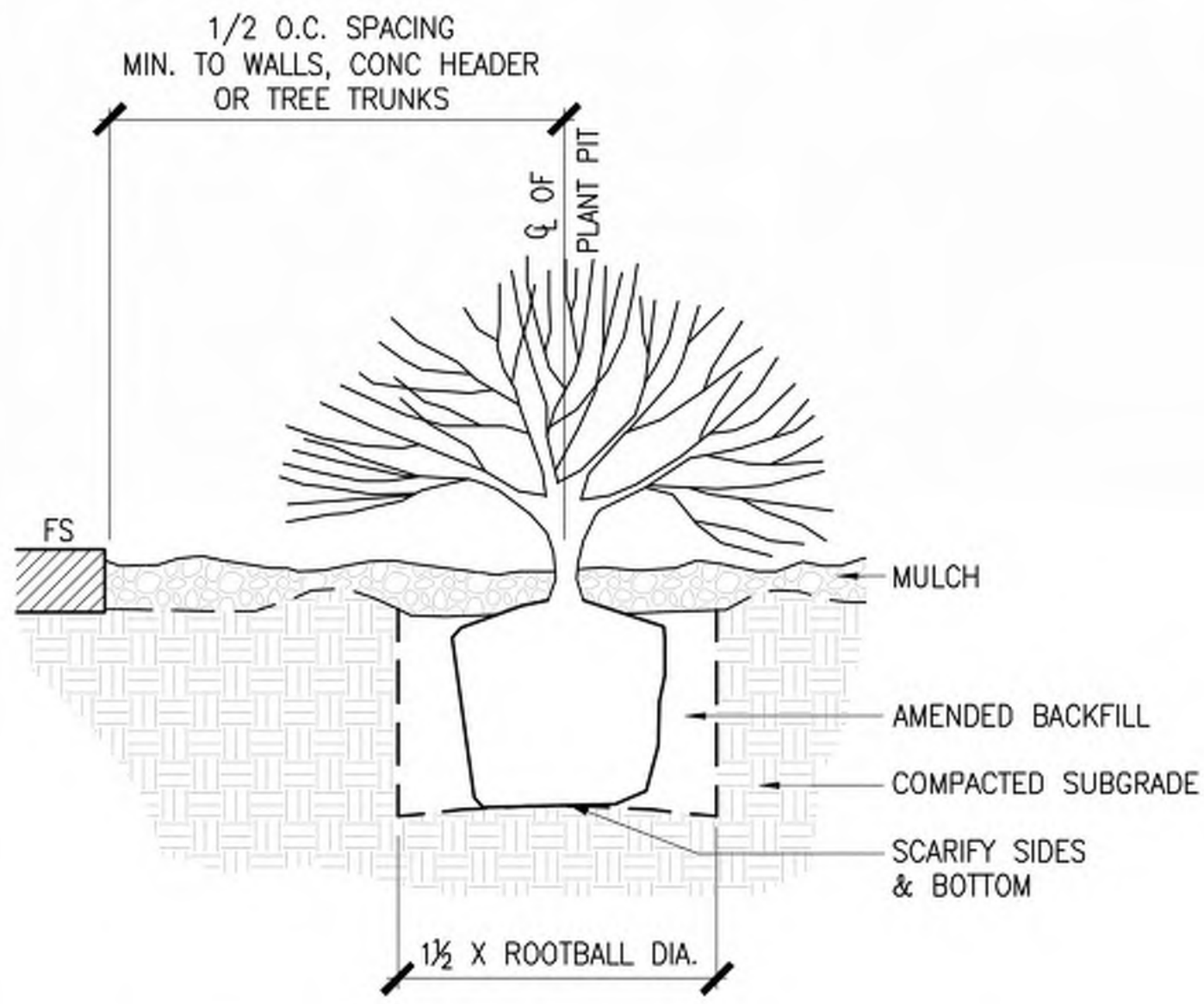
B DECIDUOUS TREE ON SLOPE
SCALE: 1/2"=1'-0"
DT-TreeDecSlope.dwg



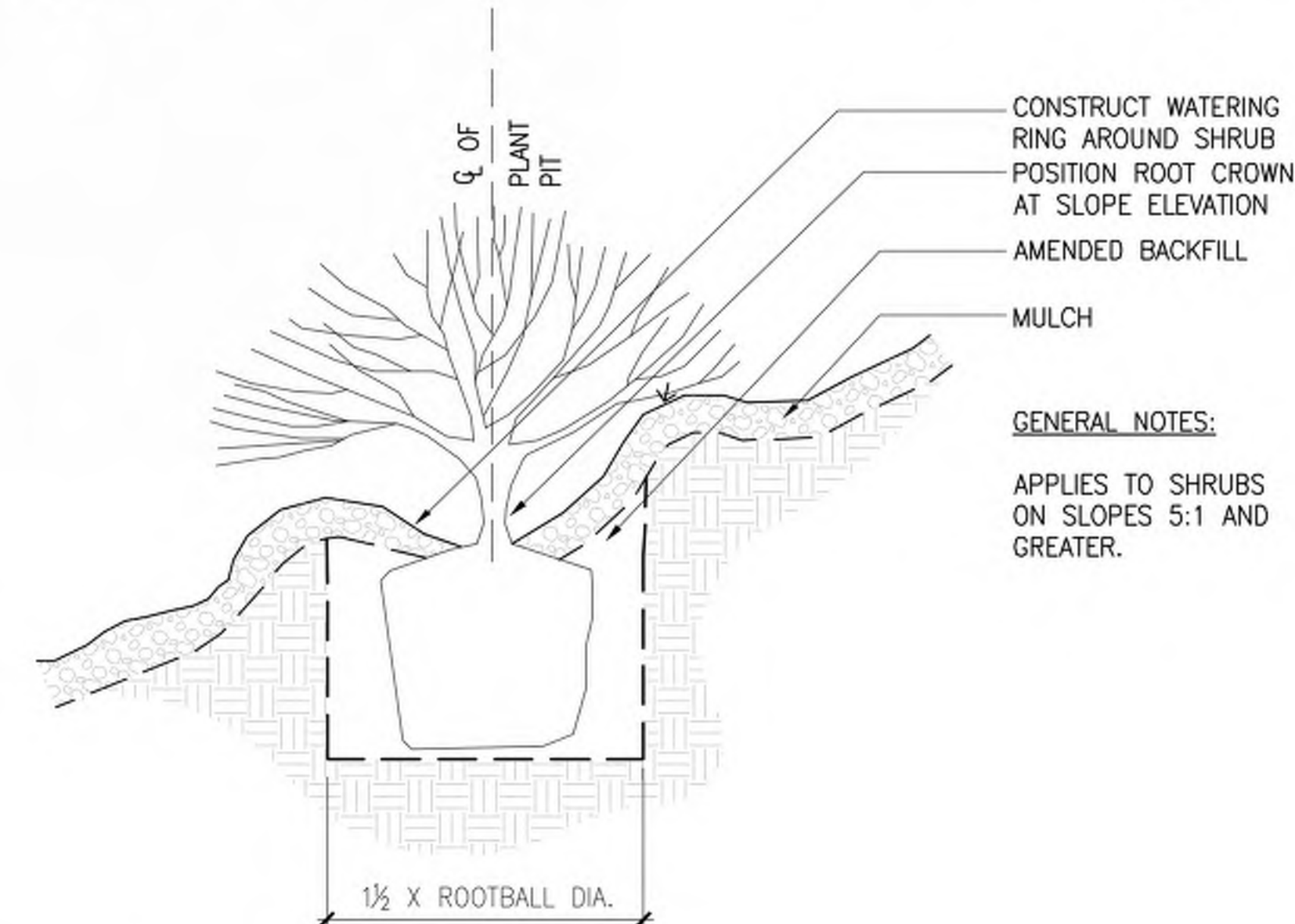
C TREE PROTECTION
SCALE: NTS



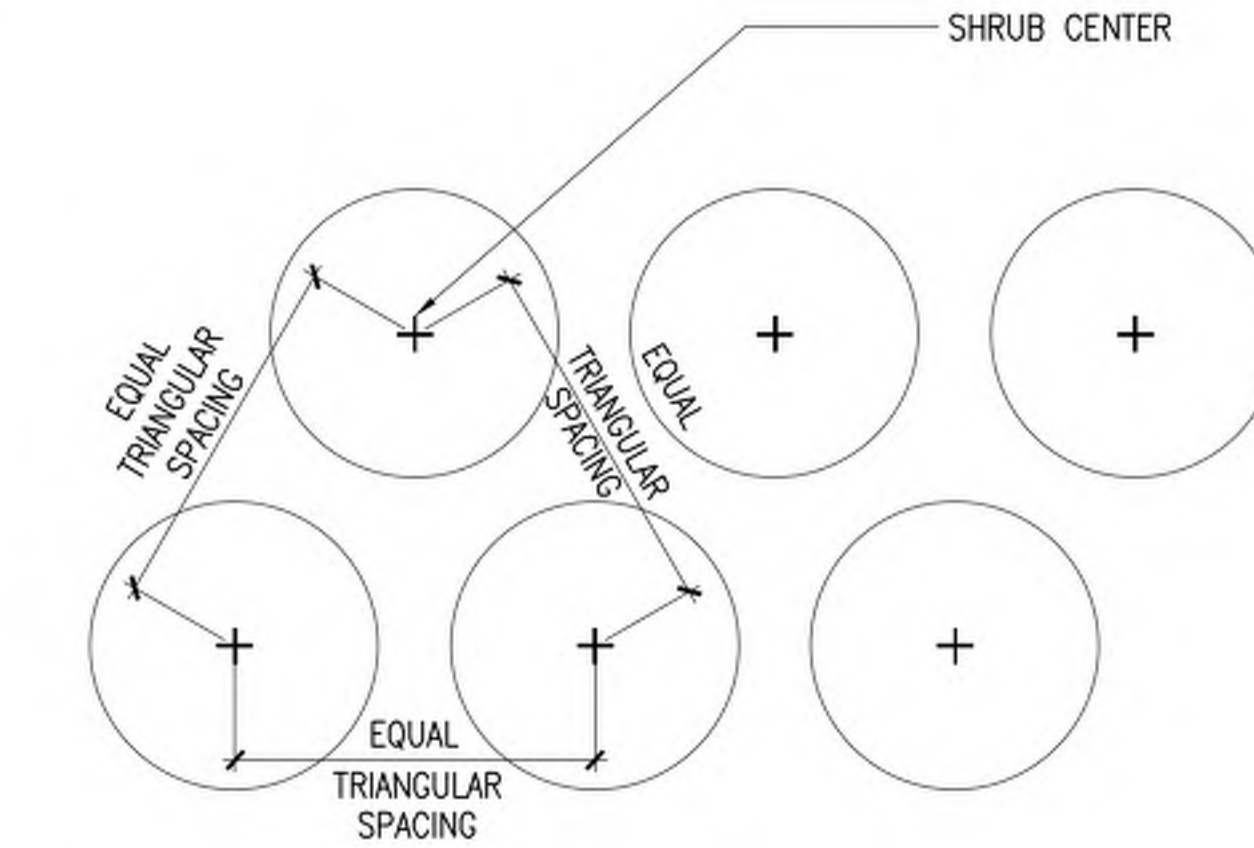
D EVERGREEN TREE PLANTING
SCALE: NTS
DT-PLANT-TREE-EVER



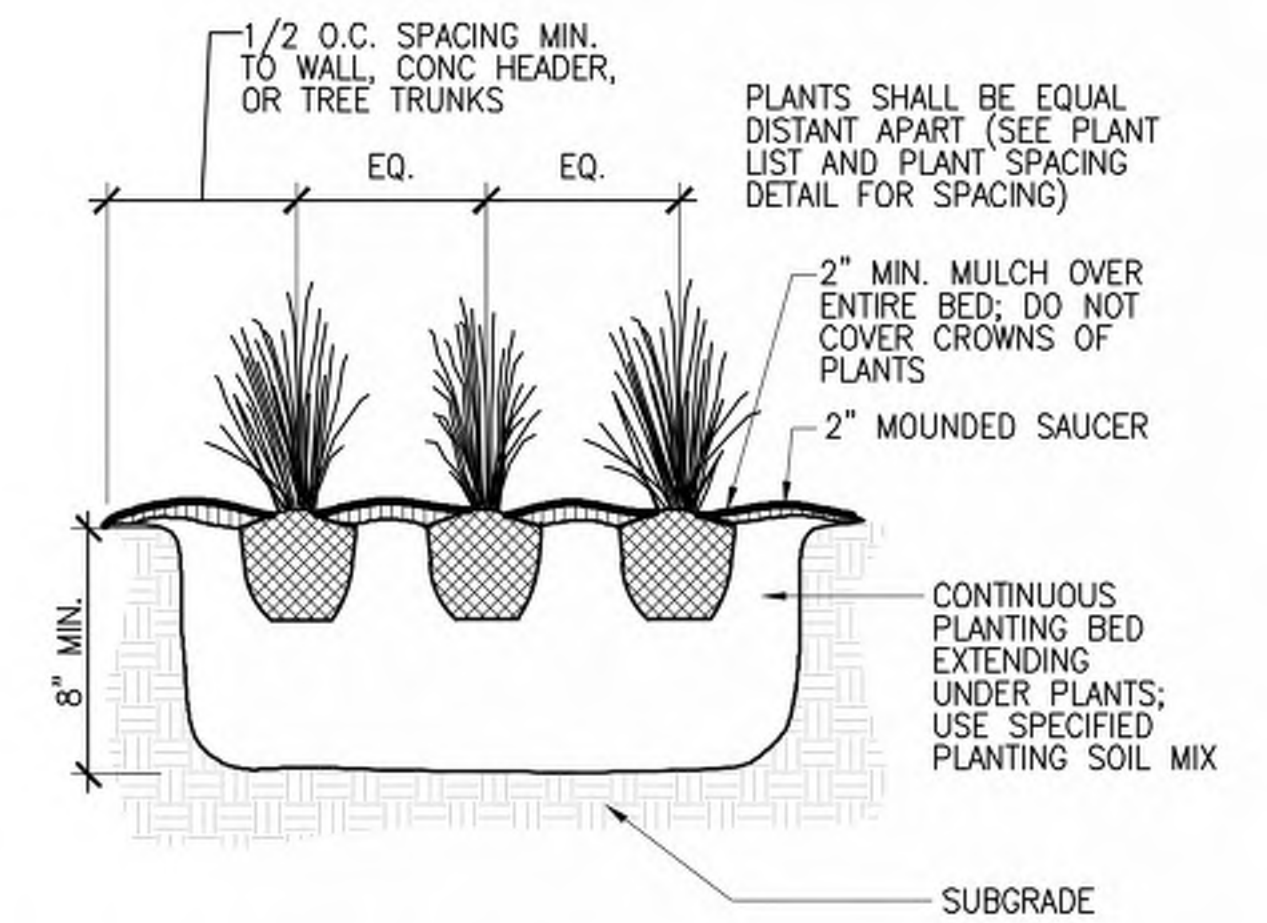
E SHRUB PLANTING
SCALE: NTS
shrub.dwg



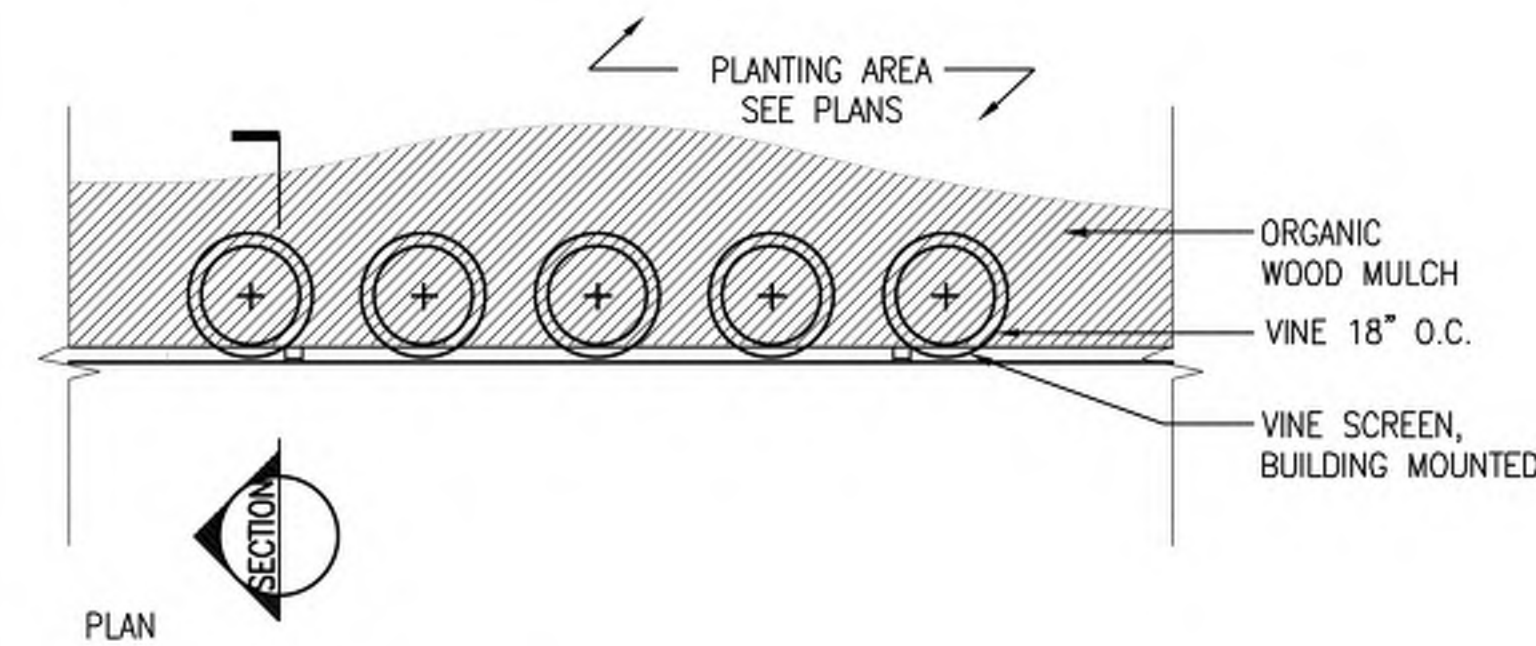
F SHRUB ON SLOPE
SCALE: N.T.S.
DT-ShrubSlope.dwg



G TRIANGULAR SHRUB SPACING
SCALE: NTS
DT-PLNT-SHRB-SPAC



H PERENNIAL PLANTING
SCALE: NTS
DT-Perennial.dwg



I VINE PLANTING
SCALE: 1"=1'-0"

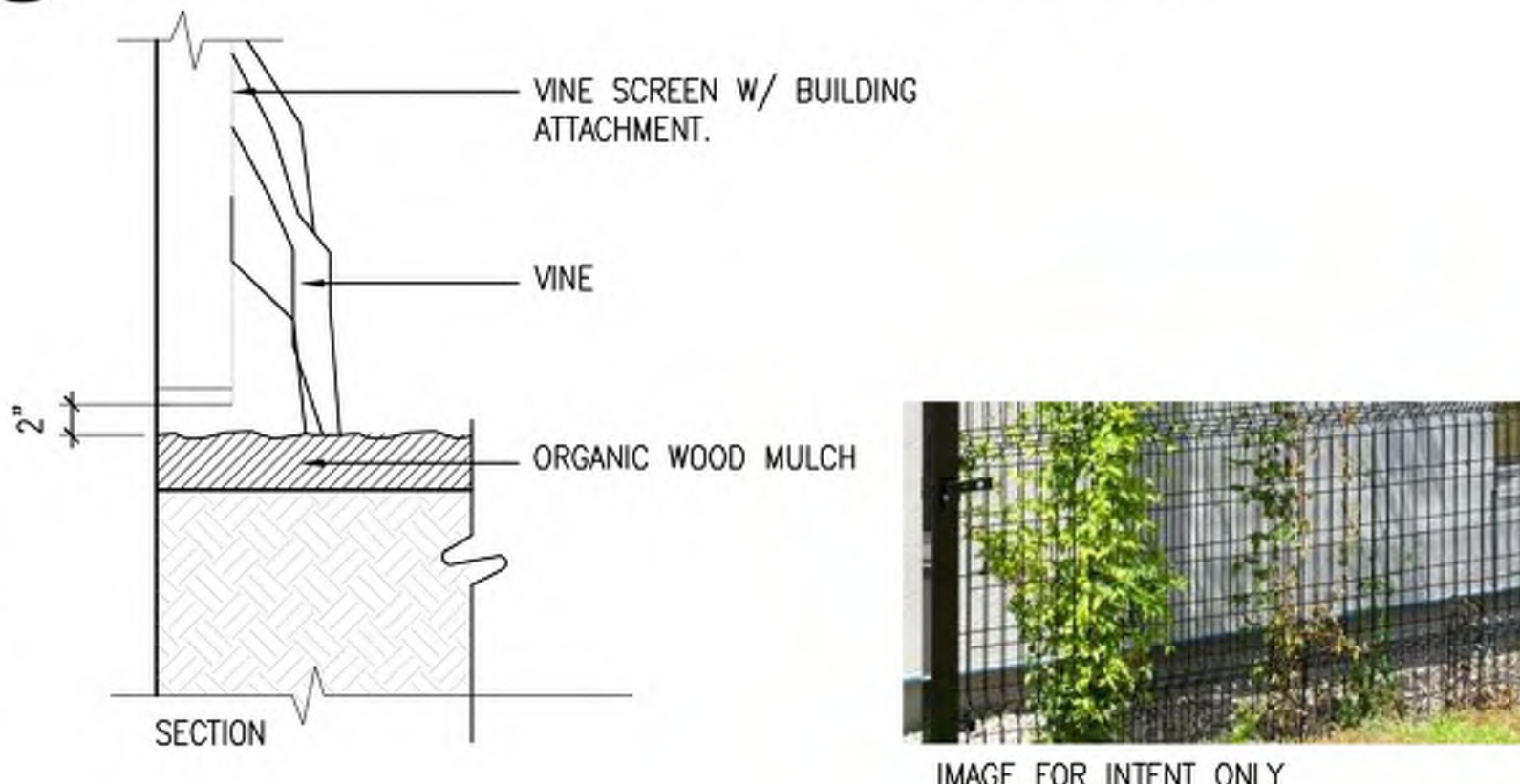


IMAGE FOR INTENT ONLY

For official copy, please see Engineering

PREVIOUSLY APPROVED PLANS. FOR REFERENCE ONLY

J - 14 2918

JOHNSON DRIVE APARTMENTS

A REPLAT OF LOTS 13, 14, 15, 16 AND 17, SPRING COURT SUBDIVISION, LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

STATEMENT OF OWNERSHIP AND SUBDIVISION:

Know all persons by these presents, that the undersigned owner(s) of the following described land:
A tract of land located in the Northeast Quarter of Section 23, Township 7 North, Range 69 West of the 6th P.M., City of Fort Collins, County of Larimer, State of Colorado, more particularly described as follows:
Lots 13, 14, 15, 16 and 17,
Spring Court Subdivision, as recorded at Reception No. 711080
City of Fort Collins,
County of Larimer, State of Colorado
Contains 122,093 square feet or 2.803 acres, more or less.

For themselves and their successors in interest (collectively "Owner") have caused the above described land to be surveyed and subdivided into lots, tracts and streets as shown on this Plat to be known as JOHNSON DRIVE APARTMENTS (the "Development"), subject to all easements and rights-of-way now of record or existing or indicated on this Plat. The rights and obligations of this Plat shall run with the land.

CERTIFICATE OF DEDICATION:

The Owner does hereby dedicate and convey to the City of Fort Collins, Colorado (hereafter "City"), for public use, forever, a permanent right-of-way for street purposes and the "Easements" as laid out and designated on this Plat; provided, however, that (1) acceptance by the City of this dedication of Easements does not impose upon the City a duty to maintain the Easements so dedicated and (2) acceptance by the City of this dedication of streets does not impose upon the City a duty to maintain streets so dedicated until such time as provisions of the Maintenance Guarantee have been fully satisfied. The streets dedicated on this Plat are the fee property of the City as provided in Section 31-23-107 C.R.S. The City's rights under the Easements include the right to install, operate, access, maintain, repair, reconstruct, remove and replace within the Easements public improvements consistent with the intended purpose of the Easements; the right to install, maintain and use gates in any fences that cross the Easements; the right to mark the location of the Easements with suitable markers; and the right to permit other public utilities to exercise these same rights. Owner reserves the right to use the Easements for purposes that do not interfere with the full enjoyment of the rights hereby granted. The City is responsible for maintenance of its own improvements and for repairing any damage caused by its activities in the Easements, but by acceptance of this dedication, the City does not accept the duty of maintenance of the Easements, or of improvements in the Easements that are not owned by the City. Owner will maintain the surface of the Easements in a sanitary condition in compliance with any applicable weed, nuisance or other legal requirements.

Except as expressly permitted in an approved plan of development or other written agreement with the City, Owner will not install on the Easements, or permit the installation on the Easements, of any building, structure, improvement, fence, retaining wall, sidewalk, tree or other landscaping (other than usual and customary grasses and other ground cover). In the event such obstacles are installed in the Easements, the City has the right to require the Owner to remove such obstacles from the Easements. If Owner does not remove such obstacles, the City may remove such obstacles without any liability or obligation for repair and replacement thereof, and charge the Owner the City's costs for such removal. If the City chooses not to remove the obstacles, the City will not be liable for any damage to the obstacles or any other property to which they are attached.

The rights granted to the City by this Plat inure to the benefit of the City's agents, licensees, permittees and assigns.

OWNER: South College Spring, LLC, a Colorado limited liability company

BY: Donald L. Skaggs
Donald L. Skaggs, Manager

STATE OF COLORADO)
)ss.
COUNTY OF LARIMER)

The foregoing instrument was acknowledged before me this 27 day of Feb, 2020, by
Donald L. Skaggs, as Manager of South College Spring, LLC, a Colorado limited liability company

Witness my hand and official seal

My commission expires: 7/28/20

Angela Ader
Notary Public

OWNER: 255 Johnson Drive, LLC, a Colorado limited liability company

BY: Thomas C. Stine
Thomas C. Stine, Manager

STATE OF COLORADO)
)ss.
COUNTY OF LARIMER)

The foregoing instrument was acknowledged before me this 27 day of Feb, 2020, by
Thomas C. Stine, as Manager of 255 Johnson Drive, LLC, a Colorado limited liability company

Witness my hand and official seal

My commission expires: 7/28/20

Angela Ader
Notary Public

LIENHOLDER: Great Western Bank

BY: Andrea Walrath
Andrea Walrath, Vice President

STATE OF COLORADO)
)ss.
COUNTY OF LARIMER)

The foregoing instrument was acknowledged before me this 27 day of Feb, 2020, by
Andrea Walrath, as Vice President of Great Western Bank.

Witness my hand and official seal

My commission expires: 7/28/20

Angela Ader
Notary Public

MAINTENANCE GUARANTEE:

The Owner hereby warrants and guarantees to the City, for a period of two (2) years from the date of completion and first acceptance by the City of the improvements warranted hereunder, the full and complete maintenance and repair of the improvements to be constructed in connection with the Development which is the subject of this Plat. This warranty and guarantee is made in accordance with the City Land Use Code and/or the Transitional Land Use Regulations, as applicable. This guarantee applies to the streets and all other appurtenant structures and amenities lying within the rights-of-way, Easements and other public properties, including, without limitation, all curbing, sidewalks, bike paths, drainage pipes, culverts, catch basins, drainage ditches and landscaping. Any maintenance and/or repair required on utilities shall be coordinated with the owning utility company or department.

The Owner shall maintain said improvements in a manner that will assure compliance on a consistent basis with all construction standards, safety requirements and environmental protection requirements of the City. The Owner shall also correct and repair, or cause to be corrected and repaired, all damages to said improvements resulting from development-related or building-related activities. In the event the Owner fails to correct any damages within thirty (30) days after written notice thereof, then said damages may be corrected by the City and all costs and charges billed to and paid by the Owner. The City shall also have any other remedies available to it as authorized by law. Any damages which occurred prior to the end of said two (2) year period and which are unrepaired at the termination of said period shall remain the responsibility of the Owner.

REPAIR GUARANTEE:

In consideration of the approval of this final Plat and other valuable consideration, the Owner does hereby agree to hold the City harmless for a five (5) year period, commencing upon the date of completion and first acceptance by the City of the improvements to be constructed in connection with the development which is the subject of this Plat, from any and all claims, damages, or demands arising on account of the design and construction of public improvements of the property shown herein; and the Owner furthermore commits to make necessary repairs to said public improvements, to include, without limitation, the roads, streets, fills, embankments, ditches, cross pans, sub-drains, culverts, walls and bridges within the right-of-way, Easements and other public properties, resulting from failures caused by design and/or construction defects. This agreement to hold the City harmless includes defects in materials and workmanship, as well as defects caused by or consisting of scuttling trenches, fills or excavations.

Further, the Owner warrants that he/she owns fee simple title to the property shown hereon and agrees that the City shall not be liable to the Owner or his/her successors in interest during the warranty period, for any claim of damages resulting from negligence in exercising engineering techniques and due caution in the construction of cross drains, drives, structures or buildings, the changing of courses of streams and rivers, flooding from natural creeks and rivers, and any other matter whatsoever on private property. Any and all monetary liability occurring under this paragraph shall be the liability of the Owner. I further warrant that I have the right to convey said land according to this Plat.

NOTICE OF OTHER DOCUMENTS:

All persons take notice that the Owner has executed certain documents pertaining to this Development which create certain rights and obligations of the Development, the Owner and/or subsequent Owners of all or portions of the Development site, many of which obligations constitute promises and covenants that, along with the obligations under this Plat, run with the land. The said documents may also be amended from time to time and may include, without limitation, the Development Agreement, Site And Landscape Covenants, Final Site Plan, Final Landscape Plan, and Architectural Elevations, which documents are on file in the office of the Clerk of the City and should be closely examined by all persons interested in purchasing any portion of the Development site.

ATTORNEY'S CERTIFICATION

I hereby certify that this Subdivision Plat has been duly executed pursuant to Section 2.2.3(C)(3)(a) through (e) inclusive of the Land Use Code of the City of Fort Collins and that all persons signing this Subdivision Plat on behalf of a corporation or other entity are duly authorized signatories under the laws of the State of Colorado. This Certification is based upon the records of the Clerk and Recorder of Larimer County, Colorado as of the date of execution of the Plat and other information discovered by me through reasonable inquiry and is limited as authorized by Section 2.2.3(C)(3)(f) of the Land Use Code.

Attorney: Charles J. Cuypers
Charles J. Cuypers

Address: Wolfe, Van Aekern & Cuypers LLP
Attorneys at Law
1008 Centre Avenue
Fort Collins, CO 80526

Registration No.: 33750

APPROVED AS TO FORM, CITY ENGINEER

By the City Engineer of the City of Fort Collins, Colorado this 26th day of March, A.D., 2020.

Spencer M. Sitt
City Engineer

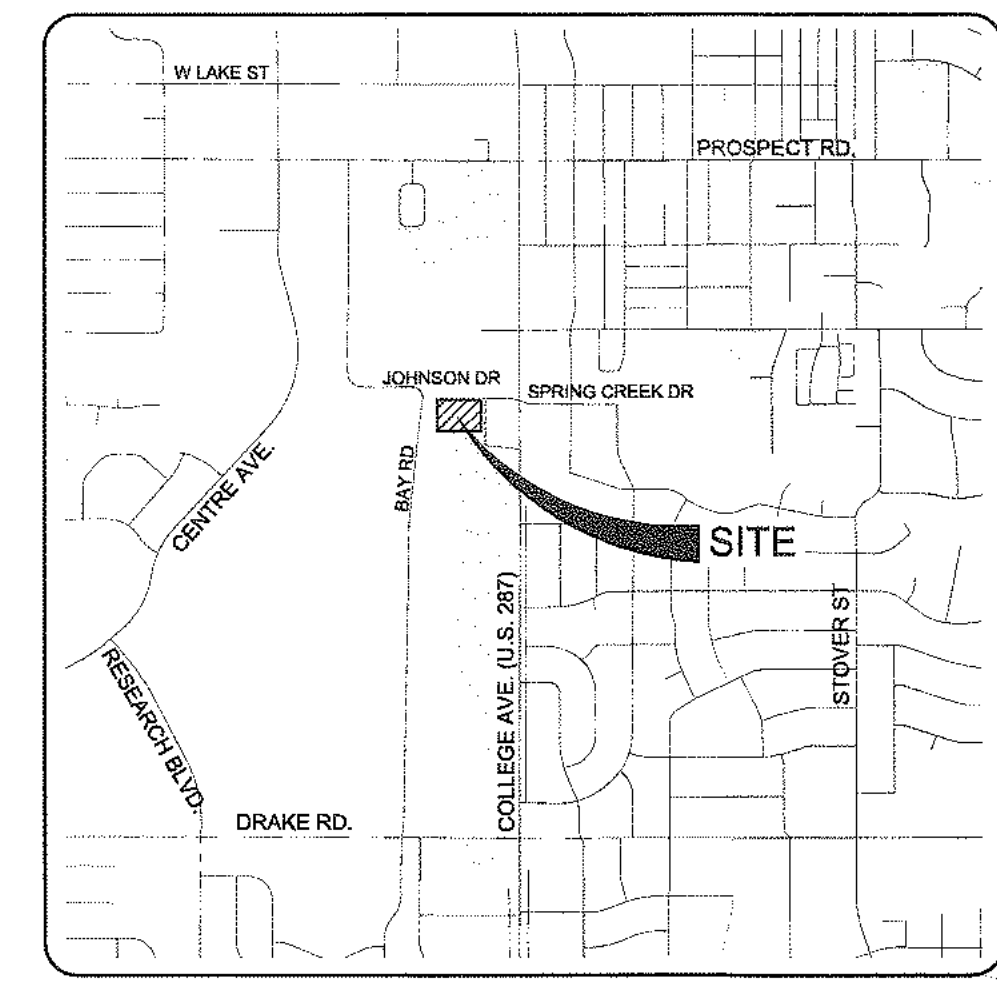
PLANNING APPROVAL

By the Director of Community Development and Neighborhood Services of the City of Fort Collins, Colorado this 31st day of March, A.D., 2020.

Benjamin G. Geller for:
Director of Community Development and Neighborhood Services



SHERWOOD IRRIGATION COMPANY
THE EASEMENT SHOWN HEREON IS
ADEQUATE AND HEREBY ACCEPTED
APPROVED: [Signature]
DATE: 3/16/2020

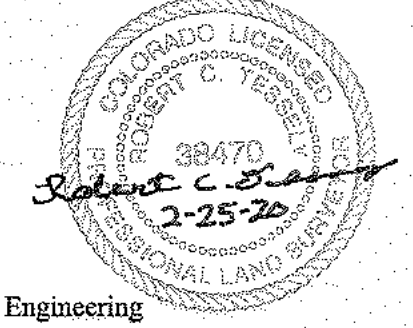


NOTES:

- The Basis of Bearings is the North line of Lot 17, Spring Court Subdivision as bearing South 89° 19' 59" East (assumed bearing), and monumented as shown on drawing.
- All information regarding easements, rights-of-way or Title of Record, Northern Engineering relied upon File Number 21601401, prepared by Chicago Title Insurance Company, dated February 11, 2020 and File Number 21602673, prepared by Chicago Title Insurance Company, dated February 11, 2020.
- The lineal unit of measurement for this plat is U. S. Survey Feet.
- There shall be no private conditions, covenants or restrictions that prohibit or limit the installation of resource conserving equipment or landscaping that are allowed by Sections 12-120 - 12-122 of the City code.
- All previous lot lines, rights-of-way and easements as shown and dedicated by the plat of Spring Court Subdivision which are located within the boundary lines of this plat are hereby vacated upon recordation of this plat and dedicated as shown hereon.
- The word "certify" or "certification" as shown and used hereon is an expression of professional opinion regarding the facts of the survey, and does not constitute a warranty or guaranty, expressed or implied.
- Northern Engineering or the Professional Land Surveyor listed hereon, does not have the expertise to address mineral rights, and recommends the owner retain an expert to address these matters. Northern Engineering or the Professional Land Surveyor listed hereon assumes no responsibility for the mineral rights upon the subject property.
- For easements created by separate document and shown hereon refer to record document for specific terms.
- A copy of the title commitment and the documents contained therein were provided to the owners, client, lienholder and attorney listed hereon for their use and review.
- Not all documents listed in the title commitment are plottable or definable by their terms. All easements that are definable by their descriptions are shown hereon with sufficient data to establish their position. Owner, Client and others should refer to the title commitment and those documents listed therein for a true understanding of all rights of way, easements, encumbrances, interests and title of record concerning the subject property.
- Easements and other record documents shown or noted hereon were examined as to location and purpose and were not examined as to restrictions, exclusions, conditions, obligations, terms, or as to the right to grant the same.
- Adjacent property information per the Larimer County Land information Locator.
- Those tracts of land known as Lots 13, 14, 15, 16 and 17 of the Plat of Spring Court Subdivision, as recorded at Reception Number 711080 of the Larimer County Clerk and Recorder, are hereby vacated upon recordation of this plat and dedicated as shown hereon.

SURVEYOR'S STATEMENT

I, Robert C. Tessely, a Colorado Registered Professional Land Surveyor do hereby state that this Subdivision Plat was prepared from an actual survey under my personal supervision, that the monumentation as indicated hereon were found or set as shown, and that the foregoing plat is an accurate representation thereof, all this to the best of my knowledge, information and belief.



For and on Behalf of Northern Engineering
Robert C. Tessely
Colorado Registered Professional
Land Surveyor No. 38470

NOTICE

ALL RESPONSIBILITIES AND COSTS OF OPERATION, MAINTENANCE AND RECONSTRUCTION OF THE PRIVATE STREETS AND/OR DRIVES LOCATED ON THE PRIVATE PROPERTY THAT IS THE SUBJECT OF THIS PLAT SHALL BE BORNE BY THE OWNERS OF SAID PROPERTY, EITHER INDIVIDUALLY, OR COLLECTIVELY, THROUGH A PROPERTY OWNERS' ASSOCIATION, IF APPLICABLE. THE CITY OF FORT COLLINS SHALL HAVE NO OBLIGATION OF OPERATION, MAINTENANCE OR RECONSTRUCTION OF SUCH PRIVATE STREETS AND/OR DRIVES NOR SHALL THE CITY HAVE ANY OBLIGATION TO ACCEPT SUCH STREETS AND/OR DRIVES AS PUBLIC STREETS OR DRIVES.

NOTICE:
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown hereon.

SECTION: 23
TOWNSHIP: 7N
RANGE: 69 W of the 6th PM

NORTHERN ENGINEERING
970.221.4158
1008 Centre Ave., Suite 100, Fort Collins, CO 80526
northernengineering.com

DATE: 2/25/20
SCALE: N/A
REVIEWED BY: R. Tessely
PROJECT: 1285-001
CLIENT: The West Chopper Properties
DRAWN BY: L. Smith

JOHNSON DRIVE APARTMENTS
CITY OF FORT COLLINS
STATE OF COLORADO

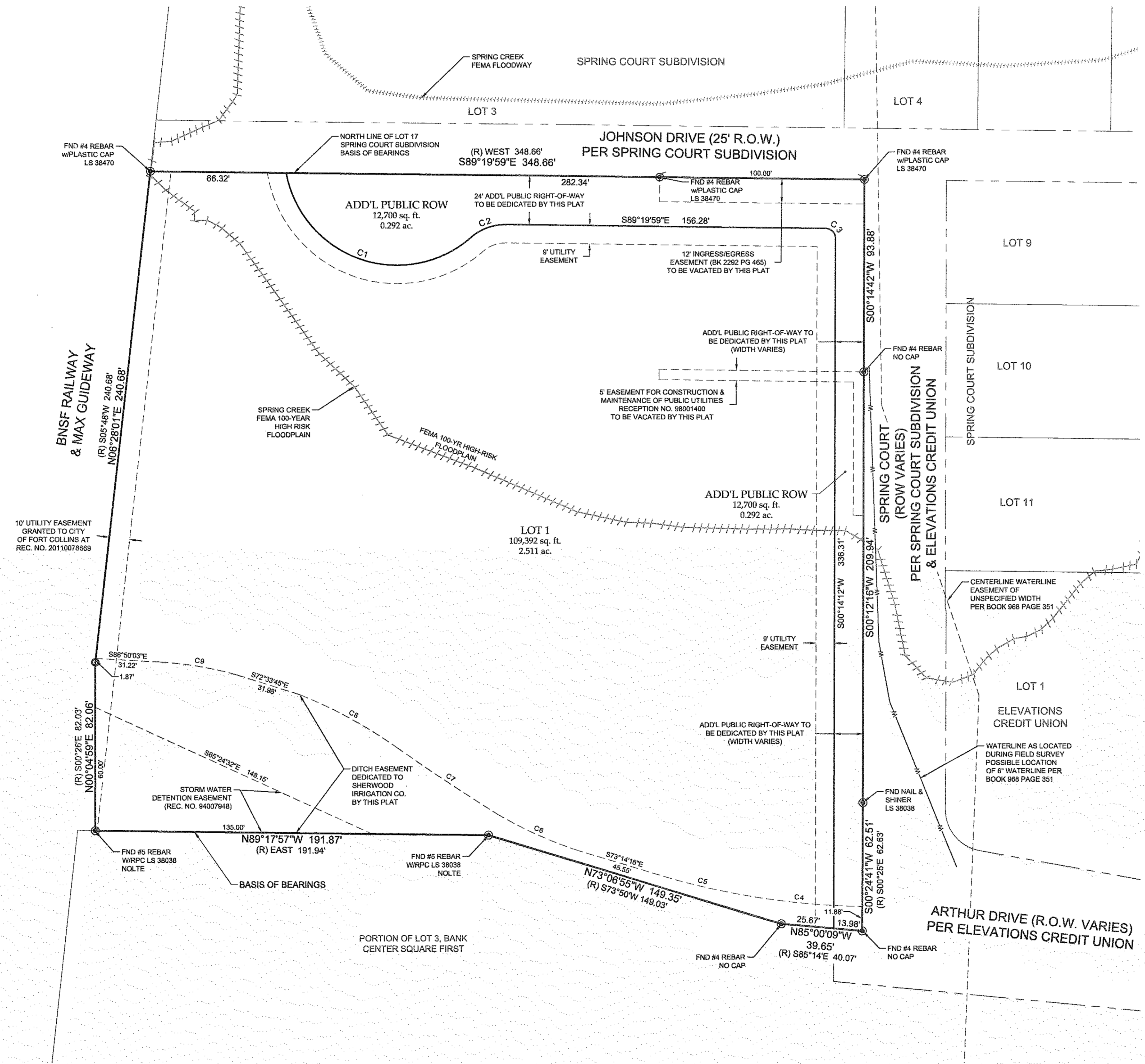
Sheet
1
Of 2 Sheets

PREVIOUSLY APPROVED PLANS. FOR REFERENCE ONLY

J - 14 2918

JOHNSON DRIVE APARTMENTS

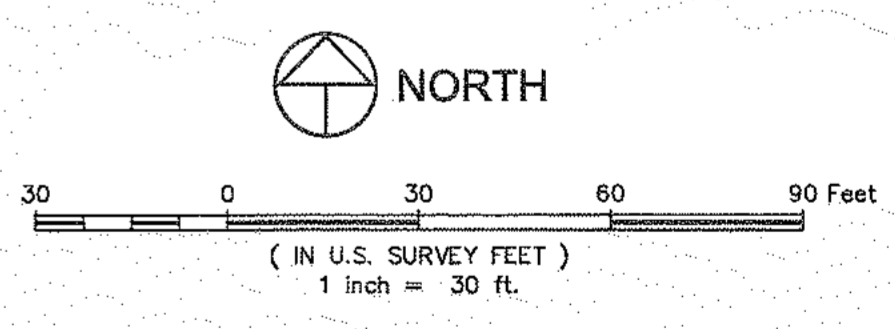
A REPLAT OF LOTS 13, 14, 15, 16 AND 17, SPRING COURT SUBDIVISION, LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO



CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	120°37'14"	55.00'	115.79'	S70°48'33"E	95.56'
C2	41°47'11"	25.00'	18.23'	N69°46'25"E	17.83'
C3	89°34'11"	5.00'	7.62'	S44°32'54"E	7.04'
C4	10°07'42"	352.82'	62.39'	S84°03'21"E	62.31'
C5	5°55'58"	327.58'	33.92'	S76°50'06"E	33.90'
C6	12°25'23"	202.18'	43.84'	S65°39'30"E	43.75'
C7	2°48'18"	1164.10'	56.89'	S56°23'41"E	56.89'
C8	13°45'35"	231.71'	55.85'	S61°12'17"E	55.51'
C9	12°33'37"	175.00'	38.36'	S80°33'15"E	38.29'

LEGEND

- EASEMENT LINE
- SECTION LINE
- BOUNDARY LINE
- PROPOSED ROW
- EXISTING ROW
- LOT LINE
- SET 18" #4 REBAR w/BLUE PLASTIC CAP PLS 38470
- FOUND PROPERTY CORNER AS DESCRIBED
- (R) RECORDED BEARING & DISTANCE



NOTICE:
 According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown hereon.

SECTION: 23
 TOWNSHIP: 7N
 RANGE: 69 W of the 6th Pk

NORTHERN ENGINEERING

970.221.4198
 nortneng.com

FORT COLLINS 301 North Howe Street, Suite 100, 80521
 GREELEY, 820 8th Street, 80531

DATE: 2/25/20
 SCALE: 1" = 30'
 PROJECT: 1285-001
 CLIENT: The City of Fort Collins
 DRAWN BY: L. Smith
 REVIEWED BY: R. Veasey

JOHNSON DRIVE APARTMENTS
 CITY OF FORT COLLINS
 STATE OF COLORADO



Robert C. Teweely
 Registered Professional Land Surveyor
 Colorado Registration No. 38470
 For and on behalf of Northern Engineering Services, Inc.

For official copy, please see Engineering

Sheet
2
 Of 2 Sheets



A NORTH EXTERIOR ELEVATION
A2.0
12' 0" 5' 10' 20' 30'



B EAST EXTERIOR ELEVATION
A2.0
12' 0" 5' 10' 20' 30'

- X CLADDING NOTES
[REFER TO BOTH PLAN + ELEVATIONS]
- 1 BRICK VENEER, UTILITY SIZE - DARK RED
 - 2 BRICK VENEER, UTILITY SIZE - BROWN
 - 3 CONCRETE MASONRY UNITS - DARK BROWN
 - 4 FIBERCEMENT LAP SIDING, 6" EXPOSURE - DARK GRAY
 - 5 BOARD AND BATTEN, 12" EXPOSURE - NATURAL CLAY
 - 6 BOARD AND BATTEN, 12" EXPOSURE - DARK GRAY
 - 7 BOARD AND BATTEN, 12" EXPOSURE - UMBER
 - 8 EXPOSED CONCRETE

ARCHITECTURE BY: **MOD E 3**
ARCHITECTURE
217 S. NEIL STREET, SUITE D
CHAMPAGNE, IL 61820
PH: 618.233.8488 | info@mod3arch.com
CO. LICENSE # ARC.00404427
© 2020 MOD E 3 ARCHITECTURE INC.

JOHNSON DRIVE APARTMENTS
255 JOHNSON DRIVE
FORT COLLINS, COLORADO 80525

BUILDING PERMIT REVIEW SET

REVISIONS OR ADDED SHEETS		
NO.	DATE	DESCRIPTION

SHEET TITLE
OVERALL BUILDING ELEVATIONS
DATE: FEBRUARY 12, 2020
A2.0
SHEET #

For official copy, please see Engineering

J - 14 2918



A SOUTH EXTERIOR ELEVATION
A2.1
12' 0" 5' 10' 20' 30'



B WEST EXTERIOR ELEVATION
A2.1
12' 0" 5' 10' 20' 30'

- X CLADDING NOTES
[REFER TO BOTH PLAN + ELEVATIONS]
- 1 BRICK VENEER, UTILITY SIZE - DARK RED
 - 2 BRICK VENEER, UTILITY SIZE - BROWN
 - 3 CONCRETE MASONRY UNITS - DARK BROWN
 - 4 FIBERCEMENT LAP SIDING, 6" EXPOSURE - DARK GRAY
 - 5 BOARD AND BATTEN, 12" EXPOSURE - NATURAL CLAY
 - 6 BOARD AND BATTEN, 12" EXPOSURE - DARK GRAY
 - 7 BOARD AND BATTEN, 12" EXPOSURE - UMBER
 - 8 EXPOSED CONCRETE

ARCHITECTURE BY:
M O D E 3
ARCHITECTURE
217 S. NEIL STREET, SUITE D
CHAMPAIGN, IL 61820
TEL: 312.281.1888 | info@mode3arch.com
CO. LICENSE # ARC-00404427
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JOHNSON DRIVE APARTMENTS
255 JOHNSON DRIVE
FORT COLLINS, COLORADO 80525

BUILDING PERMIT REVIEW SET
REVISIONS OR ADDED SHEETS

NO.	DATE	DESCRIPTION

SHEET TITLE
OVERALL BUILDING ELEVATIONS

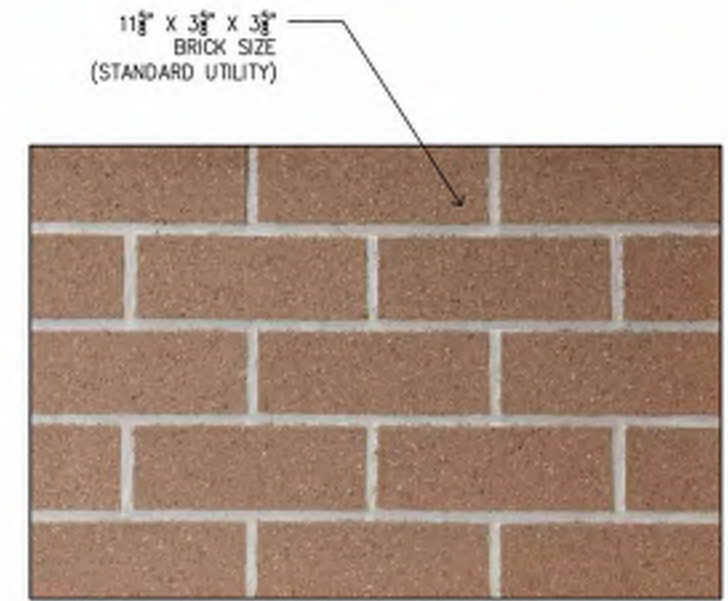
DATE: FEBRUARY 12, 2020

A2.1
SHEET #

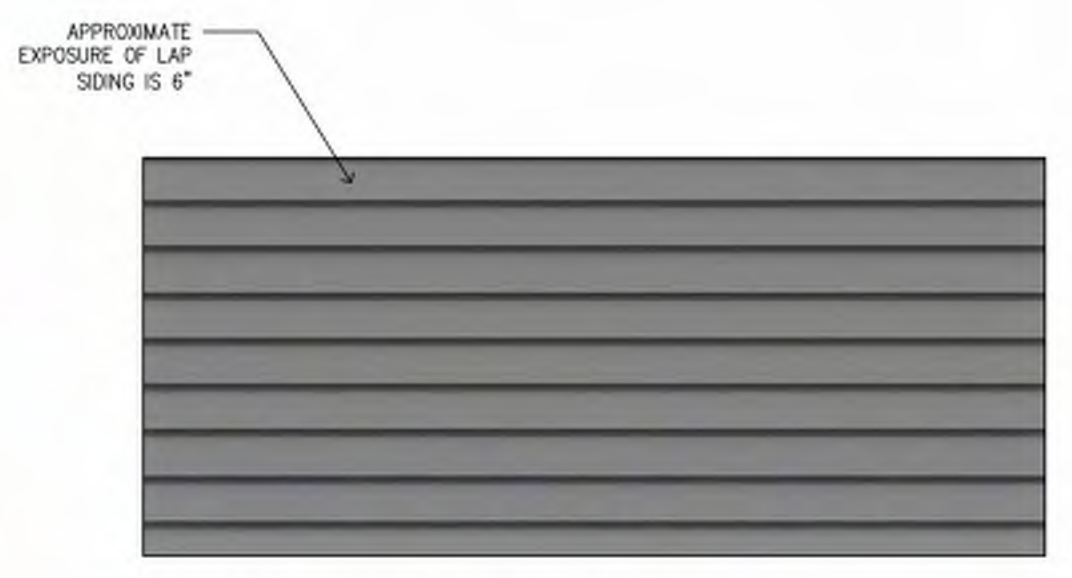
For official copy, please see Engineering



NORTHEAST ENTRY - MATERIAL DETAIL VIEW



MASONRY, BROWN (UTILITY RUNNING BOND)



FIBER CEMENT LAP SIDING, DARK GRAY



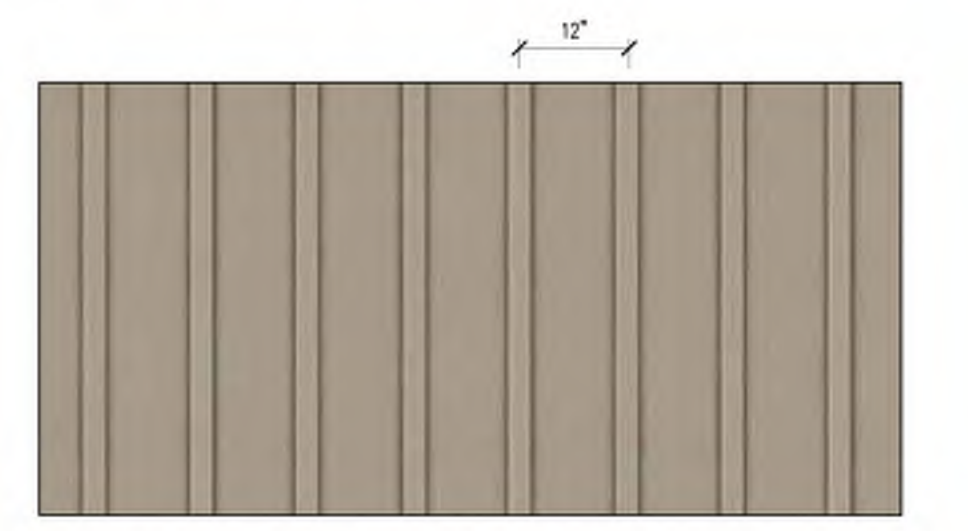
MASONRY, DARK RED (UTILITY RUNNING BOND)



CONCRETE MASONRY UNITS, EARTH TONES (S SIDE, W SIDE)



FIBER CEMENT SIDING, BOARD AND BATTEN STYLE, DARK GRAY



FIBER CEMENT SIDING, BOARD AND BATTEN STYLE, EARTH TONE



FIBER CEMENT SIDING, BOARD AND BATTEN STYLE, UMBER

COLORS INDICATED IN FINAL FORM SHALL BE AN APPROVED EQUAL AS DETERMINED BY CITY STAFF



SOUTHSIDE AT COURTYARD

ARCHITECTURE BY: **MOD E 3 ARCHITECTURE**
 217 S. NEIL STREET, SUITE D
 CHAMPAIGN, IL 61820
 TEL: 312.281.4444 | info@mod3arch.com
 CO. LICENSE # 03C-0040427
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JOHNSON DRIVE APARTMENTS
 255 JOHNSON DRIVE
 FORT COLLINS, COLORADO 80525

BUILDING PERMIT REVIEW SET

REVISIONS OR ADDED SHEETS		
NO.	DATE	DESCRIPTION

SHEET TITLE

MATERIAL PALETTE

DATE: FEBRUARY 12, 2020

A2.2

SHEET #



MAIN ENTRANCE, LOOKING SOUTH



MAIN ENTRANCE, LOOKING SOUTHWEST

ARCHITECTURE BY:
M O D E 3
ARCHITECTURE
 217 S. NEIL STREET, SUITE D
 CHAMPAIGN, IL 61820
 TEL: 312.281.1414 | info@mod3arch.com
 CO. LICENSE # ARC-0040427
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JOHNSON DRIVE APARTMENTS
 255 JOHNSON DRIVE
 FORT COLLINS, COLORADO 80525

SEAL

BUILDING PERMIT REVIEW SET

REVISIONS OR ADDED SHEETS

NO.	DATE	DESCRIPTION

SHEET TITLE

EXTERIOR PERSPECTIVES

DATE: FEBRUARY 12, 2020

A2.7

SHEET #

For official copy, please see Engineering

J - 14 2918



VIEW LOOKING SOUTH-EAST



PARKING ENTRANCE, LOOKING WEST

For official copy, please see Engineering

ARCHITECTURE BY:
M O D E 3
ARCHITECTURE
 217 S. NEIL STREET, SUITE D
 CHAMPAIGN, IL 61820
 TEL: 312.281.1111 | info@mod3arch.com
 CO. LICENSE # ARC-00404427
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JOHNSON DRIVE APARTMENTS
 255 JOHNSON DRIVE
 FORT COLLINS, COLORADO 80525

SEAL

BUILDING PERMIT REVIEW SET

REVISIONS OR ADDED SHEETS

NO.	DATE	DESCRIPTION

SHEET TITLE

EXTERIOR PERSPECTIVES

DATE: FEBRUARY 12, 2020

A2.8

SHEET #



AERIAL VIEW LOOKING SOUTH-EAST



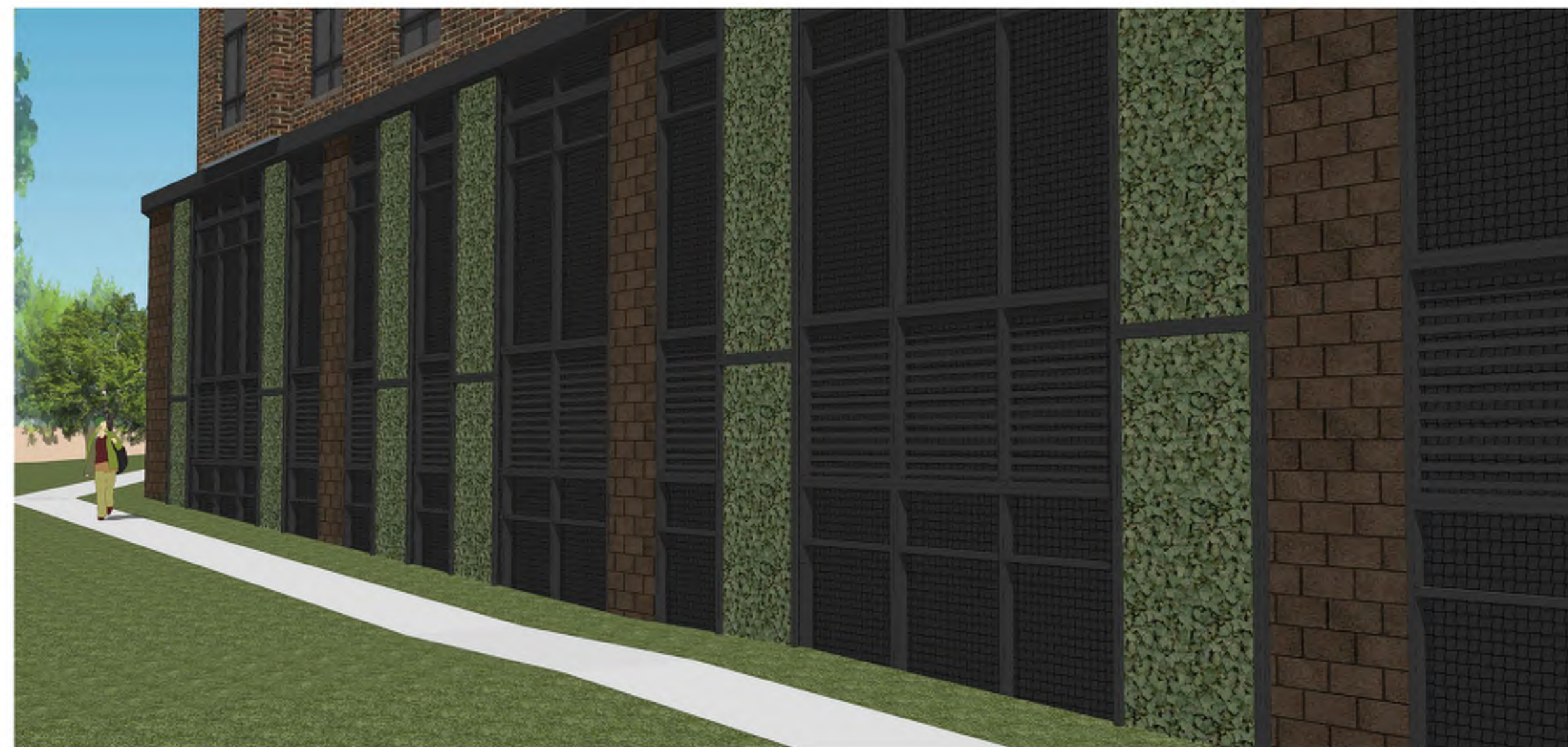
AERIAL VIEW LOOKING SOUTH-WEST



AERIAL VIEW LOOKING NORTH-WEST



AERIAL VIEW LOOKING NORTH-EAST



CLOSE UP OF GARAGE OPENINGS ON SOUTH SIDE



VIEW OF SOUTH COURTYARD LOOKING NORTH-WEST

For official copy, please see Engineering

ARCHITECTURE BY:
M O D E 3
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JOHNSON DRIVE APARTMENTS
 255 JOHNSON DRIVE
 FORT COLLINS, COLORADO 80525

SEAL

BUILDING PERMIT REVIEW SET		
REVISIONS OR ADDED SHEETS		
NO.	DATE	DESCRIPTION

SHEET TITLE

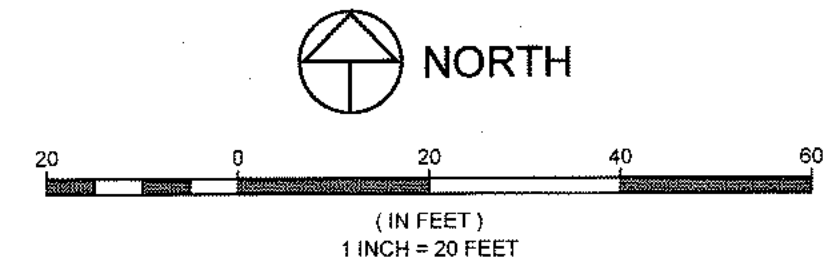
EXTERIOR PERSPECTIVES

DATE: FEBRUARY 12, 2020

A2.9

SHEET #

C-3 2521



LEGEND:

PROJECT BOUNDARY	---
PROPOSED CURB & GUTTER	---
PROPOSED LOTLINE	---
EASEMENT LINE	---
EXISTING FIBER OPTIC	---
EXISTING GAS	---
EXISTING SANITARY SEWER	---
EXISTING WATER	---
EXISTING ELECTRIC	---
EXISTING STORM SEWER	---
PROPOSED STORM SEWER	---
EXISTING SANITARY MANHOLE	○
EXISTING STORM MANHOLE	○
PROPOSED SEWER SERVICE	○
PROPOSED WATER SERVICE	○
PROPOSED FIRE HYDRANT	○
EXISTING FIRE HYDRANT	○
EXISTING LIGHT POLE	○
EXISTING ELECTRIC VUALT	○
EXISTING WATER METER	○
EXISTING IRRIGATION BOX	○
EXISTING POWER POLE	○
EXISTING GAS METER	○
EXISTING TELEPHONE PEDESTAL	○

- NOTES:**
1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 2. ALL WATER CONSTRUCTION SHALL BE PER THE FORT COLLINS STANDARD CONSTRUCTION SPECIFICATIONS LATEST EDITION.
 3. ALL SANITARY CONSTRUCTION SHALL BE PER THE FORT COLLINS STANDARD CONSTRUCTION SPECIFICATIONS LATEST EDITION.
 4. ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
 5. UTILITY SERVICES ARE SHOWN IN A SCHEMATIC FASHION ONLY. EXACT LOCATIONS SHALL BE PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDERS, AND ARE SUBJECT TO CHANGE IN THE FIELD.
 6. MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
 7. REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY FIELD LOCATES AND POTHOLES OF SUBSURFACE UTILITIES. ENGINEER AND CITY SHALL BE NOTIFIED OF ANY POTENTIAL CONFLICTS.
 9. REFER TO PLUMBING PLANS FOR ALL WATER SERVICE AND SANITARY SEWER SERVICE LOCATIONS. IF CONFLICT OCCURS, BOTH THE PLUMBING ENGINEER AND CIVIL ENGINEER SHALL BE CONTACTED PRIOR TO INSTALLATION OR ORDERING OF MATERIALS.
 10. ALL STORM SEWER IS TO BE OWNED AND MAINTAINED BY PROPERTY MANAGER.
 11. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
 12. CONTRACTOR TO COORDINATE FINAL LOCATION OF ALL GAS AND ELECTRIC METERS WITH ARCHITECT AND UTILITY PROVIDERS.
 13. CONTRACTOR TO COORDINATE FINAL LOCATION OF IRRIGATION SHUT-OFF VALVE AND BACKFLOW DEVICE WITH LANDSCAPE ARCHITECT AND SPRINKLER CONTRACTOR.
 14. CONTRACTOR TO COORDINATE SITE LIGHTING (LANDSCAPE) TO ENSURE NO CONFLICTS WITH OTHER UTILITIES.
 15. CROSSPANS ALONG PUBLIC STREETS AT THE INTERSECTION OF PRIVATE DRIVES SHALL HAVE CONCRETE EXTENDED TO THE RIGHT-OF-WAY LINE.
 16. THE NATURAL HABITAT BUFFER ZONE IS INTENDED TO BE MAINTAINED IN A NATIVE LANDSCAPE. PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.
 17. DEVELOPMENT MUST COMPLY WITH THE FLOODPLAIN REGULATIONS IN CHAPTER 10 OF THE CITY MUNICIPAL CODE.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: *Spencer M. Ditt* 3/23/2020
City Engineer Date

CHECKED BY: *Shane Cole* 3/19/2020
Water & Wastewater Utility Date

CHECKED BY: *Shane Cole* 3/19/2020
Stormwater Utility Date

CHECKED BY: *NA*
Parks & Recreation Date

CHECKED BY: *NA*
Traffic Engineer Date

CHECKED BY: *Valley Mills* 3/23/2020
Environmental Planner Date

CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

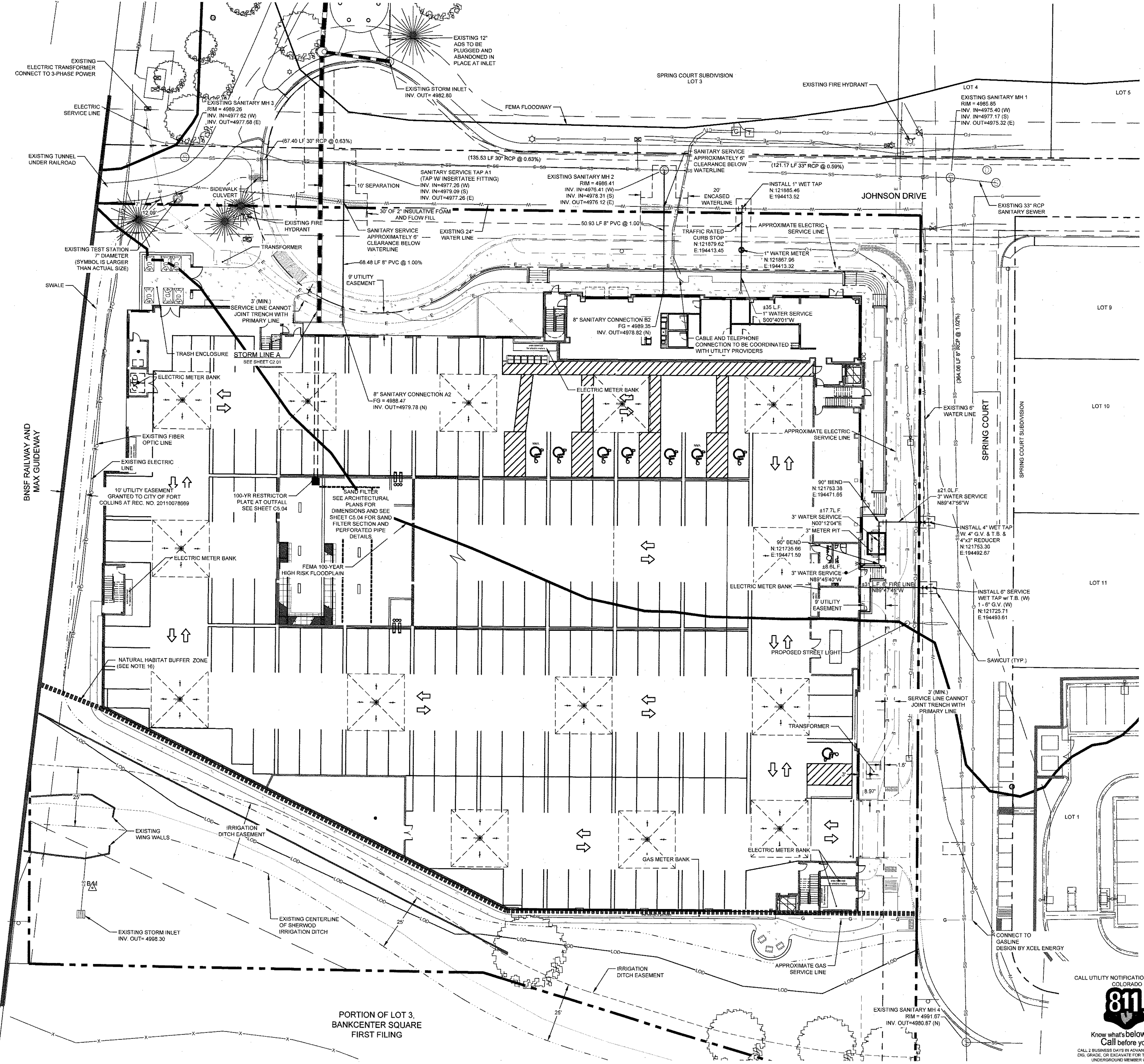
PORTION OF LOT 3, BANKCENTER SQUARE FIRST FILING

JOHNSON DRIVE APARTMENTS
UTILITY PLAN

DATE: 02/25/2020
SCALE: 1"=20'
REVISIONS BY: C. Snowdon
DRAWN BY: D. Mathisen
REVIEWED BY: S. Thomas

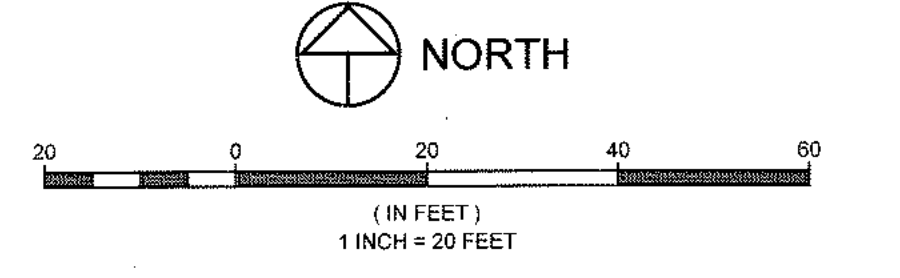
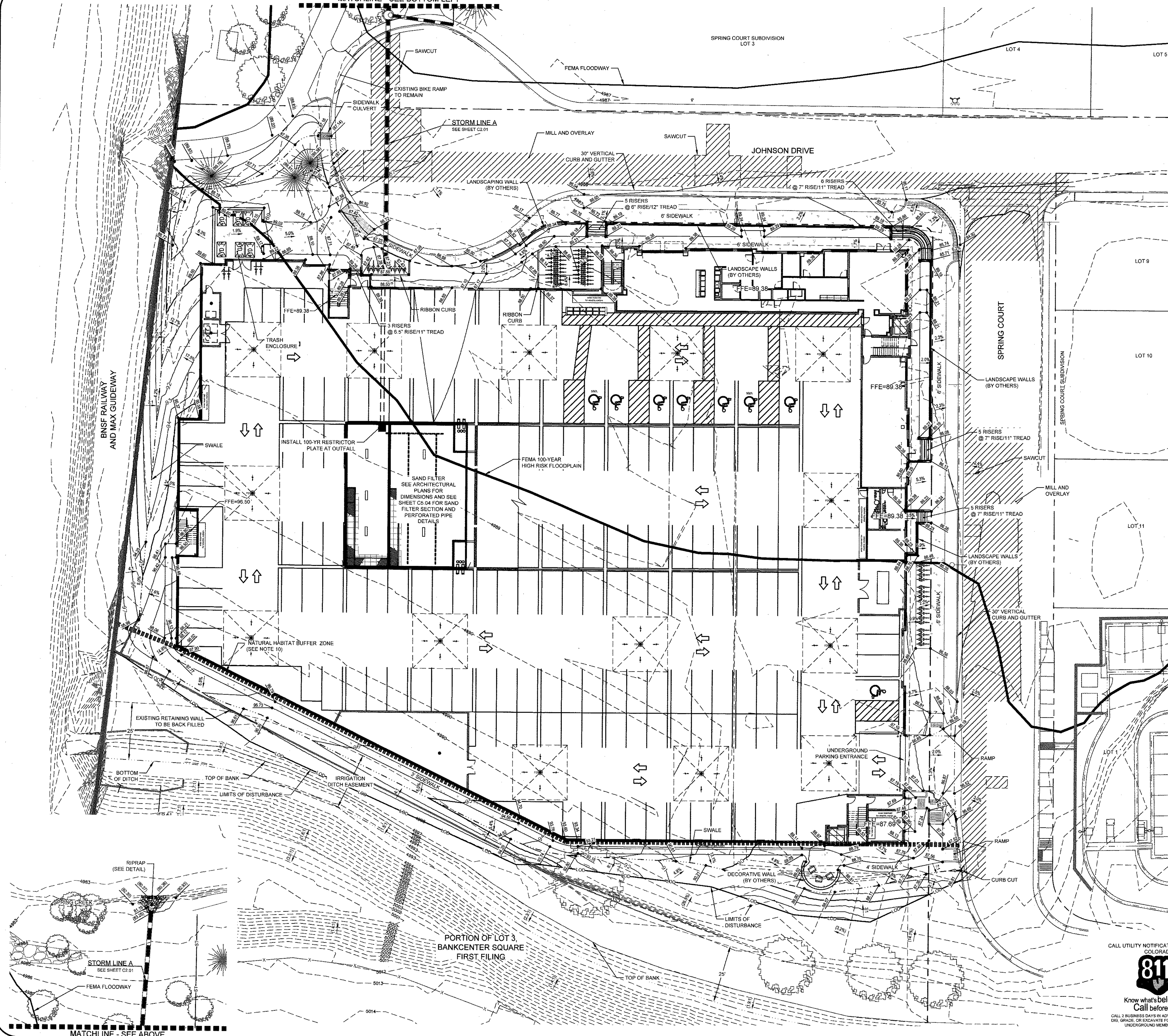
PROJECT: 1725-001
SHEET: C2.00
DATE: 02/25/2020

Sheet C2.00
05 of 20



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C-3 2521



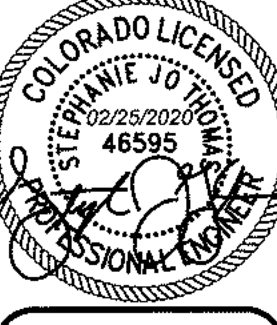
LEGEND:

PROJECT BOUNDARY	---
EXISTING RIGHT-OF-WAY	- - - -
PROPOSED MAJOR CONTOUR	15
PROPOSED MINOR CONTOUR	13
EXISTING MAJOR CONTOUR	-5015-
EXISTING MINOR CONTOUR	-5013-
PROPOSED STORM SEWER	---
EXISTING STORM SEWER	---
PROPOSED STORM INLETS	○
EXISTING STORM MANHOLE	○
PROPOSED FINISH GRADE SPOT ELEVATION	▲
EXISTING GROUND SPOT ELEVATION	▲
PROPOSED SLOPE (PERCENTAGE)	2.0%
PROPOSED SLOPE (RISE/RUN)	3:1
EXISTING SLOPE (RISE/RUN)	(3:1)
EROSION BUFFER ZONE	▨

FIELD SURVEY BY:
 NORTHERN ENGINEERING SERVICES, INC.
 PROJECT NUMBER: 1285-001
 DATE: JULY 5TH, 2017
 ADDITIONAL TO: NOVEMBER 1ST, 2017

- NOTES:**
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION BOTH HORIZONTAL AND VERTICAL OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 - REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
 - ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.
 - THE TOP OF FOUNDATION ELEVATIONS SHOWN ARE THE MINIMUM ELEVATIONS REQUIRED FOR PROTECTION FROM THE 100-YEAR STORM.
 - CROSSSPANS ALONG PUBLIC STREETS AT THE INTERSECTION OF PRIVATE DRIVES SHALL HAVE CONCRETE EXTENDED TO THE RIGHT-OF-WAY LINE.
 - ALL PROJECT DATA IS ON THE CITY OF FORT COLLINS VERTICAL CONTROL NETWORK DATUM NAVD 88. SEE COVER SHEET FOR BENCHMARK REFERENCES.
 - CONTRACTOR SHALL OBTAIN THE MOST CURRENT SOILS AND SUBSURFACE EXPLORATION REPORT FOR MORE INFORMATION REGARDING PAVEMENT DESIGN, SUBSURFACE TREATMENT AND COMPACTION.
 - CONTRACTOR SHALL CONFIRM DOORWAY, FOUNDATION WALLS, AND SLOPED SLABS WITH STAMPED ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO STAKING.
 - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION ON PLANTING, REVEGETATION, HARDSCAPE AND OTHER PERMANENT SITE STABILIZATION METHODS.
 - THE NATURAL HABITAT BUFFER ZONE IS INTENDED TO BE MAINTAINED IN A NATIVE LANDSCAPE. PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.
 - DEVELOPMENT MUST COMPLY WITH THE FLOODPLAIN REGULATIONS IN CHAPTER 10 OF THE CITY MUNICIPAL CODE.

Date	
By	
Revisions	
No	



NORTHERN ENGINEERING

301 North Meade Street, Suite 100
 Fort Collins, Colorado 80521

PHONE: 970.224.4188
 WWW.NORTHERNENGINEERING.COM

DATE	12/28/2020	REVIEWED BY	S. Thomas
DESIGNED BY	C. Snowdon	SCALE	1:20
DRAWN BY	B. Mathisen		

JOHNSON DRIVE APARTMENTS
 GRADING PLAN

City of Fort Collins, Colorado
 UTILITY PLAN APPROVAL

APPROVED: *Steven M. Little* 3/23/2020
 City Engineer Date

CHECKED BY: *NA* Date
 Water & Wastewater Utility

CHECKED BY: *Steve Cole* 3/19/2020 Date
 Stormwater Utility

CHECKED BY: *NA* Date
 Parks & Recreation

CHECKED BY: *NA* Date
 Traffic Engineer

CHECKED BY: *MM* 3.23.20 Date
 Environmental Planner

CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
 Know what's below.
 Call before you dig.
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR DISCART FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

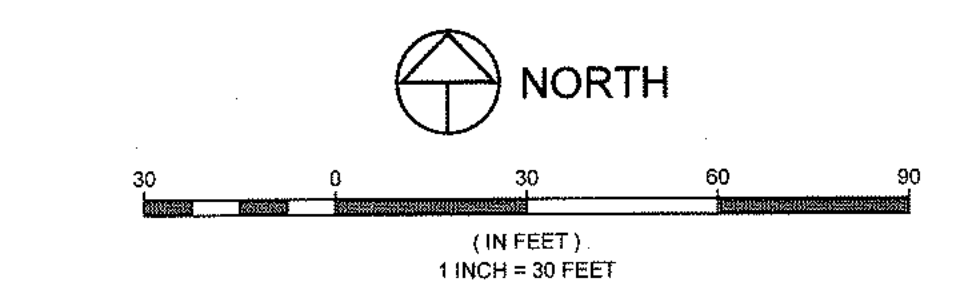
Sheet
C3.00
 07 of 20

TABLE OF CONSTRUCTION SEQUENCE AND BMP APPLICATION

Project:	CONSTRUCTION PHASE	MOBILIZATION	DEMOLITION	GRADING	UTILITIES INSTALLATION	FLAT WORK INSTALLATION	VERTICAL INSTALLATION	LANDSCAPE	DEMOBILIZATION
BEST MANAGEMENT PRACTICES (BMPs)									
STRUCTURAL INSTALLATION									
Silt Fence Barriers *									
Contour Furrows (Ripping / Disking)									
Vehicle Tracking Pad *									
Flow Barriers (Wattles) *									
Inlet Filter Bags *									
Rock Bags *									
Riprap									
* All Temporary BMPs to be Removed once Construction is Complete									
Vegetative									
Temporary Seeding Planting									
Mulching / Seelant									
Permanent Seeding Planting									
Sod Installation									
Rolled Products / Netting / Blankets / Mats									

EROSION CONTROL NOTES:

- IT SHOULD BE NOTED THAT ANY EROSION CONTROL PLAN SERVES ONLY AS A GUIDELINE TO THE CONTRACTOR. STAGING AND/OR PHASING OF BEST MANAGEMENT PRACTICES (BMPs) IS EXPECTED. ADDITIONAL AND/OR DIFFERENT BMPs FROM THOSE ORIGINALLY DEPICTED MAY BE NECESSARY DURING CONSTRUCTION DUE TO CHANGING SITE CONDITIONS OR AS REQUIRED BY LOCAL AUTHORITIES.
- THIS EROSION CONTROL PLAN IS SCHEMATIC IN NATURE. AS SUCH, GRAPHICAL SYMBOLS MAY NOT BE TO SCALE, NOR ARE THEY NECESSARILY SHOWN IN THEIR EXACT LOCATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING (CITY, STATE DISCHARGE PERMIT, ETC.) AND COMPLIANCE WITH GOVERNING AUTHORITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (OR PERMIT HOLDER) TO ENSURE EROSION CONTROL MEASURES ARE PROPERLY MAINTAINED AND FOLLOWED.
- CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE EROSION CONTROL MEASURES ACCORDING TO THE CONSTRUCTION SEQUENCING AND LEVEL OF SITE STABILIZATION.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR ALL STORM DRAINS, SWALES, PONDS AND RAIN GARDENS UNTIL SITE IS FULLY STABILIZED.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR DOWNSPOUT CONNECTIONS, TO THE STORM DRAIN SYSTEM, UNTIL CONNECTION IS ESTABLISHED WITH DOWNSPOUT.
- INLET PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (i.e. STAKE-DRIVEN WATTLES FOR BARE SOIL, SAND BAGS OR GRAVEL SOCKS FOR PAVEMENT, ETC.) CONTRACTOR IS RESPONSIBLE FOR STABILIZING ALL SLOPES, PARTICULARLY THOSE STEEPER THAN 6:1. CRIMP MULCHING, HYDRO MULCHING, EROSION MATS, TEMPORARY IRRIGATION, AND ADDITIONAL WATTLES OR SILT FENCING MAY BE NECESSARY TO ESTABLISH VEGETATIVE COVER AND STABILIZE THE SLOPE.
- ADDITIONAL WATTLES, SILT FENCE OR OTHER MEASURES, MAY BE NECESSARY TO INSURE THAT EACH BUILDING PAD IS STABILIZED THROUGHOUT CONSTRUCTION. AT NO TIME SHALL SEDIMENT BE ALLOWED TO CROSS THE PUBLIC SIDEWALKS.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE PERIMETER PROTECTION FOR AREAS DIRECTING DRAINAGE OFF-SITE. PERIMETER PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (i.e. STAKE-DRIVEN SEDIMENT CONTROL LOGS OR SILT FENCE FOR BARE SOIL, SAND BAGS OR GRAVEL SOCKS FOR PAVEMENT, ETC.)
- FUELING FACILITIES SHALL BE LOCATED AT LEAST ONE HUNDRED (100) FEET FROM NATURAL BODY OF WATER, WETLAND, NATURAL DRAINAGE WAY OR MANMADE DRAINAGE WAY. THE FUEL TANKS AND FUELING AREA MUST BE SET IN A CONTAINMENT AREA THAT WILL NOT ALLOW A FUEL SPILL TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND OR DRAINAGE WAY.
- CONSTRUCTION WASTE STORAGE (DUMPSTERS) AND PORTABLE SANITATION UNITS (CONSTRUCTION TOILETS) SHALL BE LOCATED AT LEAST FIFTY (50) FEET FROM ANY STORMWATER INLET, WETLAND, OR DRAINAGE WAY. SAID FACILITIES MUST BE SET IN A CONTAINMENT AREA THAT WILL NOT ALLOW POLLUTANTS TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND, OR DRAINAGE WAY. DUMPSTERS SHALL BE LOCATED ON FLAT, STABLE GROUND, AND CONSTRUCTION TOILETS SHALL BE STAKED DOWN.
- THE CONTRACTOR AND ALL SUBCONTRACTORS WILL COOPERATE WITH THE CITY'S CONSTRUCTION INSPECTORS BY CEASING OPERATIONS WHEN WINDS ARE OF SUFFICIENT VELOCITY TO CREATE BLOWING DUST WHICH, IN THE INSPECTOR'S OPINION, IS HAZARDOUS TO THE PUBLIC HEALTH AND WELFARE.
- WHERE SEASONAL CONSTRAINTS (E.G. DURING SUMMER AND WINTER MONTHS) INHIBIT PERMANENT SEEDING OPERATIONS, DISTURBED AREAS WILL BE TREATED WITH MULCH AND MULCH TACKIFIER OR OTHER MATERIALS APPROVED BY EROSION CONTROL STAFF TO PREVENT EROSION.
- SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION ON PLANTING, REVEGETATION, HARDSCAPE AND OTHER PERMANENT SITE STABILIZATION METHODS.
- ALL ROOF DRAIN SYSTEM INLETS SHALL BE PLUGGED UNTIL CONNECTED TO BUILDINGS.
- ALL PARTIES DISTURBING EXISTING SITE SOILS SHALL ADHERE TO THE SOILS MANAGEMENT PLAN (SMP) FOR SCHRADER SHOP PROPERTY PREPARED BY NATIONAL INSPECTION SERVICES, DATED MARCH 27, 2018. SUBSURFACE DISTURBANCE INCLUDES EXCAVATION, UTILITY TRENCHING, CAISSON DRILLING, DEWATERING, AND OTHER SUCH INTRUSIVE ACTIVITIES, AS DESCRIBED IN THE SMP. THE SMP DESCRIBES THE NECESSARY PROCEDURES FOR THE HANDLING, RE-USE, TRANSPORT, AND DISPOSAL OF SOILS EXCAVATED DURING CONSTRUCTION ACTIVITIES, INCLUDING DEWATERING ACTIVITIES.

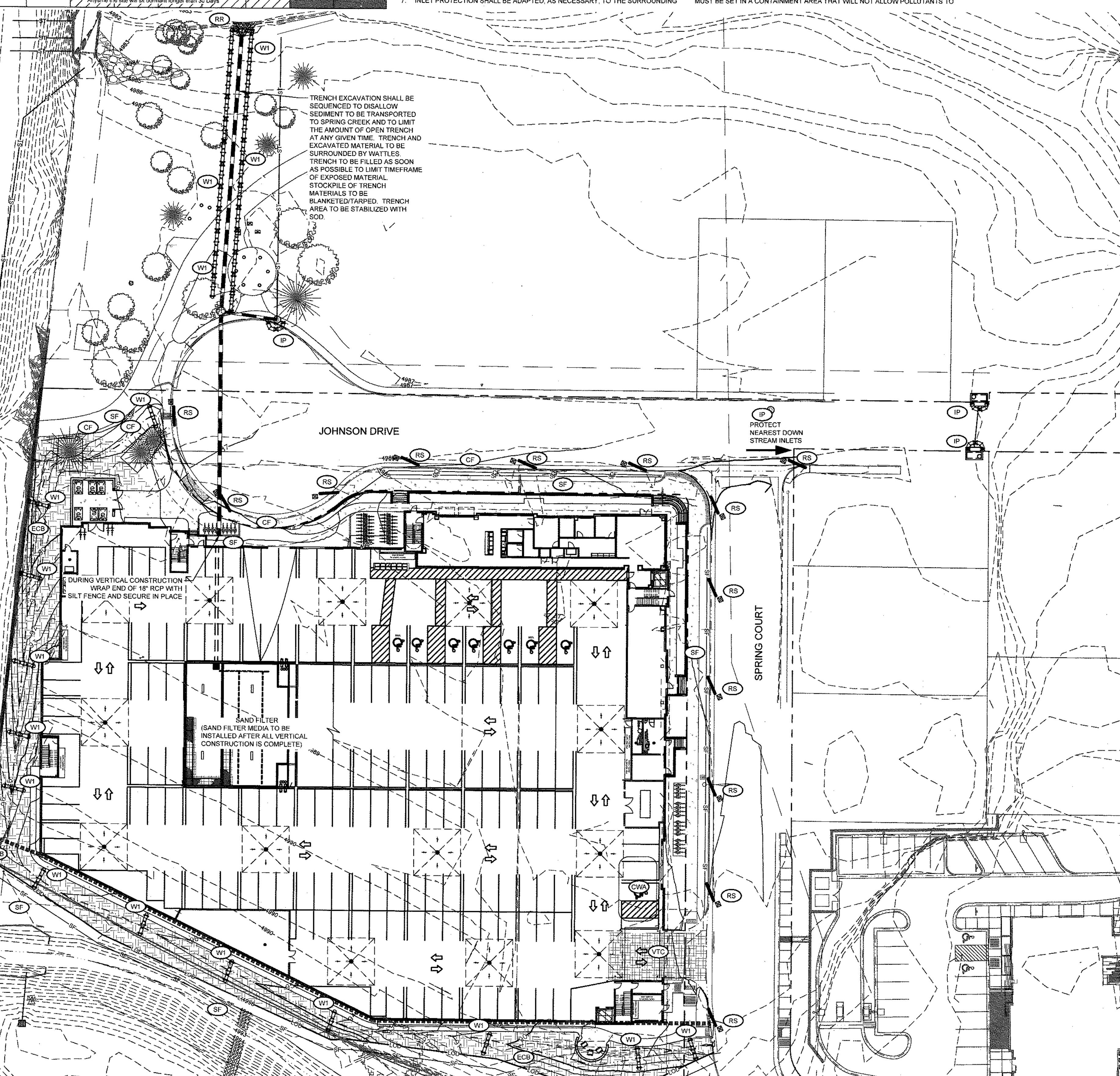


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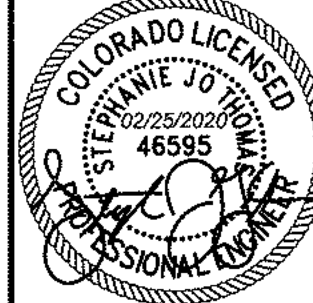
PROJECT BOUNDARY	---		
PROPOSED CURB & GUTTER	---		
PROPOSED LOTLINE	---		
PROPOSED STORM SEWER	---		
EXISTING STORM SEWER	---		
IP		INLET PROTECTION	003 C4.01
W1		WATTLE	007 C4.01
W2		WATTLE	007 C4.01
RS		ROCK SOCK W/ MARKER	005 C4.01
SF		SILT FENCE	002 C4.01
CF		CHAINLINK FENCE	006 C4.01
VTC		VEHICLE TRACKING PAD	004 C4.01
CW		CONCRETE WASHOUT AREA	001 C4.01
RR		RIPRAP	008 C4.01
ECB		EROSION CONTROL BLANKET	009 C4.01

NOTES:

- CONTRACTOR SHALL IMMEDIATELY STABILIZE ALL DISTURBED SLOPES BY CRIMP MULCHING OR SIMILAR METHODS (AS APPLICABLE).
- TOTAL DISTURBED AREA - 2.63 ACRES
- SWMP ADMINISTRATOR:
Contact _____
Company _____
Address _____
Phone _____
- REMOVE SEDIMENT THAT IS TRACKED ONTO THE PUBLIC RIGHT OF WAY DAILY OR MORE FREQUENTLY AS NEEDED. EXCESS SEDIMENT IN THE ROADWAY INDICATES THAT THE STABILIZED CONSTRUCTION ENTRANCE NEEDS MAINTENANCE.
- CONTRACTOR TO PROVIDE VEHICLE TRACKING CONTROL FOR CONCRETE WASHOUT AREA IF ACCESS IS OFF PAVEMENT.
- REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE DANDY SACK, SURFACE AND VICINITY OF THE UNIT AFTER EACH STORM EVENT. IF USING OPTIONAL OIL ABSORBENTS, REMOVE AND REPLACE ABSORBENTS WHEN THEY NEAR SATURATION.
- REFER TO THE "STORM WATER MANAGEMENT PLAN & EROSION CONTROL REPORT FOR JOHNSON DRIVE APARTMENTS BY NORTHERN ENGINEERING, DATED 02/25/2020 FOR ADDITIONAL INFORMATION.
- PERMANENT VEGETATION SHALL COMPLY WITH THE APPROVED LANDSCAPE PLANS ASSOCIATED WITH THIS PROJECT.



By:	Date:
Revisions:	
No.	



NORTHERN ENGINEERING
301 North Nevada Street, Suite 100
Fort Collins, Colorado 80521
PHONE: 970.271.4188
www.northernengineering.com

PROJECT	DATE	SCALE	REVIEWED BY:
1288-001	02/25/2020	1:30	S. Thomas
DESIGNED BY:	DRAWN BY:		
B. McHadden	B. McHadden		

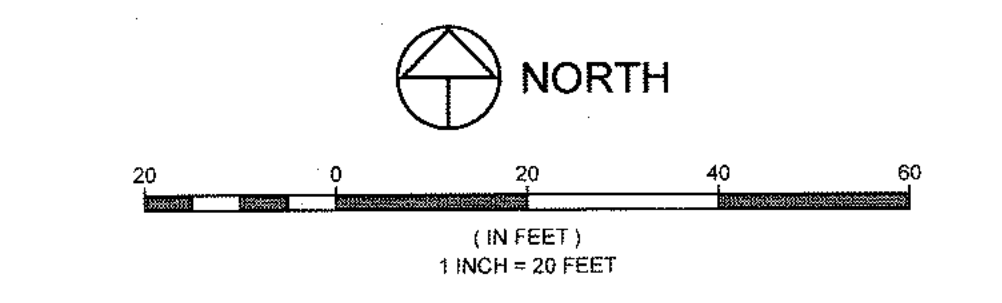
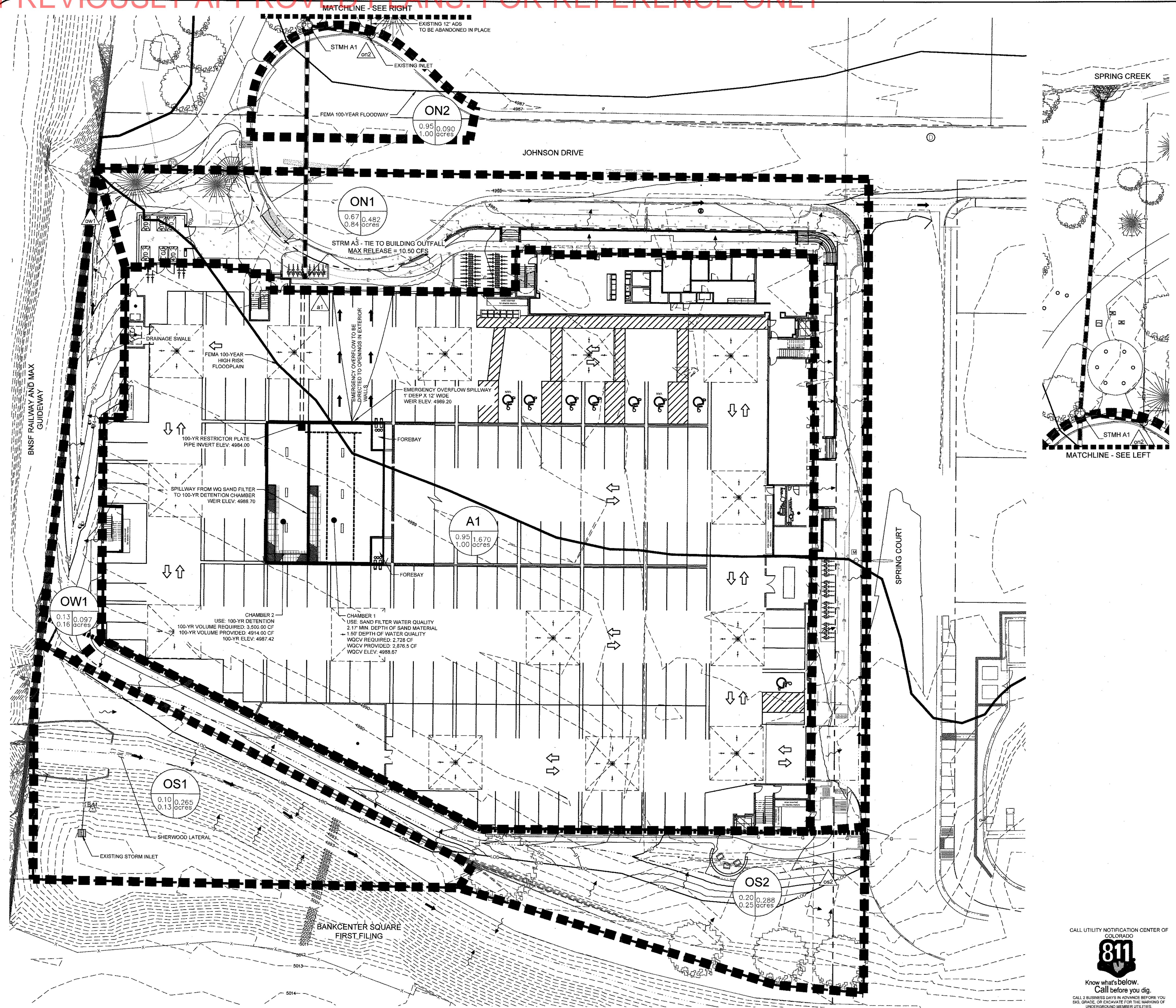
JOHNSON DRIVE APARTMENTS
EROSION CONTROL PLAN
Sheet C4.00
12 of 20

CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
Know what's below.
Call before you dig.
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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL
APPROVED: *Spencer M. Smith* 3/23/2020
City Engineer Date
CHECKED BY: *NA* Date
Water & Wastewater Utility
CHECKED BY: *Shane Gyle* 3/19/2020
Stormwater Utility Date
CHECKED BY: *NA* Date
Parks & Recreation
CHECKED BY: *NA* Date
Traffic Engineer
CHECKED BY: *NA* Date
Environmental Planner

DRAWING FILENAME: D:\Projects\1288-001\Drawings\1288-001-0203.dwg DATE: Feb 25, 2020 10:58am CAG OPERATOR: sepherson
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C-3 2521



LEGEND:

PROJECT BOUNDARY	---
PROPOSED MAJOR CONTOUR	-----15
PROPOSED MINOR CONTOUR	-----13
EXISTING MAJOR CONTOUR	-----5015
EXISTING MINOR CONTOUR	-----5013
PROPOSED CURB & GUTTER	=====
PROPOSED STORM SEWER	-----
EXISTING STORM SEWER	-----
EXISTING STORM MANHOLE	○
EXISTING STORM INLET	□
PROPOSED SLOPE (RISE:RUN)	4:1
EXISTING SLOPE (RISE:RUN)	4:1
PROPOSED OVERLAND FLOW	→
PROPOSED CONCENTRATED FLOW	→
EXISTING CONCENTRATED FLOW	→
DRAINAGE BASIN ID	A2
DRAINAGE BASIN MINOR/MAJOR COEFF.	A3
DESIGN POINT	○
EROSION BUFFER ZONE	-----

- NOTES:**
- REFER TO FINAL DRAINAGE REPORT FOR JOHNSON DRIVE APARTMENTS DATED 02/25/2020 FOR ADDITIONAL INFORMATION
 - THE NATURAL HABITAT BUFFER ZONE IS INTENDED TO BE MAINTAINED IN NATIVE LANDSCAPE. PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.
 - DEVELOPMENT MUST COMPLY WITH THE FLOODPLAIN REGULATIONS IN CHAPTER 10 OF THE CITY MUNICIPAL CODE.
 - REFER TO NOTES ON FLOODPLAIN EXHIBIT SHEET C6.01 FOR ALL FLOODPLAIN REGULATIONS, PERMIT REQUIREMENTS, ETC.

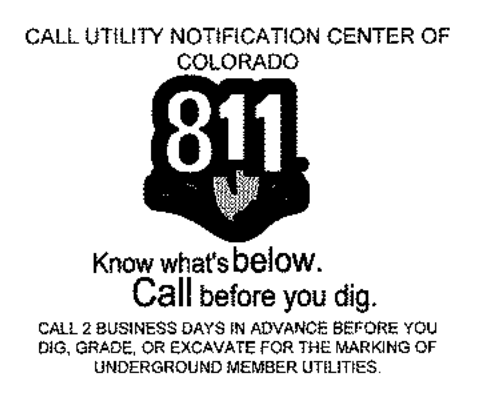
RUNOFF SUMMARY:

Drainage Summary Table								
Design Point	Basin ID	Total Area (acres)	C2	C100	2-Yr Tc (min)	100-Yr Tc (min)	Q2 (cfs)	Q100 (cfs)
A1	A1	1,670	0.95	1.00	5.00	5.00	4.52	16.62
ON1	ON1	0.482	0.67	0.84	8.45	8.45	0.78	3.41
ON2	ON2	0.090	0.95	1.00	5.00	5.00	0.24	0.89
OW1	OW1	0.097	0.13	0.16	11.06	11.06	0.03	0.12
OS1	OS1	0.265	0.10	0.13	5.00	5.00	0.08	0.33
OS2	OS2	0.288	0.20	0.25	12.05	12.05	0.12	0.51

**FOR DRAINAGE REVIEW ONLY
 NOT FOR CONSTRUCTION**

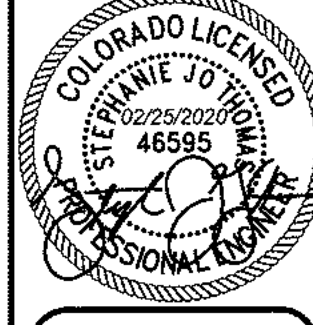
City of Fort Collins, Colorado
 UTILITY PLAN APPROVAL

APPROVED BY: <i>Spencer M. Cull</i>	Date: 3/23/2020
CHECKED BY: <i>NA</i>	Date: NA
CHECKED BY: <i>Shane Gale</i>	Date: 3/19/2020
CHECKED BY: <i>NA</i>	Date: NA
CHECKED BY: <i>NA</i>	Date: NA
CHECKED BY: <i>NA</i>	Date: NA

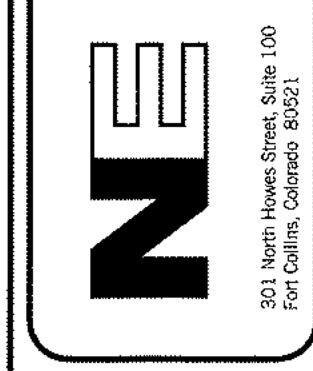


Revisions:

No.	By:	Date:



NORTHERN ENGINEERING



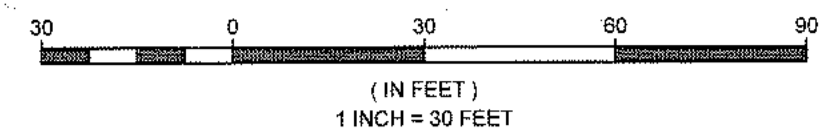
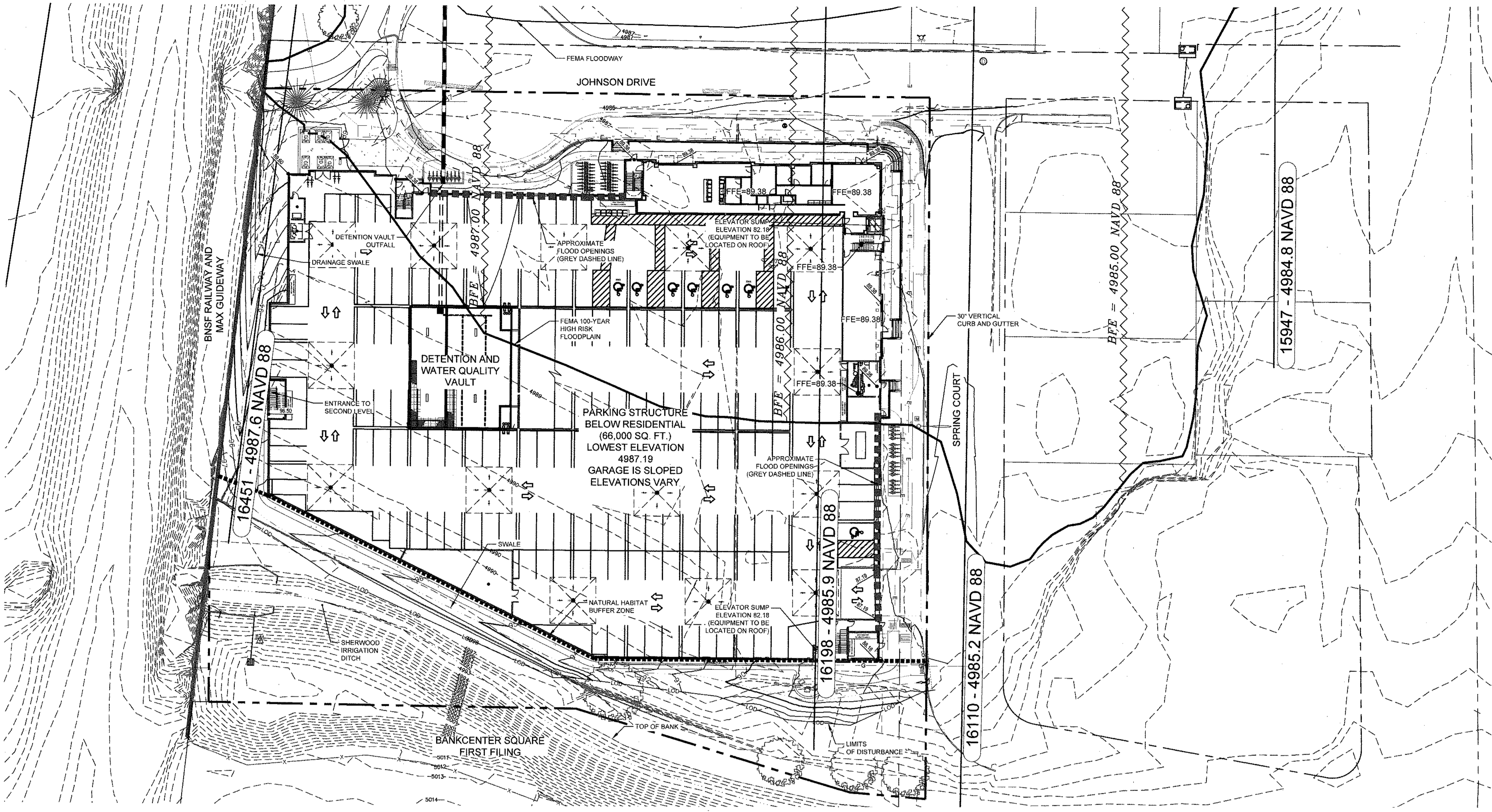
PROJECT: 10264001	DATE: 02/25/2020
DESIGNED BY: C. Snowden	SCALE: 1:20
DRAWN BY: B. Mathisen	REVIEWED BY: S. Thomas

JOHNSON DRIVE APARTMENTS
 DRAINAGE EXHIBIT

Sheet
C6.00
 19 of 20

DRAWING FILENAME: C:\V\10264001\10264001.dwg DATE: Feb 25, 2020 - 10:37am CAD OPERATOR: shpaw
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C-3 2521



LEGEND:

PROJECT BOUNDARY	---
PROPOSED MAJOR CONTOUR	---15---
PROPOSED MINOR CONTOUR	---13---
EXISTING MAJOR CONTOUR	---5015---
EXISTING MINOR CONTOUR	---5013---
PROPOSED CURB & GUTTER	---
PROPOSED STORM SEWER	---
EXISTING STORM SEWER	---
EXISTING STORM MANHOLE	○
EXISTING STORM INLET	○
BASE FLOOD ELEVATION (BFE)	---
FEMA FLOODWAY	---
FEMA 100-YEAR MODERATE RISK CROSS SECTION (CSL)	---

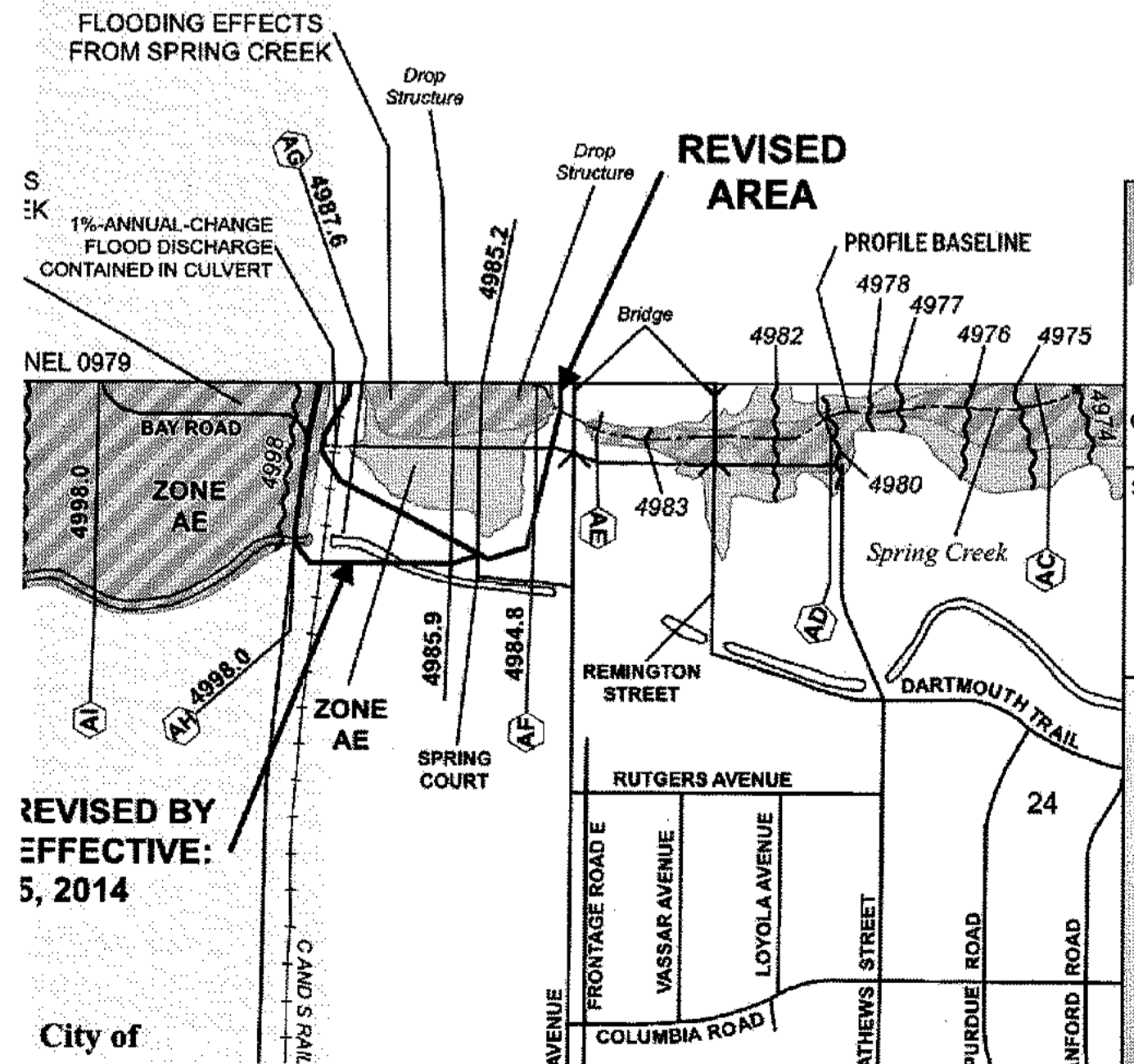
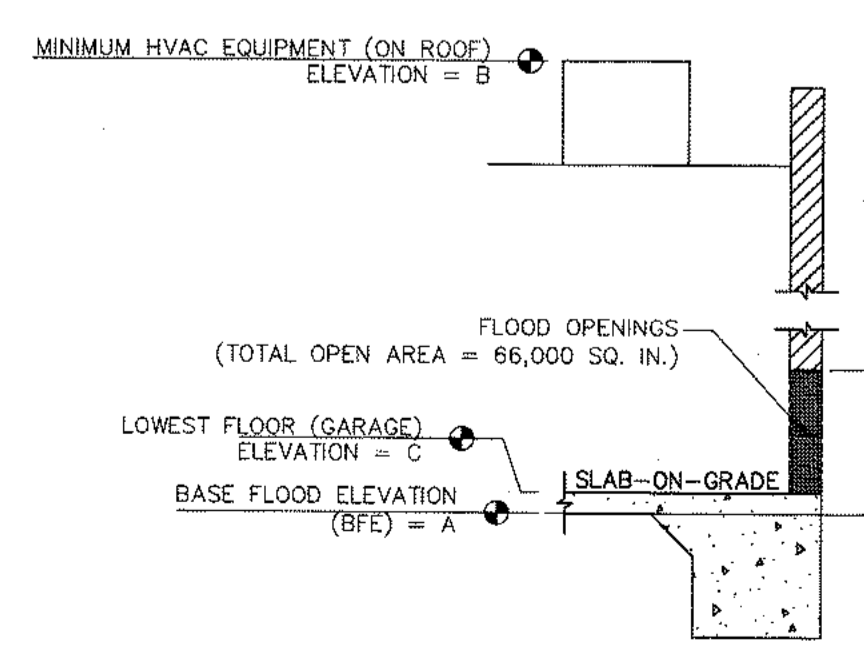
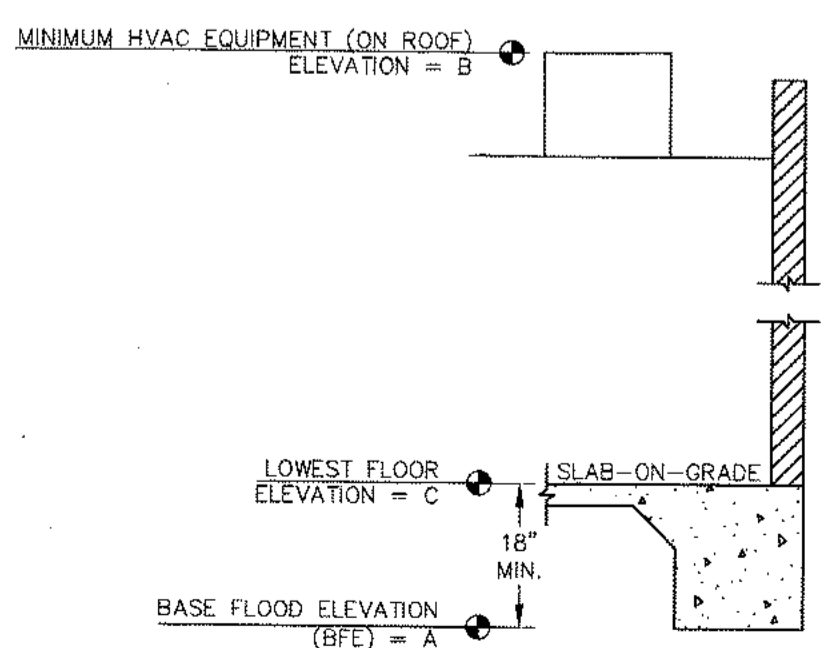
- NOTES:**
- REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, AND OTHER SURVEY INFORMATION.
 - THIS PROJECT IS LOCATED WITHIN A FEMA REGULATED SPRING CREEK 100-YEAR FLOODPLAIN AND FLOODWAY AND MUST COMPLY WITH CHAPTER 10 OF THE CITY CODE.
 - ALL ELEVATIONS DEPICTED IN PLAN VIEW AND BENCHMARKS LISTED HEREON ARE PER NAVD 88 DATUM.
 - ANY ITEMS LOCATED IN THE FLOODWAY THAT CAN FLOAT (E.G., PICNIC TABLES, BIKE RACKS, ETC.) MUST BE ANCHORED.
 - PER SECTION 10-103 (9), CRITICAL FACILITIES ARE PROHIBITED IN THE FLOODPLAIN. THE DEFINITION OF CRITICAL FACILITIES INCLUDES FACILITIES FOR AT-RISK POPULATIONS (DAYCARES, SCHOOLS, NURSING HOMES, ETC.) FACILITIES UTILIZING HAZARDOUS MATERIALS (GAS STATIONS, AUTO REPAIR, LABORATORIES), EMERGENCY SERVICE FACILITIES (URGENT CARE, HOSPITALS, FIRE, POLICE) AND GOVERNMENT SERVICES (MUNICIPAL OFFICES, LIBRARY).
 - THE FLOOR AND THE FINISHED FLOOR FOR ANY BUILDING IN THE FLOODPLAIN SHALL BE FLOODPROOFED UP TO THE REGULATORY FLOOD PROTECTION ELEVATION. ALL CONSTRUCTION MATERIALS BELOW THE REGULATORY FLOOD PROTECTION ELEVATION MUST BE FLOOD RESISTANT MATERIALS.
 - ALL ELECTRICAL IN THE PARKING GARAGE SHALL BE ELEVATED ABOVE THE RFP. ALL HVAC EQUIPMENT IS SUBJECT TO CHAPTER 10 FLOOD PROTECTION REQUIREMENTS.
 - A FLOODPLAIN USE PERMIT SHALL BE REQUIRED FOR EACH STRUCTURE AND EACH SITE CONSTRUCTION ELEMENT IN THE FLOODPLAIN.
 - A FLOODPLAIN USE PERMIT AND NO RISE CERTIFICATION IS REQUIRED PRIOR TO PERFORMING ANY WORK WITHIN THE FLOODWAY (I.E., CURB CUT REMOVAL, LANDSCAPING, STORM PIPE).
 - THE FLOODPLAIN USE PERMIT FOR THE BUILDING WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT APPLICATION.
 - THE FLOODPROOFING REQUIREMENTS OF CHAPTER 10 OF THE CITY CODE WILL BE SATISFIED PRIOR TO ISSUANCE OF A BUILDING PERMIT. A FLOODPROOFING CERTIFICATE SHALL BE COMPLETED AND APPROVED BEFORE THE CERTIFICATE OF OCCUPANCY IS ISSUED FOR ANY STRUCTURE IN THE FLOODPLAIN.
 - NO STORAGE OF MATERIALS OR EQUIPMENT SHALL BE ALLOWED IN THE FLOODWAY, WHETHER TEMPORARY (DURING CONSTRUCTION) OR PERMANENT. LANDSCAPING SHALL ALSO MEET THE REQUIREMENTS FOR NO RISE IN THE FLOODWAY.
 - REFER TO THE FINAL DRAINAGE REPORT FOR JOHNSON DRIVE APARTMENTS DATED 02/25/2020 FOR ADDITIONAL INFORMATION.
 - REFER TO ARCHITECTURAL DOCUMENTS FOR ADDITIONAL FLOODPROOFING INFORMATION.
 - THE GROUND LEVEL PARKING DECK SHALL SUPPLY 1 SQUARE INCH OF VENTING FOR EVERY 1 SQUARE FOOT OF ENCLOSED AREA. THE OVERALL AREA OF THE GROUND LEVEL PARKING DECK IS 66,000 SQ. FT., RESULTING IN 66,000 SQ. IN. OF THE GARAGE TO BE VENTED.
 - THE BOTTOM OF THE VENT SHALL NOT BE HIGHER THAN 1 FOOT ABOVE FINISH GRADE.
 - THE VENTING SHALL BE ON TWO SIDES LOCATED ON THE NORTHERN AND EASTERN FACE OF THE GARAGE AREA.
 - ALL RESIDENTIAL UNITS MUST BE ELEVATED ABOVE THE REGULATORY FLOOD PROTECTION ELEVATION.

BASE FLOOD ELEVATION (COMMERCIAL/RESIDENTIAL)

EL. DESIGNATION	NAVD 88
A	4987.60 FT
B	5050.73 FT
C	4989.38
REGULATORY FLOOD PROTECTION ELEVATION	4989.10 FT

BASE FLOOD ELEVATION (GARAGE)

EL. DESIGNATION	NAVD 88
A	4987.60 FT
B	5050.73 FT
C	4987.18 FT
REGULATORY FLOOD PROTECTION ELEVATION	4989.10 FT



FEMA
 NATIONAL FLOOD INSURANCE PROGRAM
 FLOOD INSURANCE RATE MAP
 LARIMER COUNTY, COLORADO
 and incorporated areas
 map 987 of 1420
 Revised to Reflect LOMR
 EFFECTIVE: February 26, 2018

PROJECT BENCHMARKS:

PROJECT DATUM: NAVD 88

City of Fort Collins Benchmark 14-97
 Approximately 100 feet west of the intersection of Centre Ave. and Research Blvd., on the west end of the south headwall on Centre Ave.
 Elevation: 5051.76

City of Fort Collins Benchmark 15-97
 On the back of walk on the west side of Stover Street at the bridge over the Arthur Ditch. (Near the Stover and Dartmouth Intersection).
 Elevation: 4995.75

Please Note: This plan set is using NAVD88 for a vertical datum. Surrounding developments have used NGVD29 Unadjusted Datum (Prior City of Fort Collins Datum) for their vertical datums.

If NGVD29 Unadjusted Datum (Prior City of Fort Collins Datum) is required for any purpose, the following equation should be used:
 NGVD29 Unadjusted Datum (Prior City of Fort Collins Datum) = NAVD88 Datum - 3.18'

BASIS OF BEARING:
 The North line of Lot 17, Spring Court Subdivision as bearing South 89° 19' 59" East.

**FOR FLOODPLAIN REVIEW ONLY
 NOT FOR CONSTRUCTION**

City of Fort Collins, Colorado
 UTILITY PLAN APPROVAL

APPROVED: <i>Spencer M Little</i> 3/15/2020	Date
CHECKED BY: <i>NA</i>	Date
CHECKED BY: <i>Shane Gale</i> 3/15/2020	Date
CHECKED BY: <i>NA</i>	Date
CHECKED BY: <i>NA</i>	Date
CHECKED BY: <i>NA</i>	Date
CHECKED BY: <i>NA</i>	Date

CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
 Know what's below. Call before you dig.
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

By: _____ Date: _____

Revisors: _____

NO. _____

COLORADO LICENSED PROFESSIONAL ENGINEER
 46585

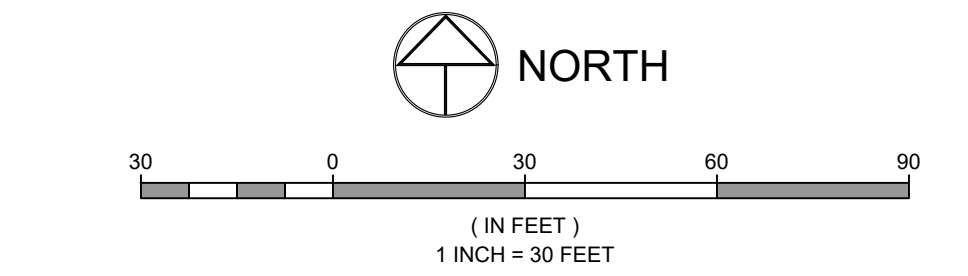
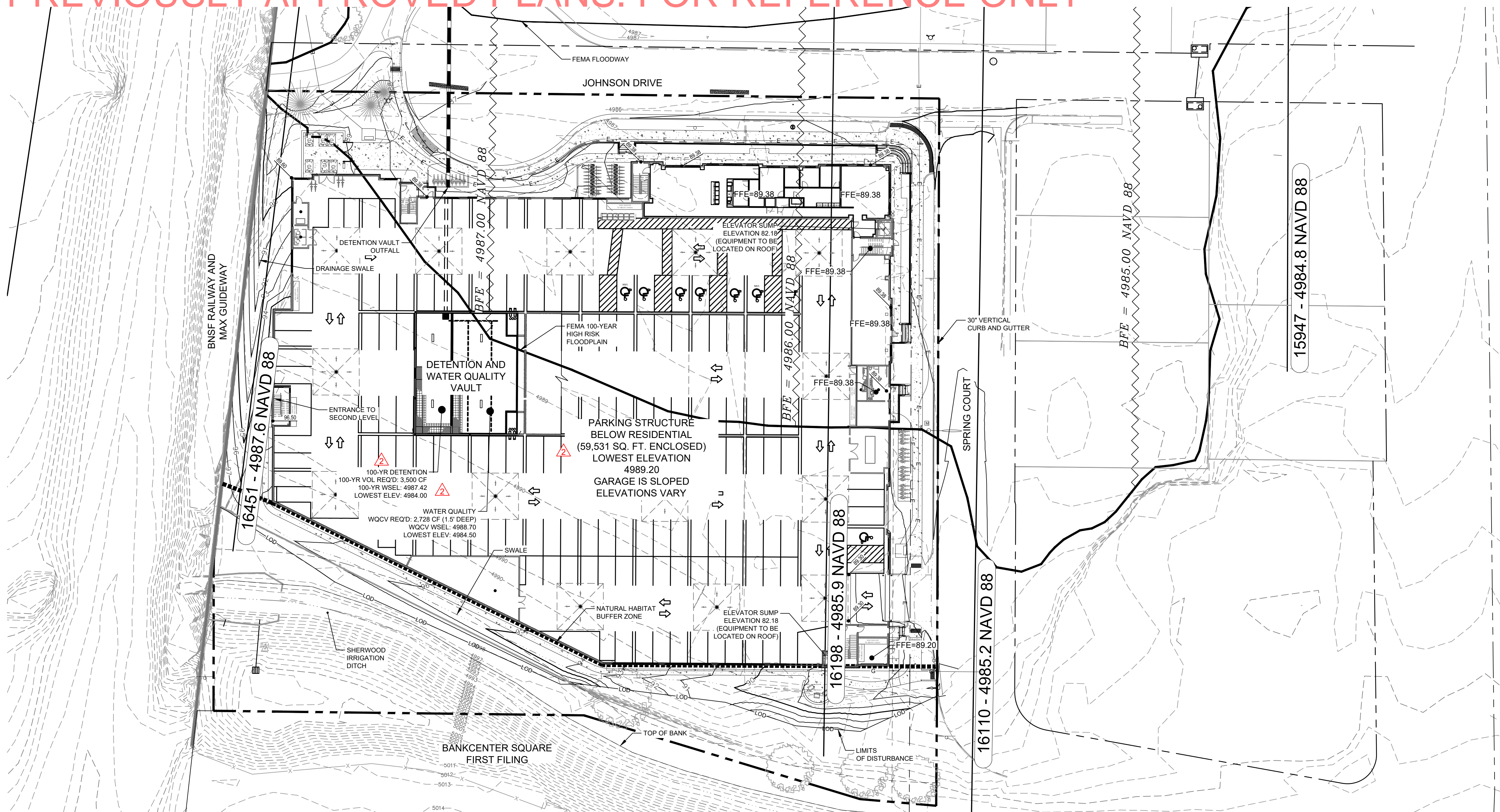
NORTHERN ENGINEERING
 301 North Howe Street, Suite 150
 Fort Collins, Colorado 80521
 PHONE: 970.222.4198
 www.northernengineering.com

PROJECT: 1289-001
 DATE: 02/25/2020
 SCALE: 1"=30'
 DESIGNED BY: B. Mathisen
 DRAWN BY: S. Thomas

JOHNSON DRIVE APARTMENTS
 FLOODPLAIN EXHIBIT

Sheet
C6.01
 20 of 20

PREVIOUSLY APPROVED PLANS. FOR REFERENCE ONLY



By: **SJT** 6/27/21

Revisions: **NA** UPDATES PER CITY FP COMMENTS

DATE: 02/25/2020

SCALE: 1"=30'

DESIGNED BY: B. Mathisen

DRAWN BY: B. Mathisen

REVIEWED BY: S. Thomas

PROJECT: 1988-001

DATE: 02/25/2020

SCALE: 1"=30'

DESIGNED BY: B. Mathisen

DRAWN BY: B. Mathisen

REVIEWED BY: S. Thomas

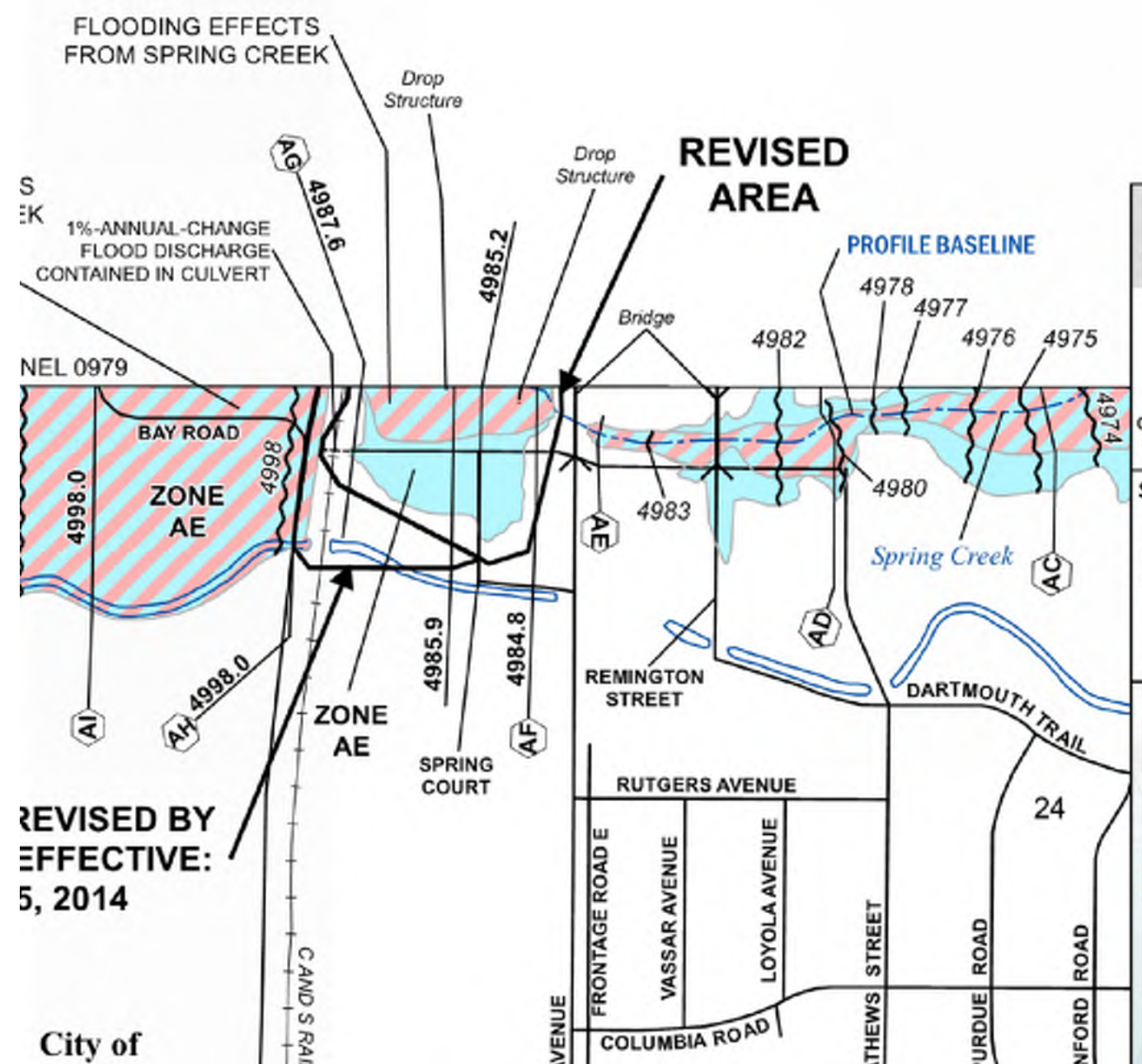
NORTHERN ENGINEERING

301 North Hovea Street, Suite 100
Fort Collins, Colorado 80521

PHONE: 970.221.4158
www.northernengineering.com

BASE FLOOD ELEVATION (COMMERCIAL/RESIDENTIAL)	
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C	4989.38
REGULATORY FLOOD PROTECTION ELEVATION	4989.10 FT

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FEMA National Flood Insurance Program

NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP

LARIMER COUNTY, COLORADO

Panel 987 of 1420

REVISOR: **REFLECT LOMR** EFFECTIVE: February 26, 2018

Without Base Flood Elevation (BFE) (Area A, AE, AH, X, etc.)

With BFE or Depth (Area AE, AH, etc.)

Regulatory Floodway

0.2% Annual Chance Flood Hazard, Areas of 1% Annual Chance Flood with average depth less than one foot or with drainage areas of less than one square mile

Future Conditions 1% Annual Chance Flood Hazard

Area with Reduced Flood Risk due to Levee (See Notes...)

SCALE: 1 inch = 500 feet

Map Symbols: Generalized National Map Accuracy Standard (GNMAS) 1983 17M Zone 18N

Vertical Datum: North American Datum 1983 (NAD 83)

Panel Contains: COMMUNITY NUMBER: 080102, PANEL: 0847, SURF: 6

CALL UTILITY NOTIFICATION CENTER OF COLORADO **811** Know what's below. Call before you dig. CALL BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

PROJECT BENCHMARKS:

PROJECT DATUM: NAVD 88

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Approximately 100 feet west of the intersection of Centre Ave. and Research Blvd., on the west end of the south headwall on Centre Ave.
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Please Note: This plan set is using NAVD88 for a vertical datum. Surrounding developments have used NGVD29 Unadjusted Datum (Prior City of Fort Collins Datum) for their vertical datums.

If NGVD29 Unadjusted Datum (Prior City of Fort Collins Datum) is required for any purpose, the following equation should be used:
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BASIS OF BEARING:
The North line of Lot 17, Spring Court Subdivision as bearing South 89° 19' 59" East.

7/19/2021

7/19/2021

DS S.A.S.

DS HA

**FOR FLOODPLAIN REVIEW ONLY
NOT FOR CONSTRUCTION**

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: *Spencer M. Little* 3/23/2020 Date
City Engineer

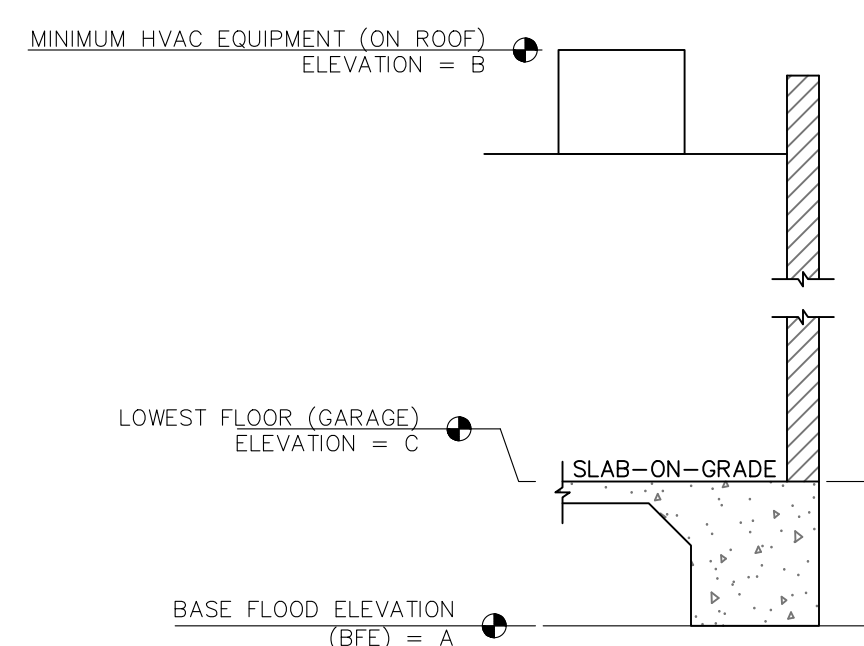
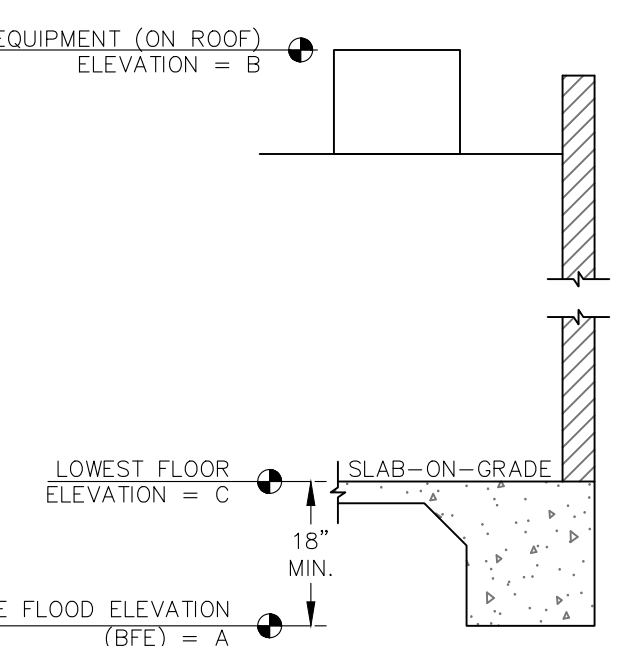
CHECKED BY: *Shane Hale* 3/19/2020 Date
Water & Wastewater Utility

CHECKED BY: *Shane Hale* 3/19/2020 Date
Stormwater Utility

CHECKED BY: *NA* Date
Parks & Recreation

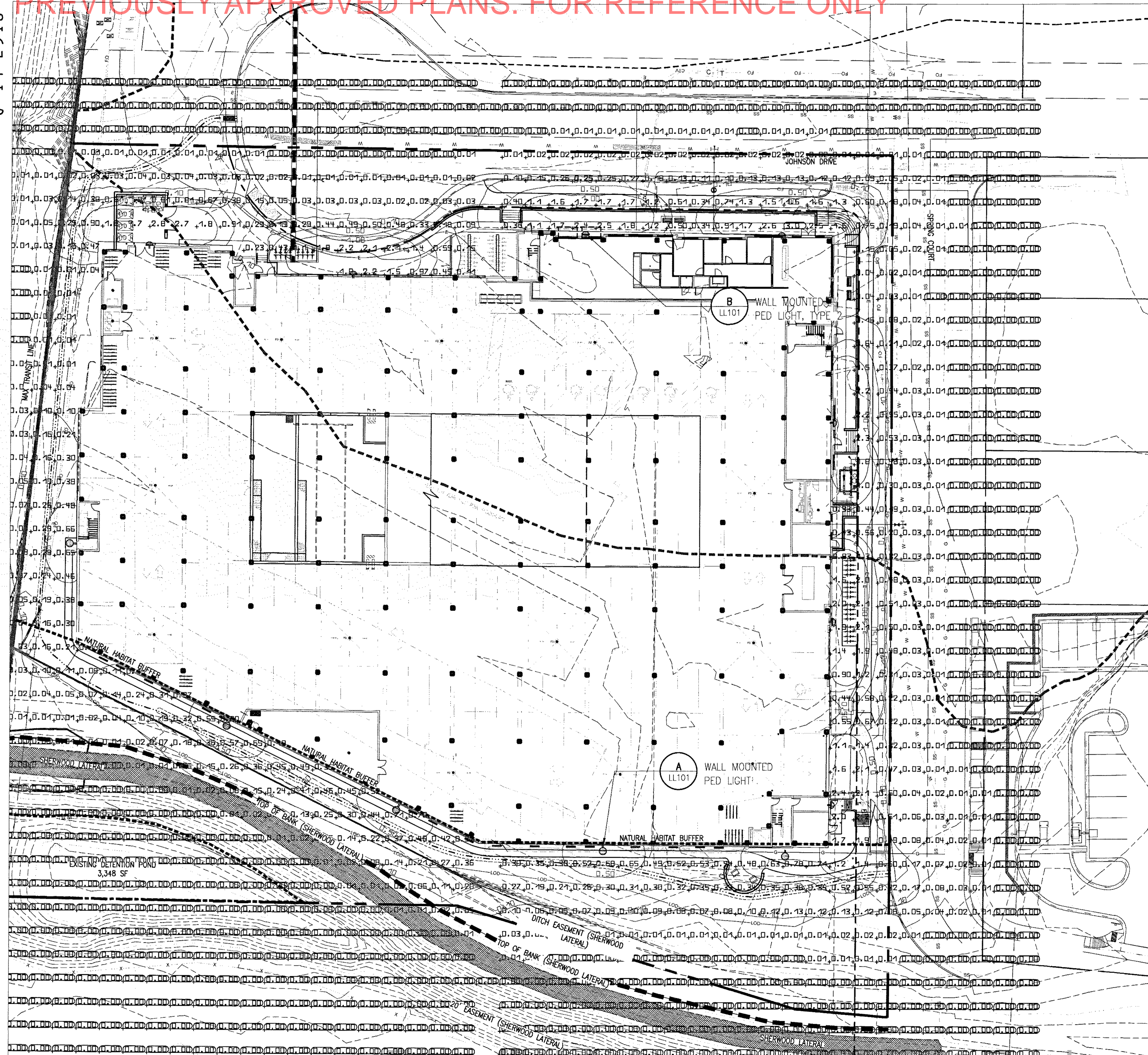
CHECKED BY: *Melvin G. Wilbur* 3-13-20 Date
Traffic Engineer

CHECKED BY: *NA* Date
Environmental Planner



JOHNSON DRIVE APARTMENTS

FLOODPLAIN EXHIBIT

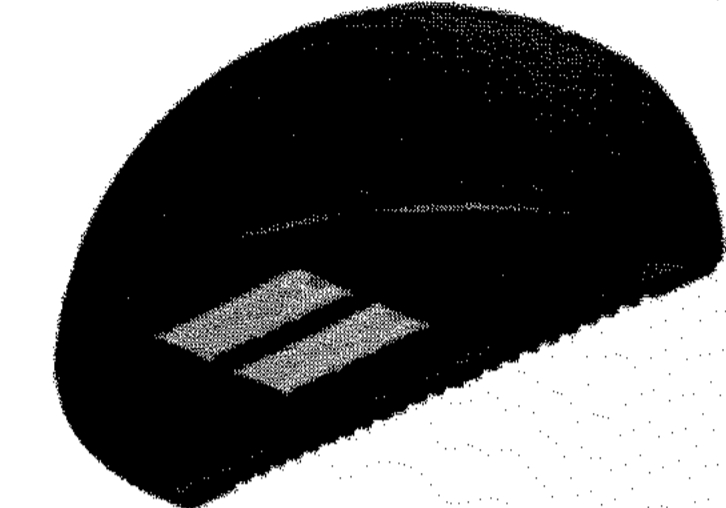


LIGHTING LEGEND:



NOTES:

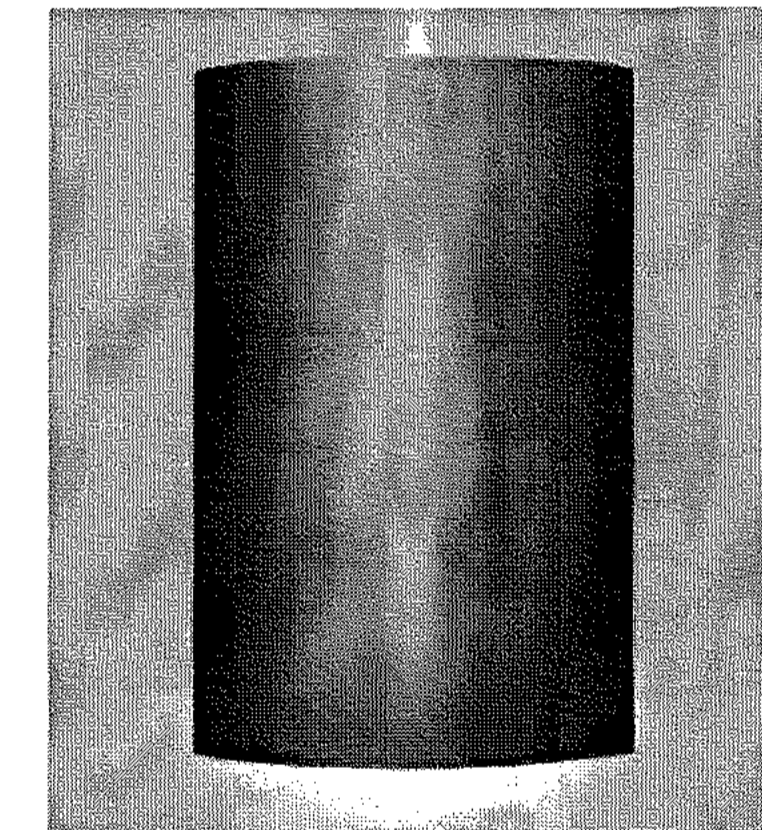
1. PHOTOMETRICS PROVIDED FOR NON-RIGHT OF WAY WALKS ONLY.
2. ALL PARKING IS COVERED WITH GARAGE LIGHTING BY OTHERS.
3. THE NATURAL HABITAT BUFFER ZONE IS INTENDED TO BE MAINTAINED IN A NATIVE LANDSCAPE. PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.



COMPANY: LITHONIA LIGHTING
 MODEL: WSQ-LED1-10A700/3K-SR2 3,000K
 COLOR: DARK BRONZE
 MOUNT: BUILDING MOUNT (20')

INSTALL PER MANUFACTURER RECOMMENDATIONS.
 FIXTURE SHALL HAVE MOTION SENSOR.

A WALL MOUNTED PED LIGHT
 SCALE: NTS DT-FURN-BIKE-RACK-TYPE-B

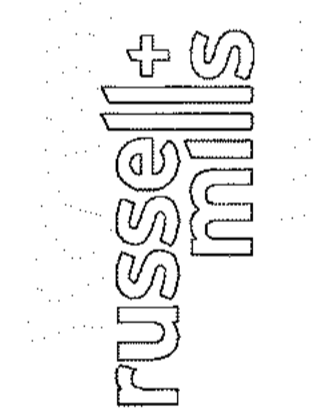


COMPANY: AAL LIGHTING
 MODEL: CY2-35-3K7-1-2-CT 3,000K
 COLOR: DARK BRONZE
 MOUNT: BUILDING MOUNT (15')
 QTY: TBD

INSTALL PER MANUFACTURER RECOMMENDATIONS.

B WALL MOUNTED PED LIGHT TYPE 2
 SCALE: NTS DT-FURN-BIKE-RACK-TYPE-B

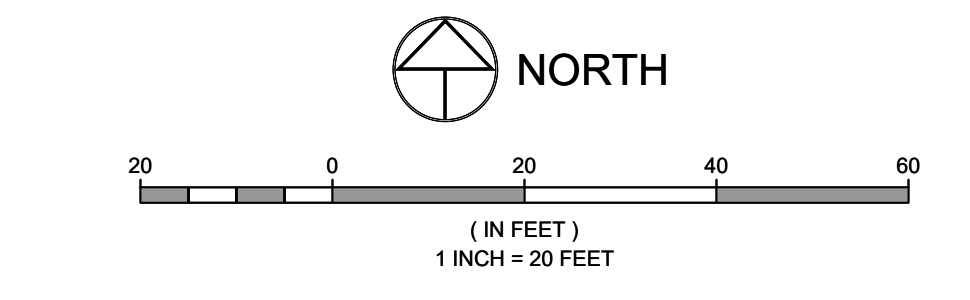
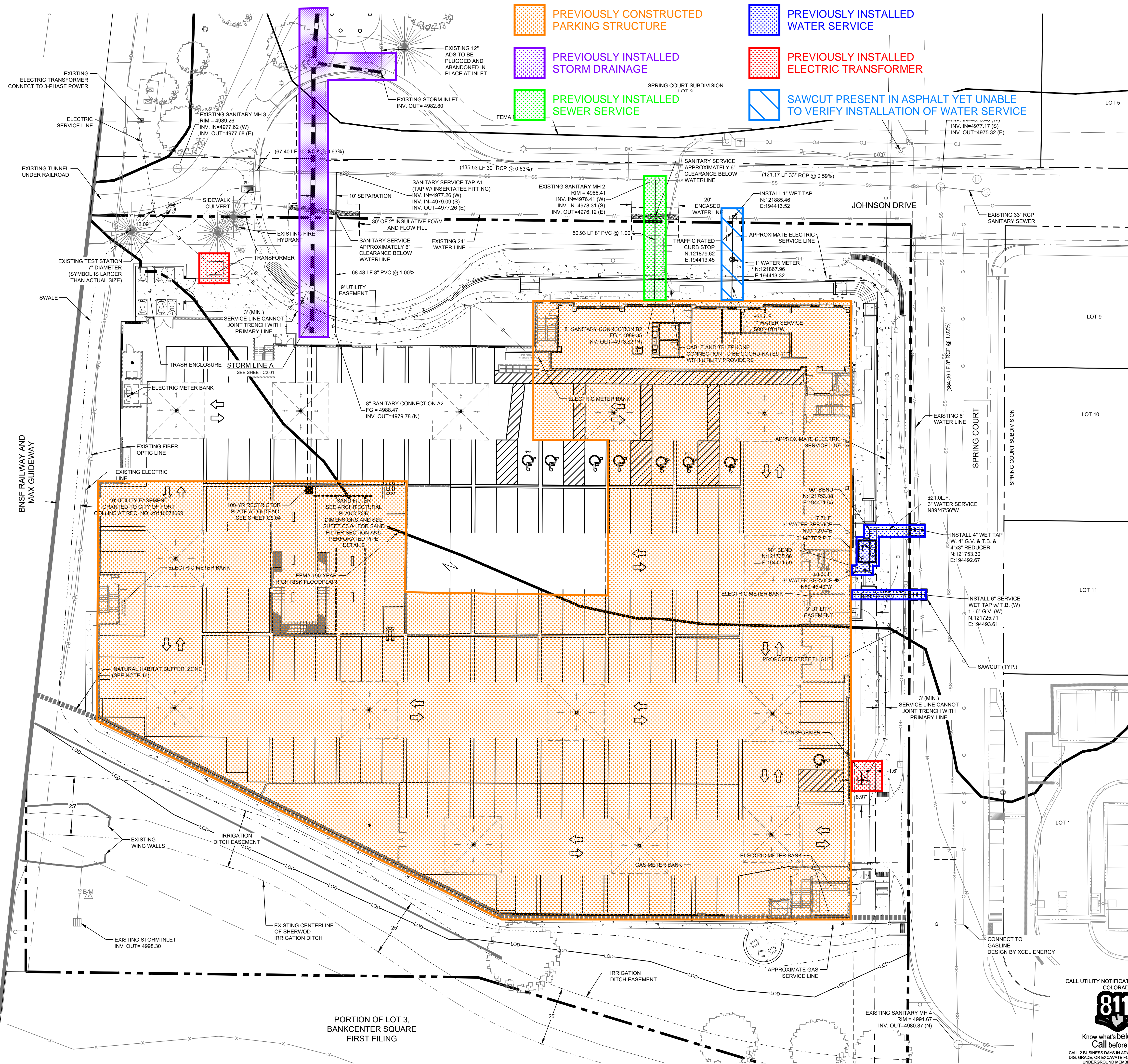
REV.	COMMENT	DATE



JOHNSON DRIVE APARTMENTS
 OVERALL SITE LIGHTING PLAN

Date: 01/2020
 Drawn By: DD
 Checked By: CR

PREVIOUSLY APPROVED PLANS. FOR REFERENCE ONLY



LEGEND:

PROJECT BOUNDARY	---
PROPOSED CURB & GUTTER	---
PROPOSED LOTLINE	---
EASEMENT LINE	---
EXISTING FIBER OPTIC	FO
EXISTING GAS	G
EXISTING SANITARY SEWER	SS
EXISTING WATER	W
EXISTING ELECTRIC	E
EXISTING STORM SEWER	ST
PROPOSED STORM SEWER	---
EXISTING SANITARY MANHOLE	○
EXISTING STORM MANHOLE	○
PROPOSED SEWER SERVICE	---
PROPOSED FIRE HYDRANT	○
EXISTING FIRE HYDRANT	○
EXISTING LIGHT POLE	○
EXISTING ELECTRIC VUALT	○
EXISTING WATER METER	○
EXISTING IRRIGATION BOX	○
EXISTING POWER POLE	○
EXISTING GAS METER	○
EXISTING TELEPHONE PEDESTAL	○

- NOTES:**
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 - ALL WATER CONSTRUCTION SHALL BE PER THE FORT COLLINS STANDARD CONSTRUCTION SPECIFICATIONS LATEST EDITION.
 - ALL SANITARY CONSTRUCTION SHALL BE PER THE FORT COLLINS STANDARD CONSTRUCTION SPECIFICATIONS LATEST EDITION.
 - ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
 - UTILITY SERVICES ARE SHOWN IN A SCHEMATIC FASHION ONLY. EXACT LOCATIONS SHALL BE PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDERS, AND ARE SUBJECT TO CHANGE IN THE FIELD.
 - MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
 - REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY FIELD LOCATES AND POT-HOLING OF SUBSURFACE UTILITIES. ENGINEER AND CITY SHALL BE NOTIFIED OF ANY POTENTIAL CONFLICTS.
 - REFER TO PLUMBING PLANS FOR ALL WATER SERVICE AND SANITARY SEWER SERVICE LOCATIONS. IF CONFLICT OCCURS, BOTH THE PLUMBING ENGINEER AND CIVIL ENGINEER SHALL BE CONTACTED PRIOR TO INSTALLATION OR ORDERING OF MATERIALS.
 - ALL STORM SEWER IS TO BE OWNED AND MAINTAINED BY PROPERTY MANAGER.
 - ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
 - CONTRACTOR TO COORDINATE FINAL LOCATION OF ALL GAS AND ELECTRIC METERS WITH ARCHITECT AND UTILITY PROVIDERS.
 - CONTRACTOR TO COORDINATE FINAL LOCATION OF IRRIGATION SHUT-OFF VALVE AND BACKFLOW DEVICE WITH LANDSCAPE ARCHITECT AND SPRINKLER CONTRACTOR.
 - CONTRACTOR TO COORDINATE SITE LIGHTING (LANDSCAPE) TO ENSURE NO CONFLICTS WITH OTHER UTILITIES.
 - CROSSPANS ALONG PUBLIC STREETS AT THE INTERSECTION OF PRIVATE DRIVES SHALL HAVE CONCRETE EXTENDED TO THE RIGHT-OF-WAY LINE.
 - THE NATURAL HABITAT BUFFER ZONE IS INTENDED TO BE MAINTAINED IN A NATIVE LANDSCAPE. PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.
 - DEVELOPMENT MUST COMPLY WITH THE FLOODPLAIN REGULATIONS IN CHAPTER 10 OF THE CITY MUNICIPAL CODE.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

By: _____ Date: _____

Revisors: _____

NO. _____

COLORED LICENSED PROFESSIONAL ENGINEER
NORTHWESTERN ENGINEERING
4639
301 North Hobbs Street, Suite 100
Fort Collins, Colorado 80521
PHONE: 970.221.4188
WWW.NORTHWESTERNENGINEERING.COM

PROJECT: 198-2001 DATE: 02/25/2020 SCALE: 1:20 REVIEWED BY: S. Thomas
DESIGNED BY: C. Snowden DRAWN BY: B. Mathisen

JOHNSON DRIVE APARTMENTS

UTILITY PLAN

Sheet **C2.00**
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