



## Planning, Development & Transportation

### Community Development & Neighborhood Services

281 North College Avenue  
P.O. Box 580  
Fort Collins, CO 80522.0580

**970.416.2740**  
970.224.6134- fax  
[fcgov.com](http://fcgov.com)

### **CERTIFICATE OF APPROPRIATENESS**

**ISSUED: October 31, 2019**

**EXPIRATION: October 31, 2020**

James & Anna McDowell  
508 Remington Street  
Fort Collins, CO 80524

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Convert existing south egress window to entry, including installation of a timber wall, a metal clad wood casement window, and painted trim, as well as a concrete and steel stair to grade with concrete retaining walls.
  - *Note: This project element was reviewed and approved by the Landmark Preservation Commission (LPC) on April 8, 2015, but the Certificate of Appropriateness expired prior to beginning work. The re-submitted application appears consistent with the LPC's decision. Modification of the access stair from concrete to steel should be remain consistent with Standards and avoid the future need for an awning over the new stairway, which would have a detrimental effect on the building's historic integrity. Detailed analysis in the table below applies to Item #2.*
- 2) Install new basement egress window on north side of building.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners have up to 14 days to appeal design review decisions regarding their properties. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I may be reached at [jbertolini@fcgov.com](mailto:jbertolini@fcgov.com), or 970-416-4250.

Sincerely,

Jim Bertolini  
Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p><b>The property will continue in residential use.</b></p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p><b>Item 1: Consistent with 2015 LPC Approval. Changing the proposed stair treads from concrete to steel should not have a significant impact on the historic property.</b></p> <p><b>Item 2: The new egress window will not have a significant impact on the character of the building, located on a secondary elevation and close to grade, requiring the removal of minimal foundation stone below the first floor wall plate.</b></p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p><b>Item 1: Consistent with 2015 LPC Approval.</b></p> <p><b>Item 2: The metal-clad wood casement assembly for the egress window will be differentiated from other historic features. This property’s windows are characterized by wood, multi-light units that are above the foundation.</b></p>	Y
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p> <p><b>Item 1: Consistent with 2015 LPC Approval.</b></p> <p><b>Item 2: N/A</b></p>	Y

<p><b>SOI #5</b></p>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p><b>Item 1: Consistent with 2015 LPC Approval.</b>  <b>Item 2: While the stone foundation is a defining feature, there will be minimal removal on a secondary elevation. The limited removal will not disrupt the understanding of the building as a significant architectural landmark characterized by masonry (brick and stone) construction and wood detailing (trim, windows, etc.).</b></p>	<p><b>Y</b></p>
<p><b>SOI #6</b></p>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p><b>No replacement is proposed as part of this project.</b></p>	<p><b>N/A</b></p>
<p><b>SOI #7</b></p>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #8</b></p>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p><b>The project does involve excavation. Based on the significance of the property (Standard 3/Criterion C), it is not expected that discovered archaeological resources during excavation would reveal significant information about the past.</b></p>	<p><b>N/A</b></p>

<p><b>SOI #9</b></p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p><b>Item 1: Consistent with 2015 LPC Approval. The egress window on the south elevation is not a character-defining feature, and the stairway will be generally below grade. The added railing and change of tread from concrete to steel is not expected to have a significant influence on the modification’s appropriateness, and should avoid the potential need for more invasive shelter options in the future.</b></p> <p><b>Item 2: The new egress window and well is small in scale and located on a secondary elevation. The removal of historic material required is minimal, and the new materials will be sufficiently differentiated from the old by using modern but compatible materials (metal-clad wood window and wood window well).</b></p>	<p><b>Y</b></p>
<p><b>SOI #10</b></p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p><b>Item 1: Consistent with 2015 LPC Approval.</b>  <b>Item 2: N/A</b></p>	<p><b>Y</b></p>



**BUILDING PERMIT APPLICATION**

APPLICATION NUMBER: B1913030 FOR OFFICE USE APPLICATION DATE: 10/4/19

Job Site Address 508 Remington St., Ft Collins CO 80524 Unit# #2 & #3

**PROPERTY OWNER INFO: (All owner information is required – NOT optional)**

Last Name MacDowell & Waido MacDowell First Name James & Anna Middle \_\_\_\_\_  
 Street Address 508 Remington St. #2 City Ft Collins State CO Zip 80524  
 Phone # 720-675-9381 Email james.macdowell@gmail.com

Name of Business (COMMERCIAL USE ONLY) \_\_\_\_\_

**CONTRACTOR INFO:** Company Name National Inspection Services

License Holder Name Bill Warren LIC # GFEN-9 CERT # \_\_\_\_\_

**LEGAL INFO:**

Subdivision/PUD 10135 - FTC BLK 135 Filing # \_\_\_\_\_ Lot # 7 Block # 135 Lot Sq Ft 7,000

**CONSTRUCTON INFO:** Total Building Sq Ft (NOT including basement) 2,388 Total Garage Sq. Ft. 0

Residential Sq Ft 2,388 Commercial Sq Ft \_\_\_\_\_ # of Stories 2 Bldg Ht ~20 # of Dwelling Units 3

1st Floor Sq Ft 1,338 2nd Floor Sq Ft 850 3rd Floor Sq Ft \_\_\_\_\_ Unfinished Basement Sq Ft 91

Finished Basement Sq Ft 1,119 # of Bedrooms 6 # of Full Baths 2

¼ Baths 2 ½ Baths \_\_\_\_\_ # Fireplaces 1 gas insert + 1 EPA-cert wood stove

**ENERGY INFORMATION: (CHECK ONE)**

ComCheck  UA (ResCheck)  SPA (Simulated Performance Alternative)  Prescriptive  ERI (Energy Rating Index)

**Air Conditioning?** YES  NO  [only in existing dwelling units]

City of Fort Collins Approved Stock Plan # SPO List Option #s \_\_\_\_\_

**UTILITIES INFO:** Gas  Electric  Electric Temp. Pedestal Yes  No

Electric Main Breaker Size (Residential Only): 150 amp or less  200 Amp  Other

**ZONING INFO: (COMMERCIAL USE ONLY)** Existing separate metering for each unit - 100A main per. Basement to be electric only.

Proposed Use: (i.e. medical, office, bank, retail, etc.) \_\_\_\_\_

**For Commercial remodels and tenant finishes, please answer the following questions:**

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

PFA

Existing Tenant  New Tenant

If for a new tenant, is this the first tenant to occupy this space?

Yes  No  If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes  No

If yes, please describe: New entryway & egress window - engineering enclosed - approved by Landmark Preservation Commission.

Value of Construction (materials and labor): \$ 99,336.40

**Description of Work:** \_\_\_\_\_

*Reconfigure existing triplex - relocate unit #3 from main floor to basement. Add new exterior entry stairwell & egress window.  
Add one-hour fire separation on ceilings of main floor (unit #2) and basement (unit #3).*

**JOBSITE SUPERVISOR CONTACT INFO:** Name Bill Warren Phone 970-227-1976

**SUBCONTRACTOR INFO:** Electrical Daniels Electric

Mechanical \_\_\_\_\_

Plumbing Mike Denny Plumbing

Framing \_\_\_\_\_

Roofing \_\_\_\_\_

Fireplace \_\_\_\_\_

Solar \_\_\_\_\_

Other \_\_\_\_\_

**ASBESTOS STATEMENT DISCLOSURE:** *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) \_\_\_\_\_
- An asbestos inspection has not been conducted on this property.

**Applicant:** I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature \_\_\_\_\_

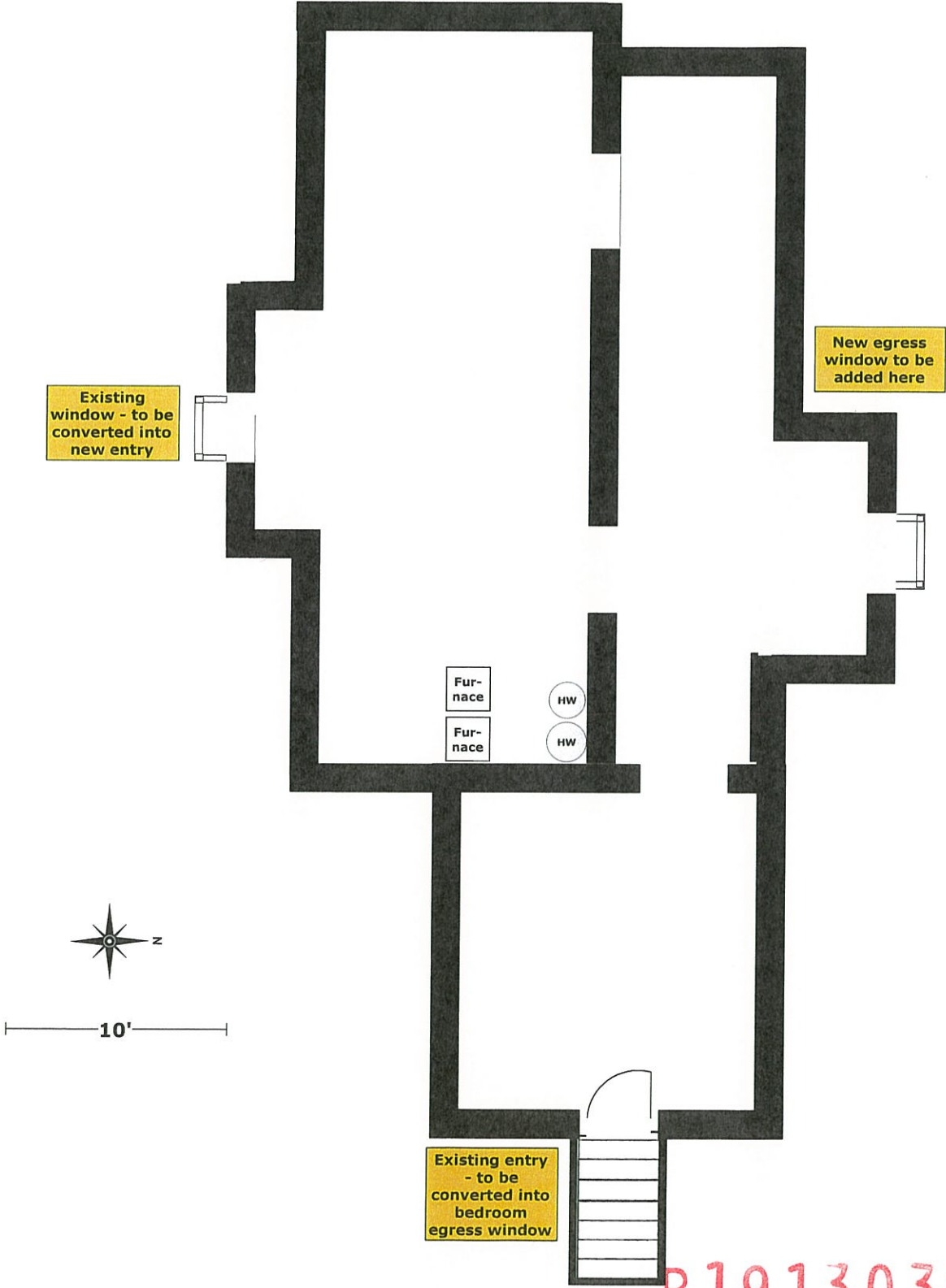
Type or Print Name James MacDowell

Phone # 720-675-9381

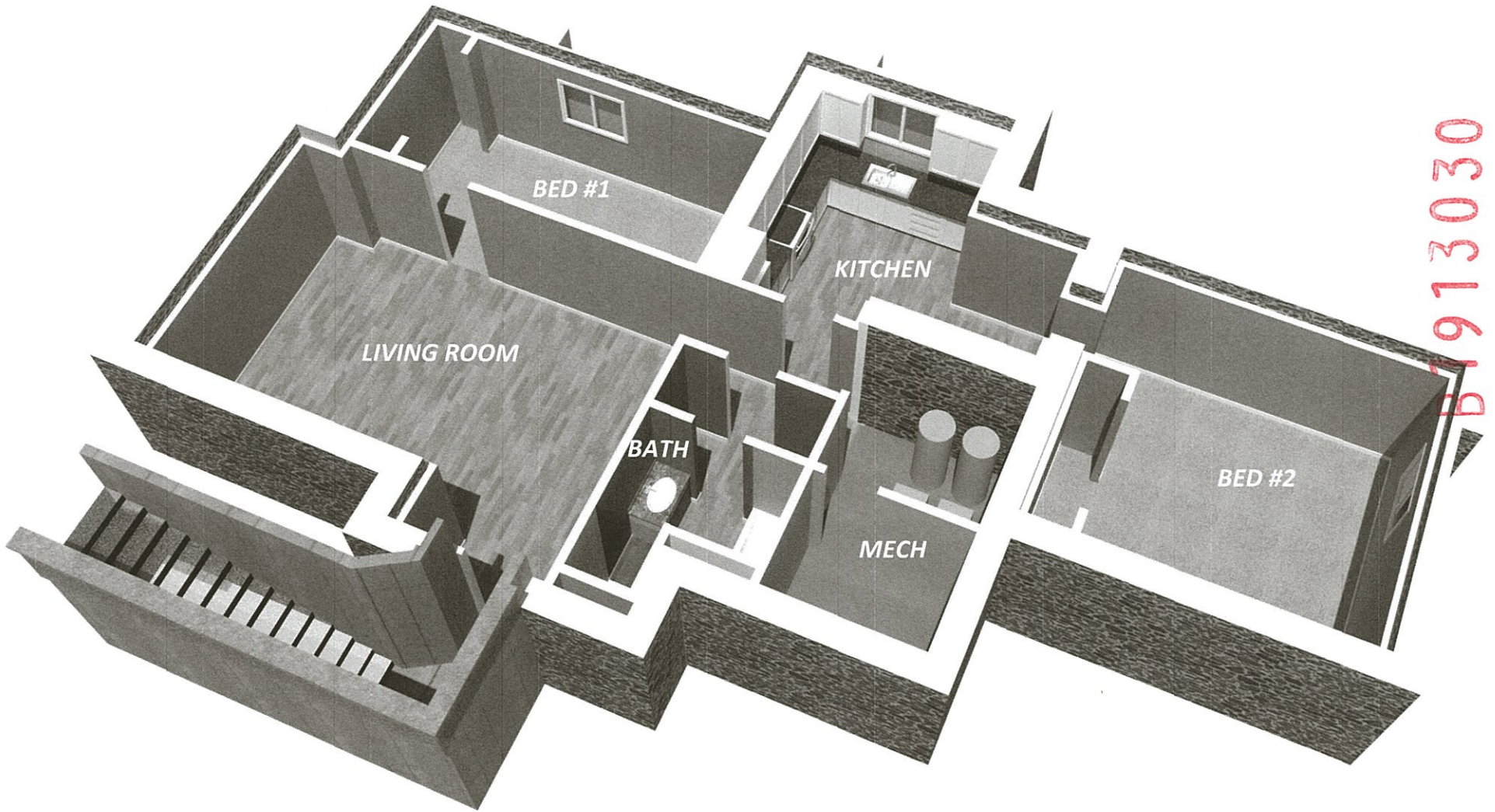
Email james.macdowell@gmail.com

**THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE**

508 Remington St.  
Current basement layout  
October 4th, 2019



B1913030

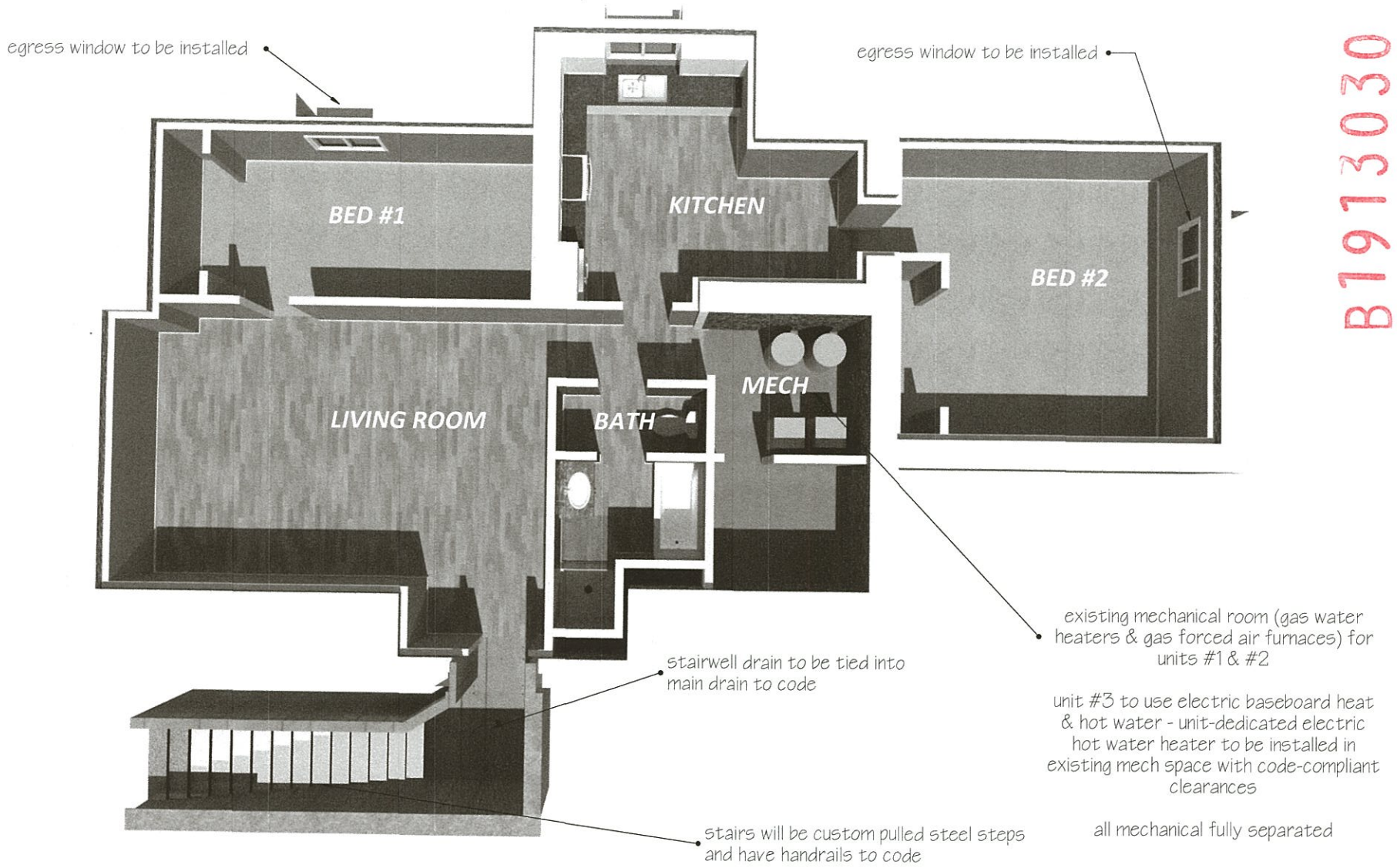


913030

**MACDOWELL RESIDENCE**  
**UNIT #3 RECONFIGURATION INTO BASEMENT**

508 REMINGTON ST.  
FORT COLLINS, CO 80524



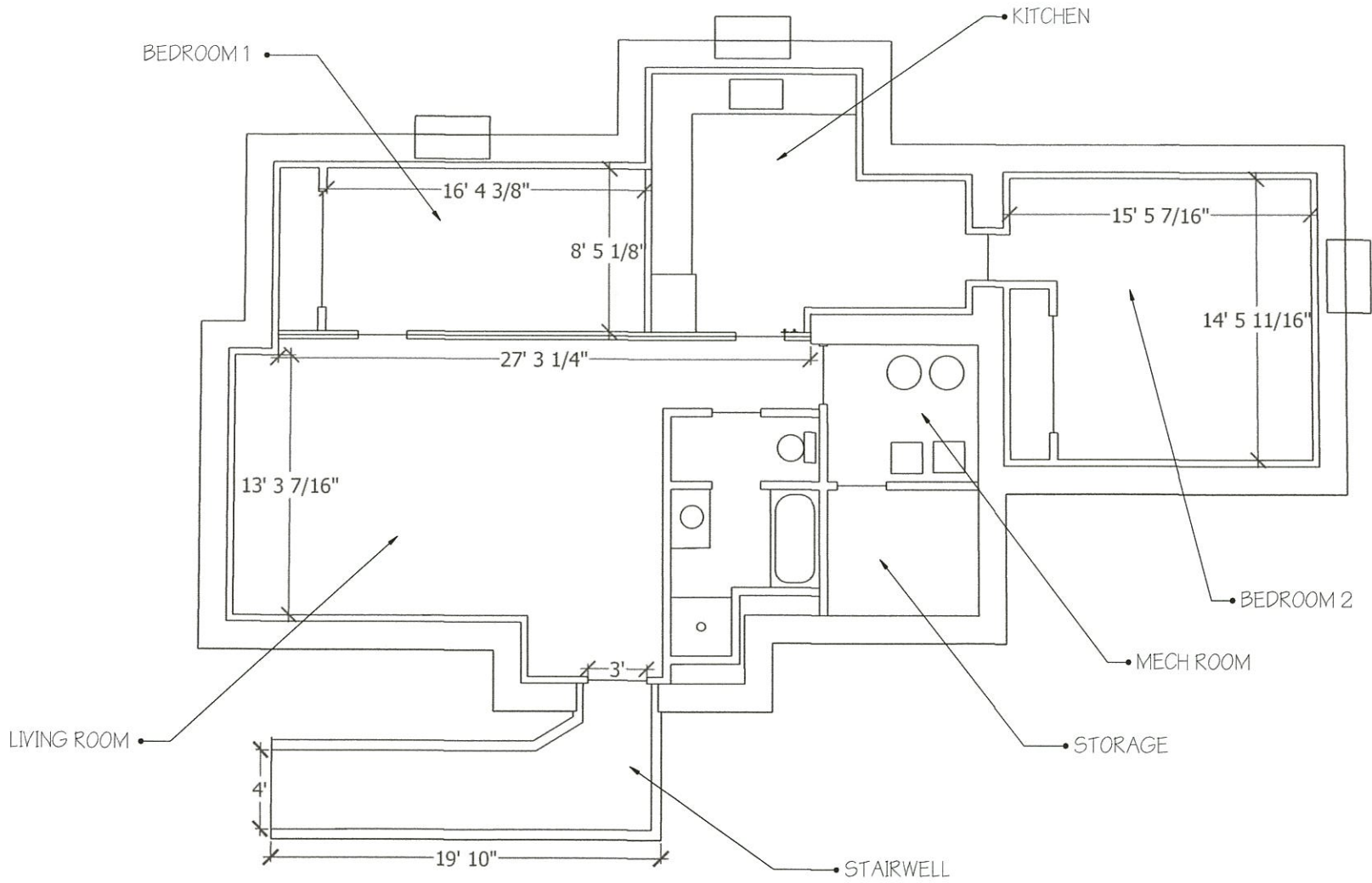


B1913030

**MACDOWELL RESIDENCE**  
**UNIT #3 RECONFIGURATION INTO BASEMENT**

**508 REMINGTON ST.**  
**FORT COLLINS, CO 80524**

B1913030

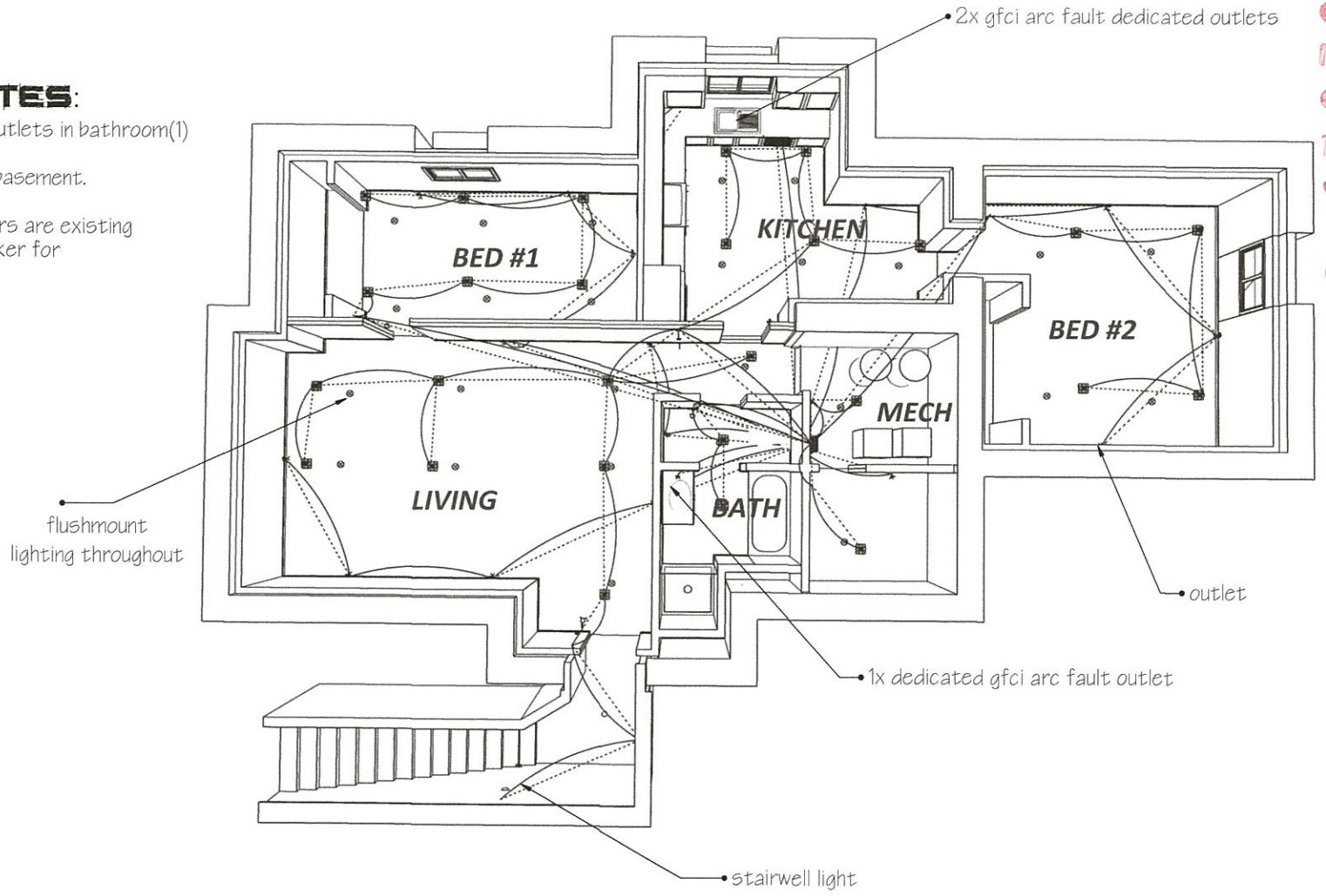


**MACDOWELL RESIDENCE**  
**UNIT #3 RECONFIGURATION INTO BASEMENT**

508 REMINGTON ST.  
FORT COLLINS, CO 80524

**GENERAL NOTES:**

- 1. Dedicated GFI ARC fault outlets in bathroom(1) and kitchen area(2)
- 2. Updated existing Panel in basement.
- 3. 12x 15AMP breakers
- 4. Furnaces and water heaters are existing
- 5. 1x dedicated 50AMP breaker for stove.



B1913030

**MACDOWELL RESIDENCE  
UNIT #3 RECONFIGURATION INTO BASEMENT**

508 REMINGTON ST.  
FORT COLLINS, CO 80524

October 3, 2014  
Revised: May 2, 2016

James MacDowell  
PO Box 145  
Mead, Colorado 80542

Subject: Egress Window Design  
508 Remington Street, Fort Collins, Colorado  
CTLJT Project Number: FC06453.001-501 L1

Dear Mr. MacDowell,

Per your request, we made an initial site visit to the residence referenced above on September 19<sup>th</sup>, 2014, and a follow up visit on April 11, 2016. You contacted us with the intention of increasing the width and depth of an existing egress window on the south side of the house in order to make it a door, and create a new egress window located along the north foundation wall in a future basement bedroom. Also, you would like to add a retaining wall around the door landing in order to get access to the proposed door by an exterior stairway.

### **Existing Information**

According to assessor records, the subject house is a two story residence with an unfinished basement. The house was built on a stacked stone foundation in 1889 and faces west towards Remington Street. There was a remodel addition added in 1965 that was built on a crawl space level, CMU foundation at the southeast of the original house. Brick siding makes up the exterior wall finish.

### **Observations**

There is an existing egress window on the south side of the existing house that is approximately 32" wide with a window well. Above the window opening there is an exterior stone lintel that spans completely over the existing opening. The first floor joists have been cut off and attached to a flush wood beam that spans past the existing opening. At the north side, there is no existing opening.

### **Conclusions and Recommendations**

In order to widen the existing egress window, the following changes are necessary:

1. Remove the existing flush header beam in the basement and install a new LVL header that spans past the proposed door opening, extend the new beam to the next joist in both directions. The new LVL shall bear on the existing sill plate (See attachment 1).
2. Sister a new LVL joist of the same depth as the existing joist and extend back a minimum of 48". Attach to existing joist with (2) 1/4" dia. x 3 1/2" Simpson SDWS screws at 12" O.C. (See attachment 1)
3. The existing exterior stone lintel shall have a minimum of 4" bearing on existing stone on either side. Therefore, the new opening must be cut to ensure this minimum bearing.

The location of the new egress window on the north basement wall is suitable to support an egress window. It must be located under the center of the 48" long foundation stone at the top of the wall. (See attachment 3).

Also, attached are details for the proposed retaining wall around the new stair landing.

01913030



## Limitations

Please note that removal of the foundation below the existing window will result in a loss of continuity of the foundation wall. Therefore, the potential for the differential settlement and related cracking is increased. You should understand and accept this risk before proceeding.

This report is based upon our site observations and our experience with projects of this type. Our observations were limited by the presence of backfill, wall and ceiling coverings, and other finishes. Unseen defects may exist which could affect the performance of the structure. We believe this investigation was conducted with the level of skill and care used by structural engineers practicing in this area at this time. No warranty, express or implied, is made.

Thank you for selecting CTL|THOMPSON for your engineering needs. When we can be of additional service, please contact the undersigned.

Very truly yours,  
**CTL|THOMPSON, INC.**



Nick Reuter, EI  
Staff Engineer

Wayne Thompson, PE  
Project Engineer

Attachments: (3)

1. Beam and joist detail for new opening
2. Retaining wall detail
3. New egress window detail

B1913030

SISTER A NEW LVL JOIST WITH A MINIMUM BACK SPAN OF 48". ATTACH TO EXISTING JOIST PER LETTER. NEW JOIST MUST BEAR ON SILL PLATE.

EXTEND NEW LVL TO DOUBLE JOIST AT EITHER SIDE OF OPENING.

CUT EXISTING JOIST AND ATTACH TO NEW FLUSH LVL WITH SIMPSON HANGER

NEW 2-PLY FLUSH LVL TO MATCH EXISTING JOIST DEPTH

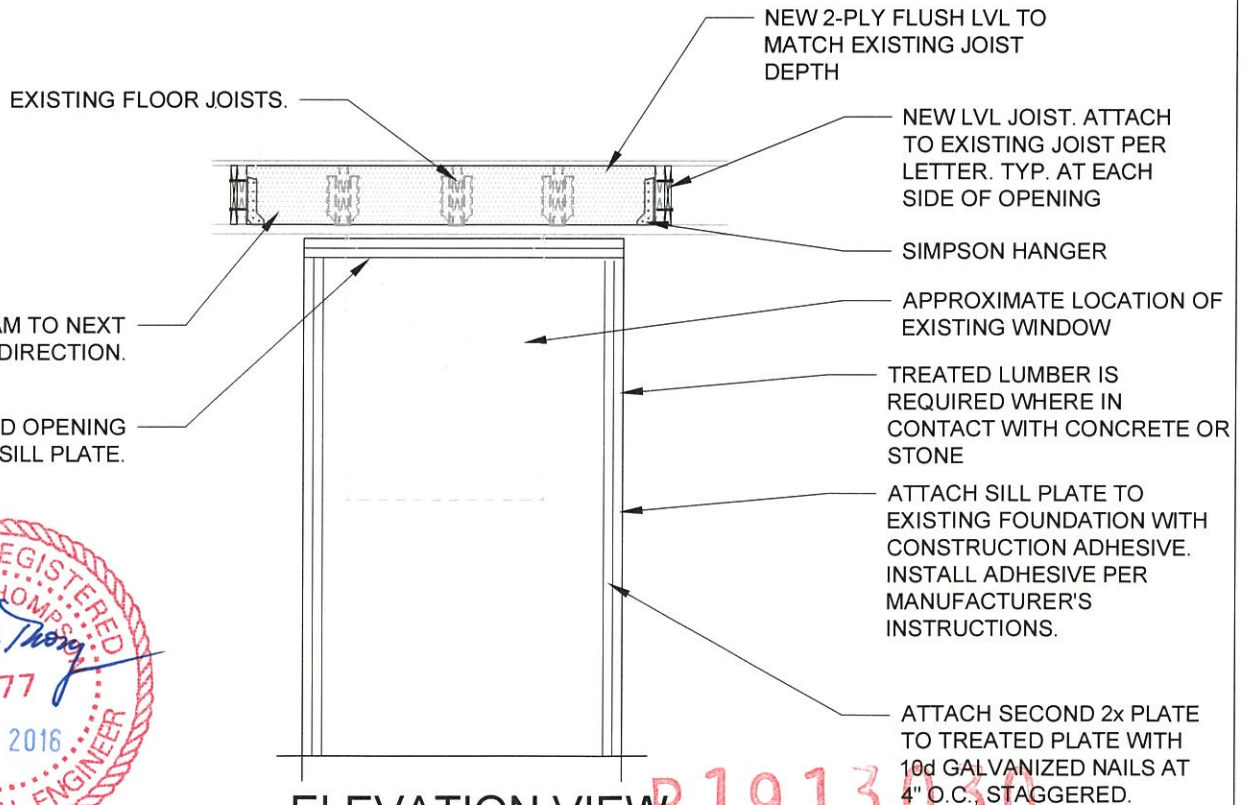
4'-0" MAX

4'-0"

CONCRETE RETAINING WALL PER SHEET 2.

### BEAM AND JOIST PLAN

SCALE 1/2" = 1'-0"



### ELEVATION VIEW

SCALE 1/2" = 1'-0"



B1913030

### BEAM AND JOIST DETAIL SOUTH OPENING

CLIENT: JAMES MACDOWELL  
 SITE: 508 REMINGTON ST. FORT COLLINS, CO.

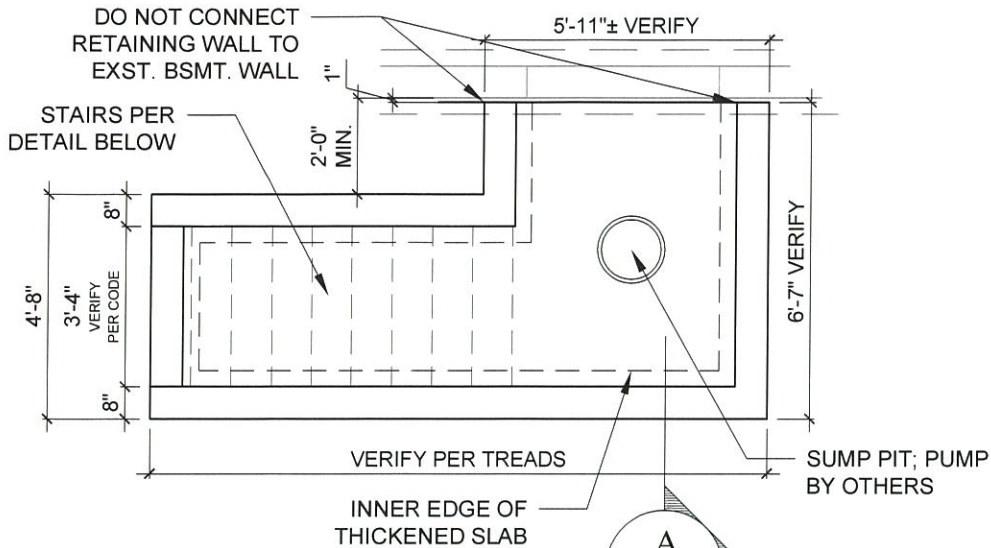


**CTL | THOMPSON**  
 STRUCTURAL ENGINEERS

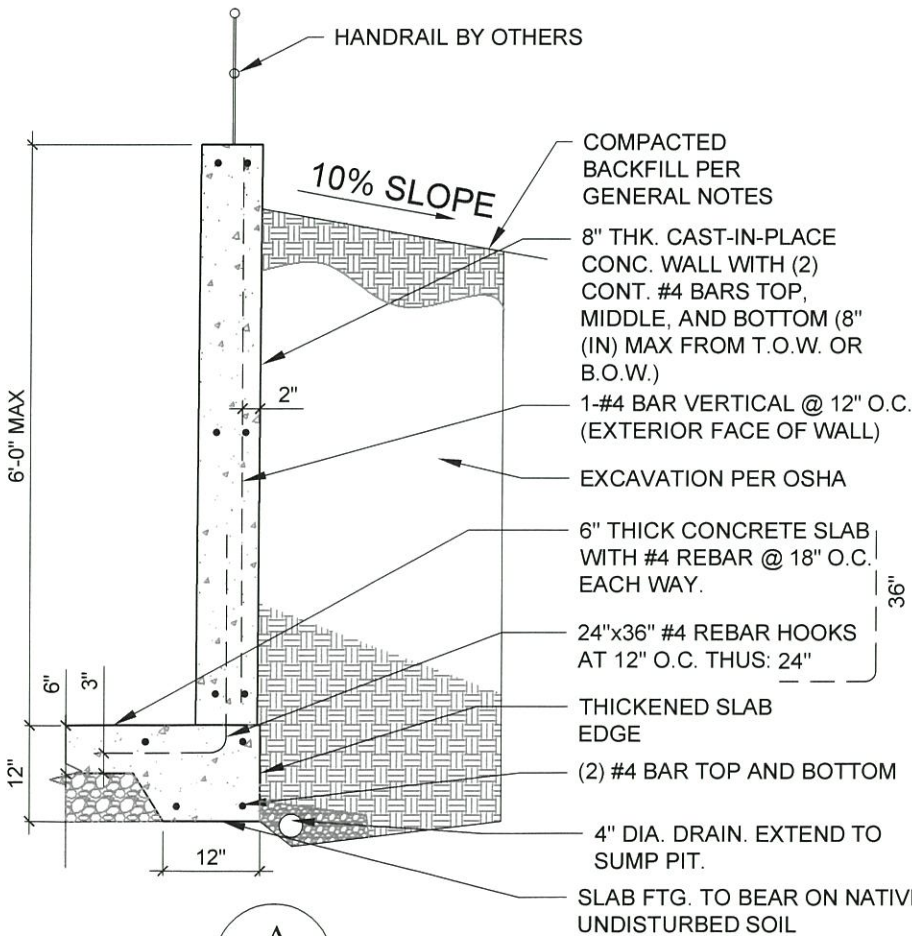
CTL | THOMPSON STRUCTURAL ENGINEERS FT COLLINS, LLC | P: 970-206-9455  
 400 North Link Lane, Fort Collins, CO 80524 | F: 970-206-9441

REVISED: MAY 2, 2016

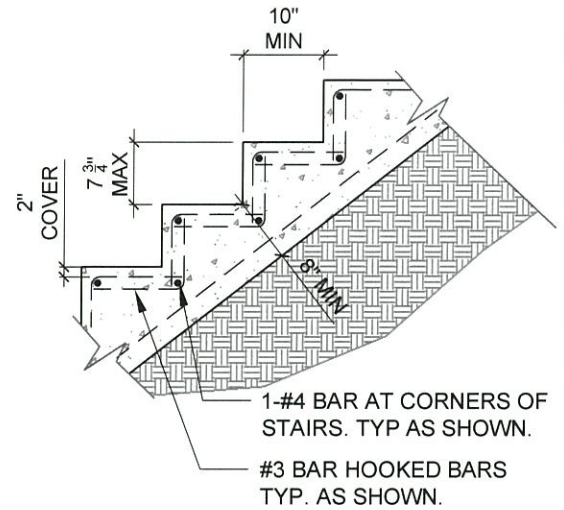
DRAWN: DES	SHEET
PROJECT # FC06453.001	1
DATE: 10.02.2014	OF
SCALE: NTS	3



**FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"



**A**  
**2** SCALE 1/2" = 1'-0"



**TYPICAL CONCRETE STAIR REINFORCING**



**B1913030**

**RETAINING WALL DETAIL**

**CLIENT:** JAMES MACDOWELL  
**SITE:** 508 REMINGTON ST.  
FORT COLLINS, CO.



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STRUCTURAL ENGINEERS

CTL | THOMPSON STRUCTURAL ENGINEERS FT COLLINS, LLC | P: 970-206-9455  
400 North Link Lane, Fort Collins, CO 80524 | F: 970-206-9441

REVISED: MAY 2, 2016

<b>DRAWN:</b>	<b>SHEET</b>
DES	2
<b>PROJECT #</b>	OF
FC06453.001	3
<b>DATE:</b>	
10.02.2014	
<b>SCALE:</b>	
NTS	



## General Notes:

### 1. Codes:

This plan was prepared based on the 2012 I-Codes with local amendments and portions of the most recent versions of ACI 360.

### 2. Materials:

This plan is based upon the following material properties:

**Concrete:** Concrete shall contain Type II cement, 6%+/-1.5% air entrainment, and a minimum 28 day compressive strength of 4000 psi for structural concrete.

**Reinforcing:** Reinforcing shall be deformed grade 60 steel unless noted otherwise (U.N.O.) on the plan and shall conform to ASTM A615. Minimum concrete cover shall be 2" (in) U.N.O. on the plan. Overlaps shall be 40 bar diameters but not less than 24" (in). Detail reinforcing bars in accordance to the ACI detailing manual and ACI code, latest edition. All wall reinforcement should be wired in place. Slab and footing reinforcement shall utilize chairs or other acceptable methods to achieve the required cross section location.

Provide 3" clear cover for rebar where concrete is cast on ground (bottom of footings / slabs).

**Exposed Surfaces:** Finish exposed surfaces per owner or owner's representative.

### 3. Wall Drain:

Drains behind walls shall be 4" diameter perforated pipe. Pipe may be rigid or flexible. Discharge pipe to sump pit. Provide gravel drainage bedding for drainage pipe.

### 4. Backfill:

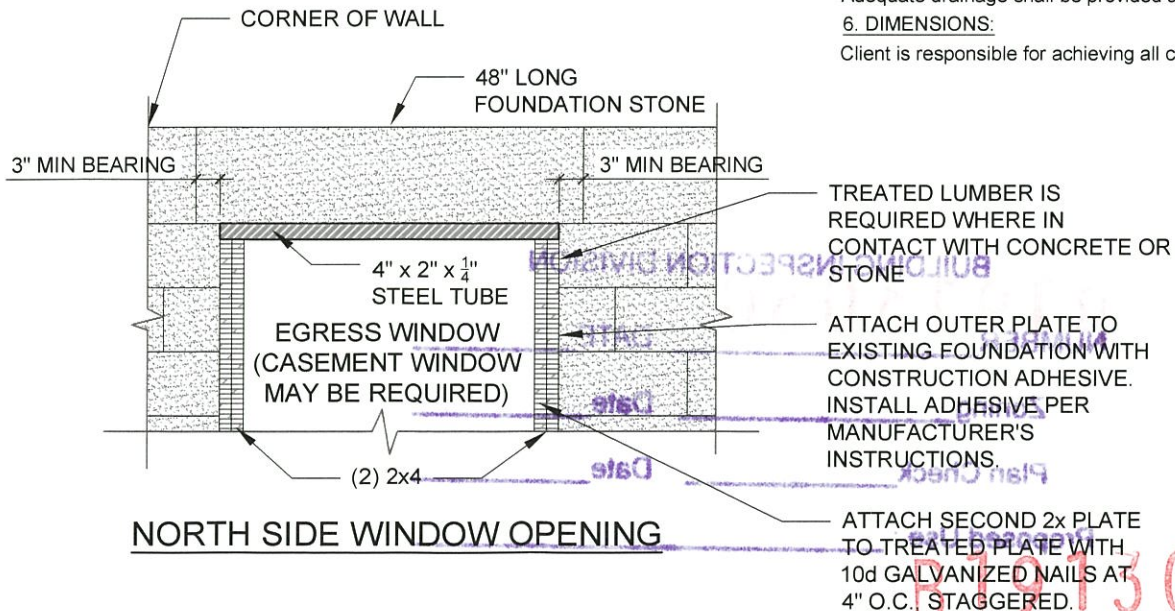
We recommend walls not be backfilled for a minimum of eight days after placement of concrete.

### 5. Drainage:

Adequate drainage shall be provided around the structure.

### 6. DIMENSIONS:

Client is responsible for achieving all code related dimensions.



## NEW EGRESS WINDOW DETAIL

**CLIENT:** JAMES MACDOWELL  
**SITE:** 508 REMINGTON ST.  
 FORT COLLINS, CO.



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CTL | THOMPSON STRUCTURAL ENGINEERS FT COLLINS, LLC | P: 970-206-9455  
 400 North Link Lane, Fort Collins, CO 80524 | F: 970-206-9441

REVISED: MAY 2, 2016

<b>DRAWN:</b> DES	<b>SHEET</b> 3
<b>PROJECT #</b> FC06453.001	
<b>DATE:</b> 10.02.2014	<b>OF</b> 3
<b>SCALE:</b> NTS	





## Design Review Application: Large Projects

Design review is a process used to examine projects in designated historic areas or properties for architectural design and compatibility with the nearby historic built environment. Applications submitted for design review must be accompanied with specific information which adequately describes or studies the proposal. To comply with the required submittal standards, submitted documentation shall clearly illustrated the existing conditions as well as any proposed alteration(s).

Submit this form, completed, with the required submittal documentation.

Project Address: \_\_\_\_\_

Designated Fort Collins Landmark       Listed on State Register/National Register of Historic Places

Applicant Name: \_\_\_\_\_

Email Address: \_\_\_\_\_

Phone number: \_\_\_\_\_

Owner Name: \_\_\_\_\_

Owner Email Address: \_\_\_\_\_

Owner Phone Number: \_\_\_\_\_

### The following attachments are REQUIRED:

- Complete Application for Design Review
- Detailed Scope of Work
- Color photos of existing conditions

Reminders:  
 Complete application would need all of checklist items as well as both pages of this document.

Detailed scope of work should include measurements of existing and proposed.

*Please note: if the proposal includes partial or full demolition of an existing building or structure, a separate demolition application will need to be approved.*

*Additional documentation may be required to adequately depict the project and its impact on a historic property or historic district, such as plans, elevations, window study, or mortar analysis. If there is insufficient documentation on the property, you could be required to submit an intensive-level survey form (at the applicant's expense).*



## Design Review General Application

This application should accompany your submittal of all the documents listed on the Design Review General Application Checklist. Failure to fill out these documents fully will result in delayed review.

Itemized List of Proposed Alterations (e.g. demolish rear porch; repair or replace windows)

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Materials of work (e.g. current/proposed materials of porch, windows, siding, roof, etc.)

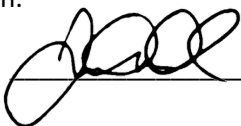
Be specific about materials. What kind of wood? Exposure of siding?

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Is any **partial or full demolition** required for work you are planning to do on this property?

Partial demolition could include scopes such as taking off existing rear porches to create space for a new addition or removing an existing wall or demolishing a roof. If you are taking away pieces of the existing residence, you are likely undergoing some partial demolition.

By signing below, I attest that no additional exterior work, siding replacement, or window replacement will occur under this application.

Applicant Signature:  \_\_\_\_\_ Date: \_\_\_\_\_





## Jim Bertolini

---

**From:** James MacDowell <james.macdowell@gmail.com>  
**Sent:** Friday, October 18, 2019 10:56 AM  
**To:** Jim Bertolini  
**Cc:** bill.warren@nationalinspection.net  
**Subject:** Re: B1913030 - COA application for Basement exterior elements - 508 Remington St

Hi Jim, sorry for the slow reply.

That is correct - we are proposing to use a steel safety stair instead of concrete. When I presented this to the LPC, they indicated that what they didn't want to happen, was to approve the stairwell, and then have me later seek to add an awning because of slip hazards on concrete stairs. So the substitution of the steel stair is meant to reduce that risk.

Please let me know if this is satisfactory or anything else needed here.

thanks,  
**James MacDowell**  
(720) 675-9381

On Tue, Oct 15, 2019 at 11:00 AM Jim Bertolini <[jbertolini@fcgov.com](mailto:jbertolini@fcgov.com)> wrote:

Thanks James! Quick question: you mentioned over the phone that you might be going for a steel stair rather than the concrete on the south side – is that still the case. I don't expect that would be an issue either way but wanted to make sure a COA covers the work accurately. Cheers!

**JIM BERTOLINI**  
Pronouns: he/him/his

Historic Preservation Planner

Community Development & Neighborhood Services  
281 North College Avenue  
970-416-4250 office  
[jbertolini@fcgov.com](mailto:jbertolini@fcgov.com)

---

**From:** James MacDowell <[james.macdowell@gmail.com](mailto:james.macdowell@gmail.com)>  
**Sent:** Thursday, October 10, 2019 5:03 PM  
**To:** Jim Bertolini <[jbertolini@fcgov.com](mailto:jbertolini@fcgov.com)>  
**Cc:** [bill.warren@nationalinspection.net](mailto:bill.warren@nationalinspection.net)  
**Subject:** Re: B1913030 - COA application for Basement exterior elements - 508 Remington St

Hi Jim

Please find completed application and photos attached (with clear view of new North egress window location). Please let me know anything else you need. Thanks!

best,

**James MacDowell**

(720) 675-9381

On Tue, Oct 8, 2019 at 10:29 AM Jim Bertolini <[jbertolini@fcgov.com](mailto:jbertolini@fcgov.com)> wrote:

James,

Thanks for your call today to clarify. One of the caveats to Chapter 14, Article IV is that staff and LPC decisions are only valid for one year (and an additional year with a request for extension). The main reason for that is that after that much time has expired, circumstances may have required adjustments to a project. With that in mind, it will be necessary to re-file the design review request (I've reattached the forms for you if you need them).

Since you've already been through design review four years ago, for the elements already reviewed by the LPC, I'll just check the engineered drawings submitted on Friday against the presented materials from 2015 to make sure they're consistent, and if so, we should be able to provide a staff approval for those items quickly. I know you mentioned the location is obscured, but if you could attach an exterior photograph of the location on the north elevation of the building where you intend to expand the existing egress window, that would help. Also, on the application, please be sure to describe existing materials and your selected materials for the new egress window. Please let me know if you have other questions. Thanks!

**JIM BERTOLINI**

Pronouns: he/him/his

Historic Preservation Planner

Community Development & Neighborhood Services

281 North College Avenue

970-416-4250 office

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**From:** Jim Bertolini  
**Sent:** Monday, October 7, 2019 5:31 PM  
**To:** James MacDowell <[james.macdowell@gmail.com](mailto:james.macdowell@gmail.com)>  
**Cc:** [bill.warren@nationalinspection.net](mailto:bill.warren@nationalinspection.net)  
**Subject:** B1913030 - COA application for Basement exterior elements - 508 Remington St

Mr. MacDowell,

I am reaching out regarding your contractor's building permit request for a basement finish for the property at 508 Remington Street. This is a City Landmark so under Municipal Code Chapter 14, [Article IV](#), exterior alterations must receive a Certificate of Appropriateness before they can move ahead to confirm that alterations to City Landmarks meet adopted preservation standards (the [Secretary of the Interior's Standards for the Treatment of Historic Properties](#)). I have record that you reached out about this item earlier this year and spoke with Maren Bzdek but it doesn't look like we ever issued the Certificate of Appropriateness (COA) for the work.

If you could fill out the attached Design Review application (PDF and Word formats depending on your preference) and attach the required materials (photos of the proposed work area, plans or drawings for the exterior stair and egress window, if you have them, etc.), that would be excellent and we'll try to get this processed ASAP. If you have questions, please don't hesitate to contact me at the information below. Cheers!

**JIM BERTOLINI**

Pronouns: he/him/his

Historic Preservation Planner

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