

From: Tony Campana
To: [Jim Bertolini](mailto:Jim.Bertolini)
Subject: Re: Status update - 151 S. College (B1913209)
Date: Tuesday, November 12, 2019 2:41:06 PM

Thanks Jim, we will get the show on the road.

On Tue, Nov 12, 2019 at 2:22 PM Jim Bertolini <jbertolini@fcgov.com> wrote:

Tony,

Thanks for your patience. Due to the unexpected delay on the survey form, preservation staff reviewed your project with what information we had available about the history of the building. Based on that review, we released the historic review hold on your building permit for this project, with the comment below made:

Unexpected delay in historic survey to determine eligibility. Project reviewed by staff based on currently available information.

Door and window assemblies at street level appear to be already reconfigured. Proposed alteration should not diminish other remaining features of building that may be historic (pending survey completion). If scope of proposed exterior work needs to expand beyond windows and doors, specifically on the canopy, pillars, or the wall face above, please consult with preservation staff.

If you have questions, please let me know. I'll transmit a copy of the historic survey for this building to you and the building owners once it's complete.

JIM BERTOLINI

Pronouns: he/him/his

Historic Preservation Planner

Community Development & Neighborhood Services
281 North College Avenue
970-416-4250 office
jbertolini@fcgov.com

From: Tony Campana <tony@the100octane.com>
Sent: Friday, November 8, 2019 12:02 PM

To: Jim Bertolini <jbertolini@fcgov.com>
Subject: Re: Status update - 151 S. College

Thanks for the update Jim And thank you for all your help on this matter

Sent from my iPhone

On Nov 8, 2019, at 11:40 AM, Jim Bertolini <jbertolini@fcgov.com> wrote:

Tony,

Thanks for your call this week. I was able to connect with the third party surveyor assigned to your building, Jason Marmor. Unfortunately our third-party surveyors having gotten several requests from us for individual surveys recently – Jason is running behind and our other options are booked out a few weeks. I'll be meeting with Karen and Maren on Tuesday morning and we'll see if we can complete a review for you without the form – not ideal without a clearer historical perspective on the building's significance but considering the potential delay otherwise, we'd like to get you moving. We'll still have Jason complete the form so it's on file for future reference on permit applications. Thank you for your patience and please expect a response from me on Tuesday, 11/12.

JIM BERTOLINI

Pronouns: he/him/his

Historic Preservation Planner

Community Development & Neighborhood Services

[City of Fort Collins](#)

281 North College Avenue

970-416-4250 office

jbertolini@fcgov.com

<image001.png>

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Tony Campana CEO

GENERAL NOTES

1. THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE DESIGNER ANY DISCREPANCIES, INCONSISTENCIES, OR OMISSIONS DISCOVERED.
2. ALL WORK AND MATERIALS ARE TO COMPLY IN EVERY RESPECT WITH THE LATEST REQUIREMENT OF ALL APPLICABLE CODES, LAWS, ORDINANCES, STATUTES, REGULATIONS, AND THE DIRECTION OF THE BUILDING INSPECTORS. REGULATION AND DIRECTIONS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS, EXCEPT WHERE EXCEEDED HEREIN.
3. THE DRAWINGS INDICATE LOCATIONS, DIMENSIONS, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. WORK NOT EXPRESSLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION.
4. DO NOT SCALE THE DRAWINGS.
5. ALL MATTERS RELATED TO COLOR, TEXTURE, DESIGN, AND INTERPRETATION OF PLANS SHALL BE REFERRED BY CONTRACTOR TO THE OWNER.
6. SITE BOUNDARY LINES, BOUNDARY DIMENSIONS, BOUNDARY DECLINATIONS, AND EXISTING GRADES WERE PROVIDED BY THE OWNER FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED AND VERIFIED THE ACTUAL GRADES, LEVELS, DIMENSIONS, AND DECLINATIONS AND THE TRUE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
7. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL TO THE OWNER. APPROVAL OF SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS OR OMISSIONS CONTAINED WITHIN SUBMITTED DRAWINGS. APPROVAL IS FOR CONFORMANCE WITH THE DESIGN INTENT ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING.
9. ALL RELOCATION OF EXISTING ELECTRICAL, AND PLUMBING TO BE DESIGN BUILD BY THE SELECTED SUBCONTRACTOR. SEE SHEET A1.0 FOR SCHEMATIC OUTLET LOCATIONS. WORK TO INCLUDE RELOCATION OF EXISTING FIXTURES ONLY, NO NEW FIXTURES PROPOSED. DESIGN BUILD NOTES AS FOLLOWS:

EXISTING ELECTRICAL RELOCATION MAY BE NECESSARY. WORK MUST CONFORM TO 2017 NEC AND LOCAL AMENDMENTS. PROVIDE EXIT SIGNAGE AND EMERGENCY LIGHTING AS REQUIRED BY CODE. SUBCONTRACTOR TO VERIFY LOCATION OF ALL ROUGHED-IN OUTLETS/ DATA/ LIGHTING/ SWITCHES/ BOXES WITH CLIENT PRIOR TO INSTALLING CONDUIT OR GYP BOARD FINISHES.

ALL PLUMBING SYSTEM RELOCATION SHALL BE SUBJECT TO APPROVAL BY THE OWNER AND IS REQUIRED TO MEET THE PROVISIONS OF THE 2018 IPC WITH LOCAL AMENDMENTS. ALL VENT PIPING SHALL BE INTERCONNECTED IN ATTIC SPACES WHERE POSSIBLE TO MINIMIZE ROOF PENETRATIONS. NO VENT PIPING PENETRATIONS IN STANDING SEAM METAL ROOFS. IF NECESSARY, ALL NEW WATER HEATERS SHALL COMPLY WITH IECC C404.4 & TABLE C403.2.10.

CODE ANALYSIS

- 2018 IBC WITH LOCAL AMENDMENTS
- 2018 IMC WITH LOCAL AMENDMENTS
- 2018 IPC WITH LOCAL AMENDMENTS
- 2017 NEC
- 2018 IECC
- 2018 IFC
- NFPA 18

CORE AND SHELL CONSTRUCTION TYPE:
TYPE III-B FULLY SPRINKLERED

OCCUPANCY TYPE: A-2
OCCUPANT LOAD: 7,873 SF / 15 GROSS = 525 OCCUPANTS

501 - 1,000 OCCUPANTS = 3 EXITS REQUIRED

MIN. WIDTH OF EXITS = 48"

DISTANCE TO EXITS WITH SPRINKLER = 250' MAX

LONGEST TRAVEL DISTANCE ON ANY FLOOR TO EXIT ENCLOSURE IS APPROX. 155'

SYSTEM NOTES

- (W1) exist, demising wall to remain provide Level 5 smooth finish as needed, 1 coat of primer and 2 coats of eggshell low voc acrylic latex paint, Sherwin Williams 'Pure White' SW7005, or as specified by owner. Finish to existing roof deck or ceiling tile.
- (W2) new partition wall to ceiling or underside of roof trusses above provide 2x4 wood or 25 ga. 3-1/2" mt stud framing at 16" o.c. with 5/8" gyp. board on both sides of wall with Level 5 smooth finish, 1 coat of primer and 2 coats of eggshell low voc acrylic latex paint, Sherwin Williams 'Pure White' SW7005, or as specified by owner. partition wall to extend to underside of roof trusses, U.N.O. Provide drywall L-bead at top of wall.
- (W3) new partition sound wall provide 2x4 wood or 25 ga. 3-1/2" mt stud framing at 16" o.c. with 3-1/2" sound batt insulation and 5/8" gyp. board on both sides of wall with Level 5 smooth finish, 1 coat of primer and 2 coats of eggshell low voc acrylic latex paint, Sherwin Williams 'Pure White' SW7005, or as specified by owner. Provide drywall L-bead at top of wall.
- (WF1) provide hard surface wall covering at wet wall restroom areas as described in plan to 48" AFF. provide 3x6 subway tile in brickset pattern with the cove base at floor, or as specified by owner. tile and grout color as specified by owner.
- F1 flooring per owner spec
- F2 flooring per owner spec
- RB1 rubber covered base trim throughout, or as specified by owner

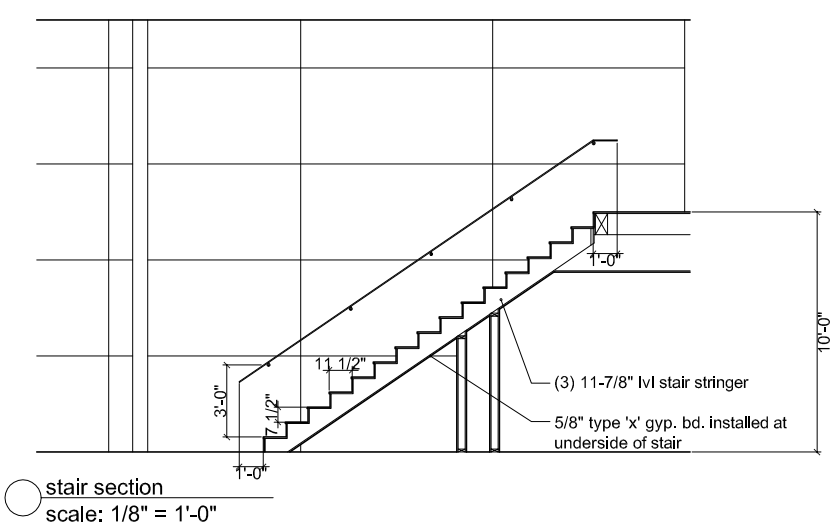
GENERAL FINISH NOTES

1. Protect all surfaces during construction, including but not limited to: concrete flooring, walls, doors, etc.
2. All exposed surfaces including walls above 18" shall be painted matte black, or as specified by owner.
3. Coordinate with tenant for all blocking required for equipment.
4. Tenant to provide all furniture and equipment, unless noted otherwise.
5. All ceilings to be open rafter, painted black. New ceilings at restrooms to be gyp. board with epoxy paint finish.
6. Remove all debris to provided trash receptacle during construction. Thoroughly clean all surfaces after construction.
7. All work shall be performed in a workmanlike manner, with quality equal to or above accepted industry standards.

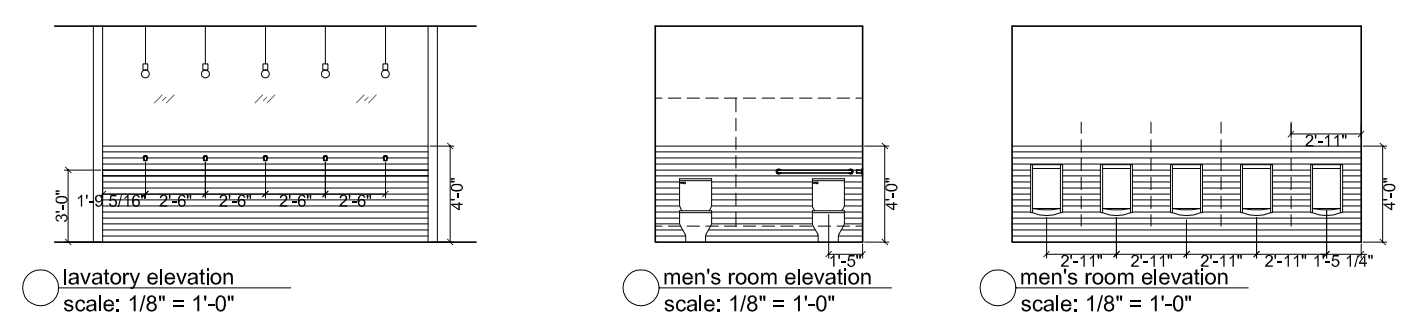
EQUIPMENT NOTES

all equip. below existing/ relocated unless noted otherwise

- 1 single convection oven
- 2 4-burner gas range
- 3 dish drying table
- 4 wall mounted hand sink
- 5 (e) True 60"x36" sandwich maker
- 6 (e) 24" corner unit dishwasher
- 7 (e) 3-compartment sink with 24" drainboards
- 8 (e) water heater
- 9 mop sink
- 10 floor sink
- 11 ice bin
- 12 ice-o-matic ice maker



stair section scale: 1/8" = 1'-0"

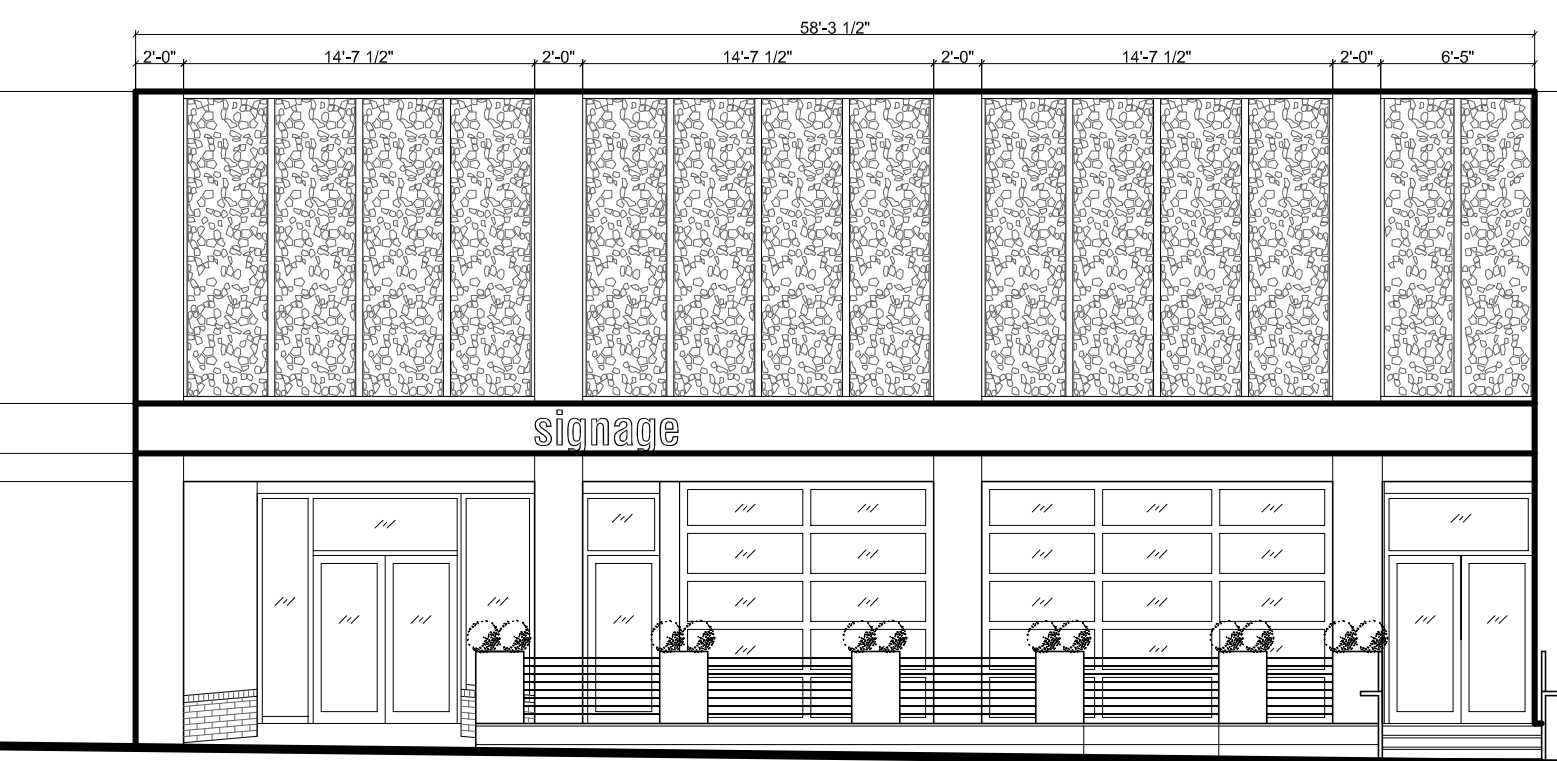


lavatory elevation scale: 1/8" = 1'-0"

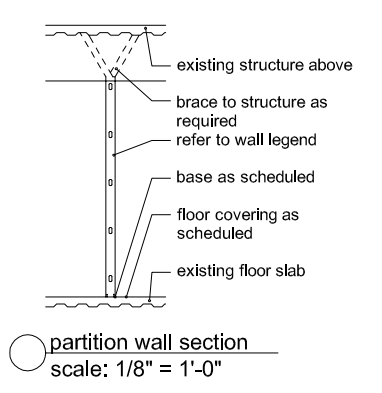
men's room elevation scale: 1/8" = 1'-0"

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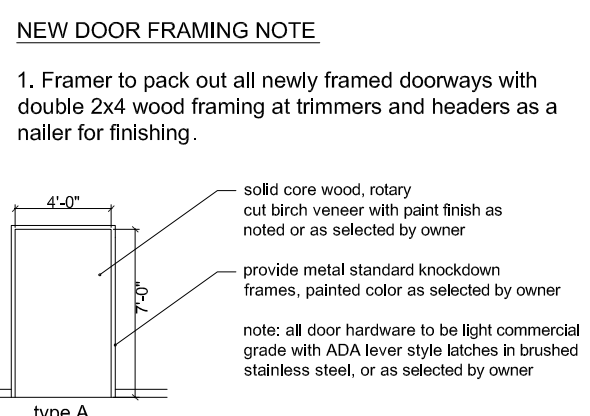
women's room elevation scale: 1/8" = 1'-0"



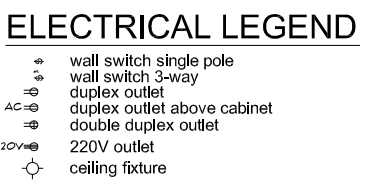
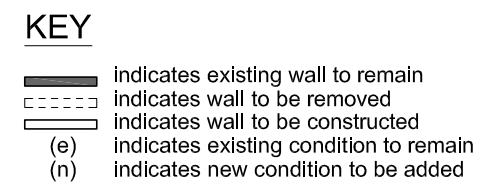
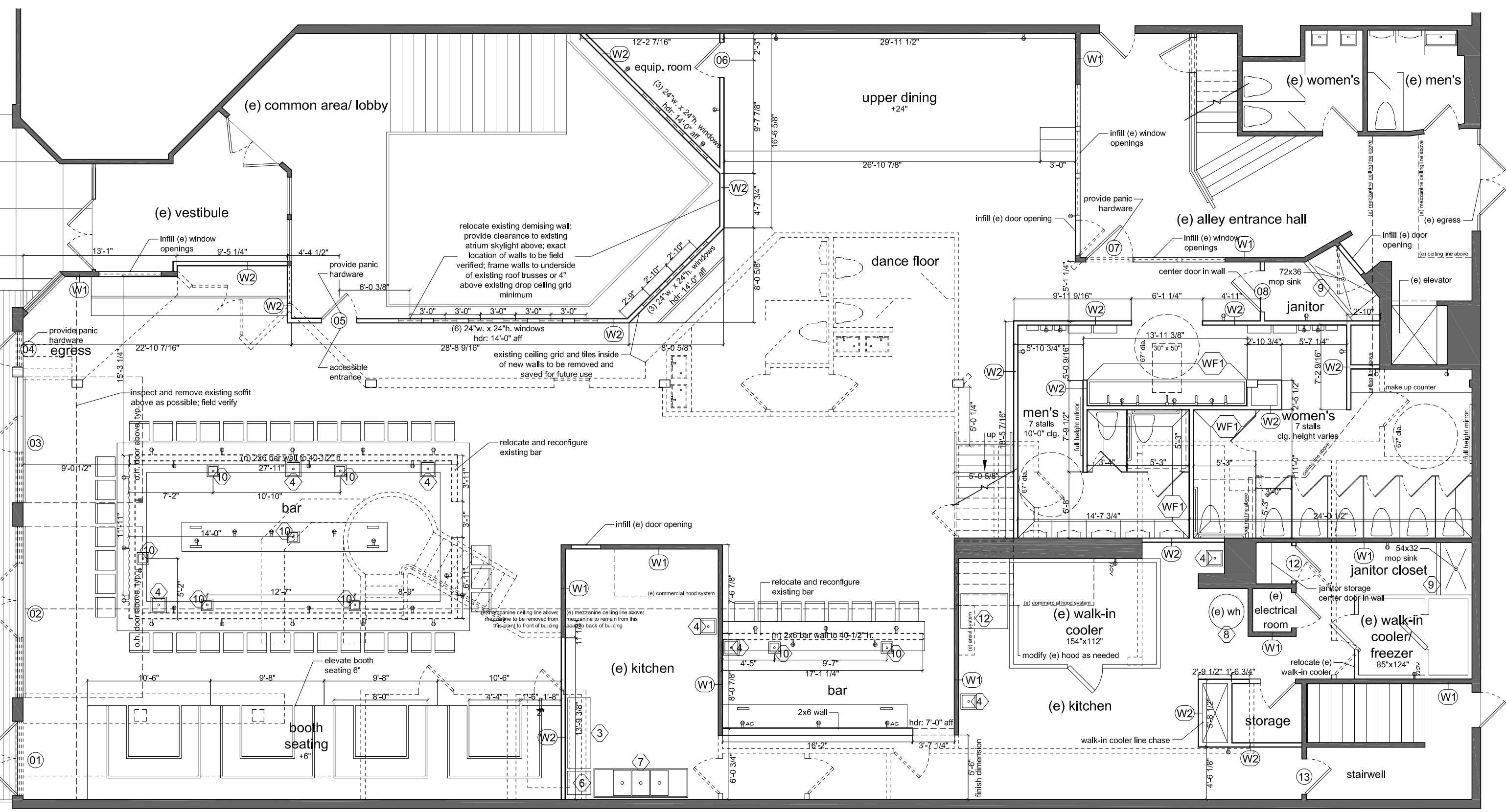
front elevation scale: 1/8" = 1'-0"



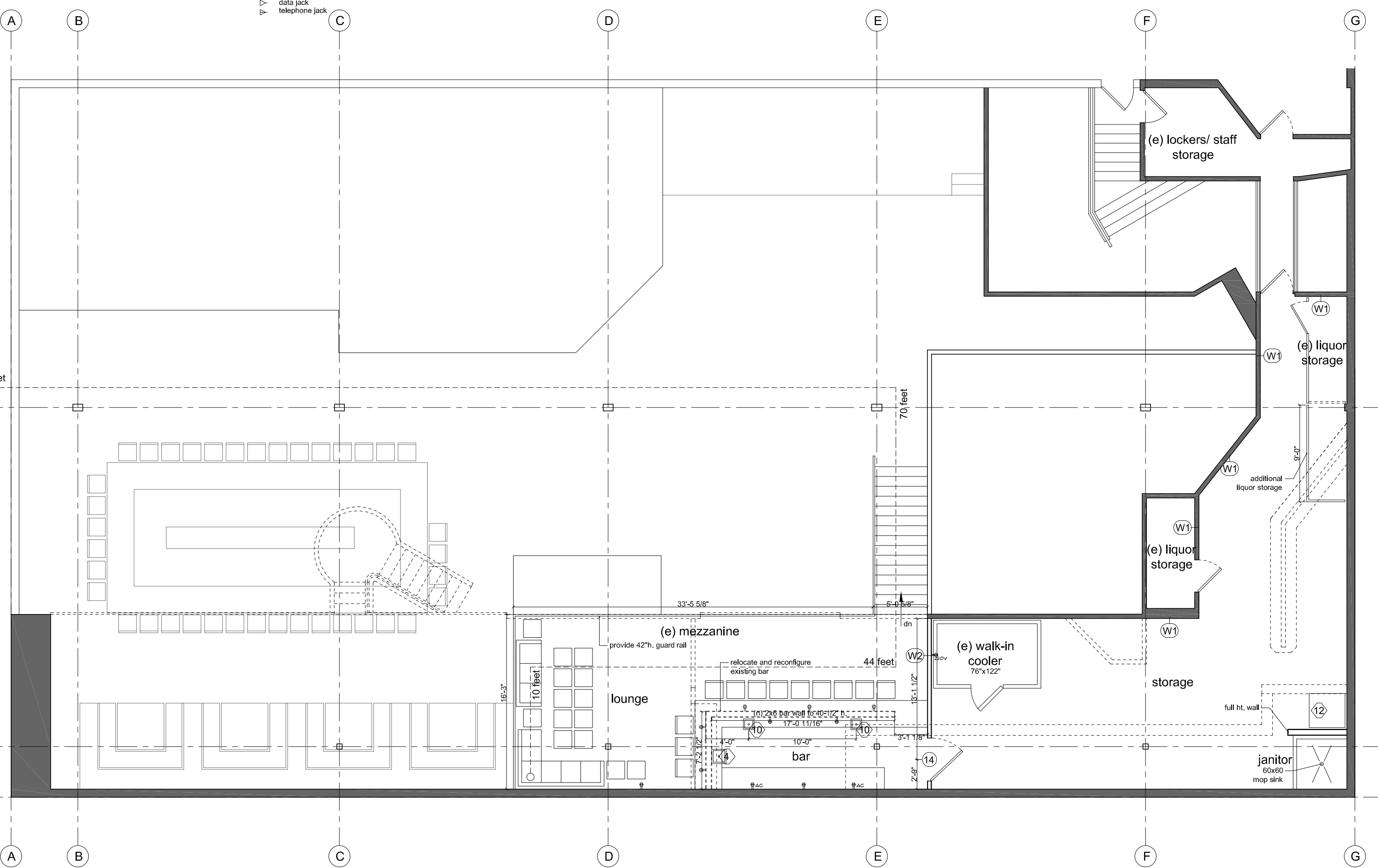
partition wall section scale: 1/8" = 1'-0"



type A



proposed main level floor plan scale: 1/8" = 1'-0" main level: 6,126 sf



proposed mezzanine floor plan scale: 1/8" = 1'-0" main level: 1,747 sf

#	SIZE	MATERIAL	Type	FINISH	FRAME MATERIAL	COMMENTS
01	6'-0" x 7'-0" x 1-3/4"	Storefront	-	Powder coat or anodized finish or by owner	Metal	Entry; provide panic hardware
02	14'-7" x 10'-0" x 1-3/4"	Metal Glass	-	Powder coat or anodized finish or by owner	-	Overhead door
03	10'-0" x 10'-0" x 1-3/4"	Metal Glass	-	Powder coat or anodized finish or by owner	-	Overhead door
04	3'-0" x 7'-0" x 1-3/4"	Storefront	-	Powder coat or anodized finish or by owner	Metal	Entry; provide panic hardware
05	4'-0" x 7'-0" x 1-3/4"	S.C. Wd Flush Panel	A	Paint or stain finish, or by owner	Metal	Re-use (e) door; panic hardware
06	3'-0" x 7'-0" x 1-3/4"	S.C. Wd Flush Panel	A	Paint or stain finish, or by owner	Metal	Entry lockset
07	4'-0" x 7'-0" x 1-3/4"	S.C. Wd Flush Panel	A	Paint or stain finish, or by owner	Metal	Entry; provide panic hardware
08	3'-6" x 7'-0" x 1-3/4"	S.C. Wd Flush Panel	A	Paint or stain finish, or by owner	Metal	Entry lockset
11	3'-0" x 7'-0" x 1-3/4"	S.C. Wd Flush Panel	A	Paint or stain finish, or by owner	Metal	Passage handle set
12	3'-0" x 7'-0" x 1-3/4"	S.C. Wd Flush Panel	A	Paint or stain finish, or by owner	Metal	Passage handle set
13	3'-0" x 7'-0" x 1-3/4"	S.C. Wd Flush Panel	A	Paint or stain finish, or by owner	Metal	Passage handle set
14	4'-0" x 7'-0" x 1-3/4"	S.C. Wd Flush Panel	A	Paint or stain finish, or by owner	Metal	Passage handle set

proposed remodel floor plan
 151 south college avenue
 fort collins, co 80524

date:
 d.d. set
 08.28.2019
 permit set
 09.11.2019
 permit set v.2
 09.26.2019

sheet:
A1.0

wrkshp inc.