



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue

P.O. Box 580

Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS

ISSUED: August 11, 2020

EXPIRATION: August 11, 2021

Robert & Sally Linton
1501 Peterson St.
Fort Collins, CO 80524

Dear Mr. and Mrs. Linton:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the Crane Property at 1501 Peterson Street have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Addition onto south elevation of c.2001 garage addition.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I may be reached at jbertolini@fcgov.com or 970-416-4250.

Sincerely,

Jim Bertolini
Historic Preservation Planner

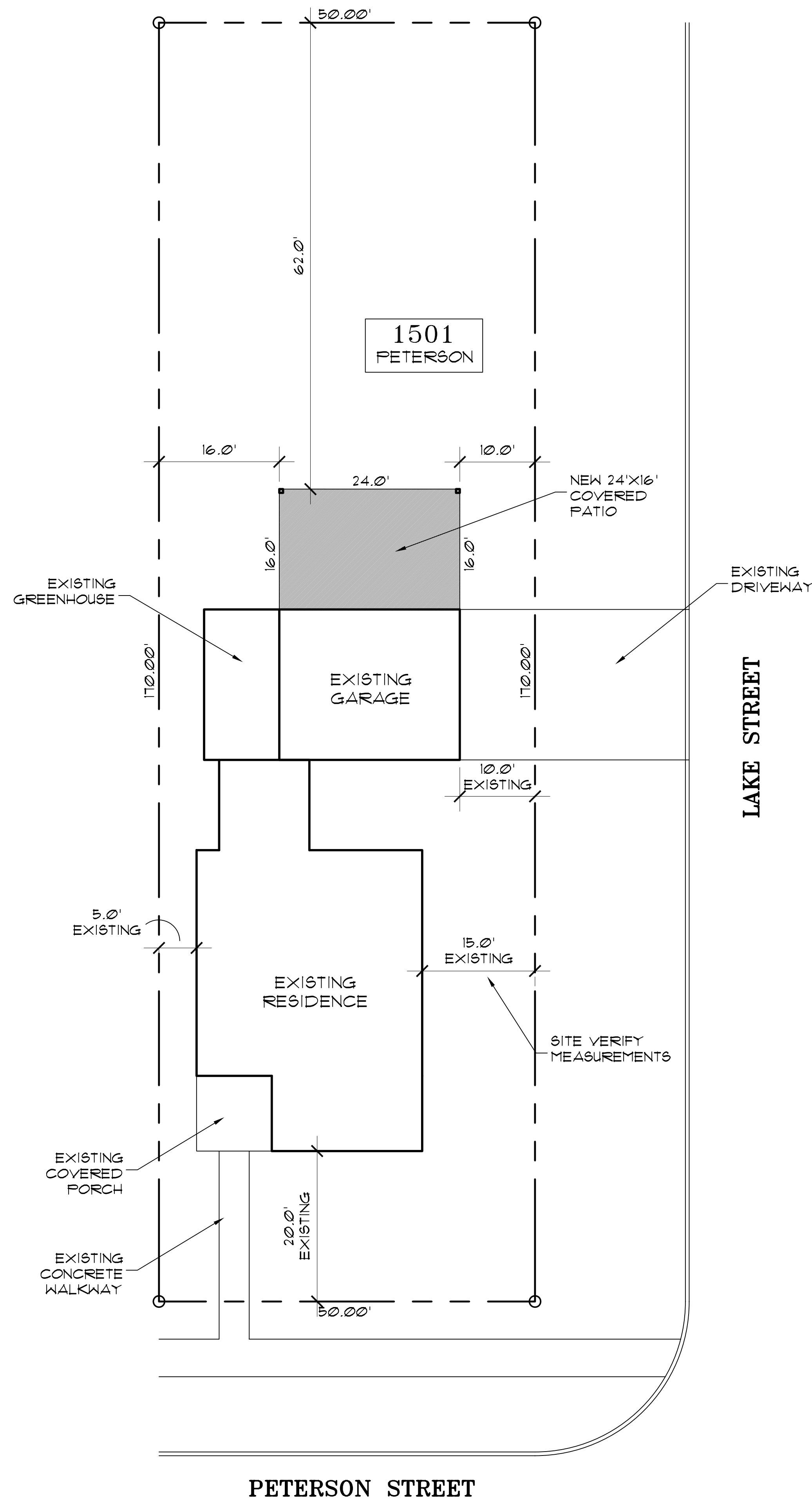
Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>The addition is a relatively small covered patio addition to a non-historic garage. The existing garage does convey a stylistic connection to the primary historic house via a pyramidal roof that would be altered by extending the hipped-roof on the garage to the west. However, this addition will not affect the historic house, is not affecting any historic landscape features, and the modification to the non-historic addition will not significantly detract from the historic building.</p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>The new patio is compatible with the 2001 garage and the overall property, but both are clearly distinguishable as new construction.</p>	Y
SOI #4	<i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i>	N/A
SOI #5	<i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i>	N/A
SOI #6	<i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i>	N/A
SOI #7	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>Excavation depth for new pavers and pier footings is too shallow for archaeological discoveries to be likely.</p>	N/A

<p>SOI #9</p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>The garage addition was constructed in 2001 prior to the property being Landmarked. It is generally compatible with the design of the historic house facing Peterson Street. The patio addition onto the non-historic garage is on a secondary elevation, extends the hipped roof of the 2001 garage to the west allowing the garage addition to retain its design compatibility with the historic building, and will have an overall minimal effect on the property. The overall garage addition is clearly distinguished from the historic house as new construction through the use of modern fenestration and garage doors.</p>	<p>Y</p>
<p>SOI #10</p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>The patio addition is being made onto the garage which is a non-historic feature and is reversible without affecting the historic building.</p>	<p>N/A</p>









SITE NOTES

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CONTRACTOR TO VERIFY HORIZONTAL PLACEMENT AND FINISH FLOOR ELEVATIONS WITH OWNER PRIOR TO EXCAVATIONS.

CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK. SHOULD ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR, NOTIFY THE DESIGNER IMMEDIATELY.

(T.O.F.) INDICATES MINIMUM TOP OF FOUNDATION.

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AN OPEN HOLE INSPECTION PERFORMED BY A LICENSED CIVIL ENGINEER IS HIGHLY RECOMMENDED TO VERIFY THAT SOILS ENCOUNTERED MATCHES THAT DESCRIBED IN THE SOILS REPORT.

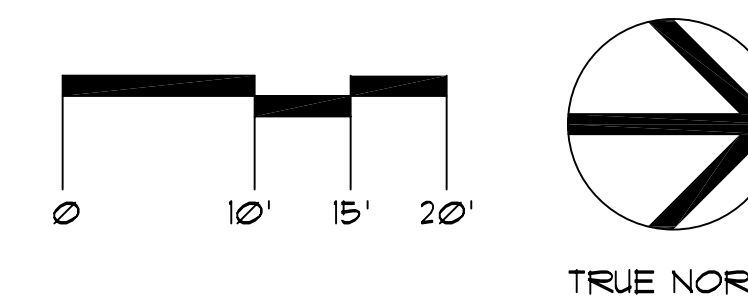
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THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.



1 SITE PLAN
1" = 10'-0"

DATE	ISSUE/REVISION
06-16-20	ISSUED FOR PERMIT



STUDIOGDESIGN.LLC.COM
970-584-8471
SE HABLA ESPAÑOL

NEW PATIO COVER:
LINTON RESIDENCE
1501 PETERSON STREET
FORT COLLINS, COLORADO

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DESIGN BY:	MR. GOMEZ
CHECKED BY:	J.C. GOMEZ

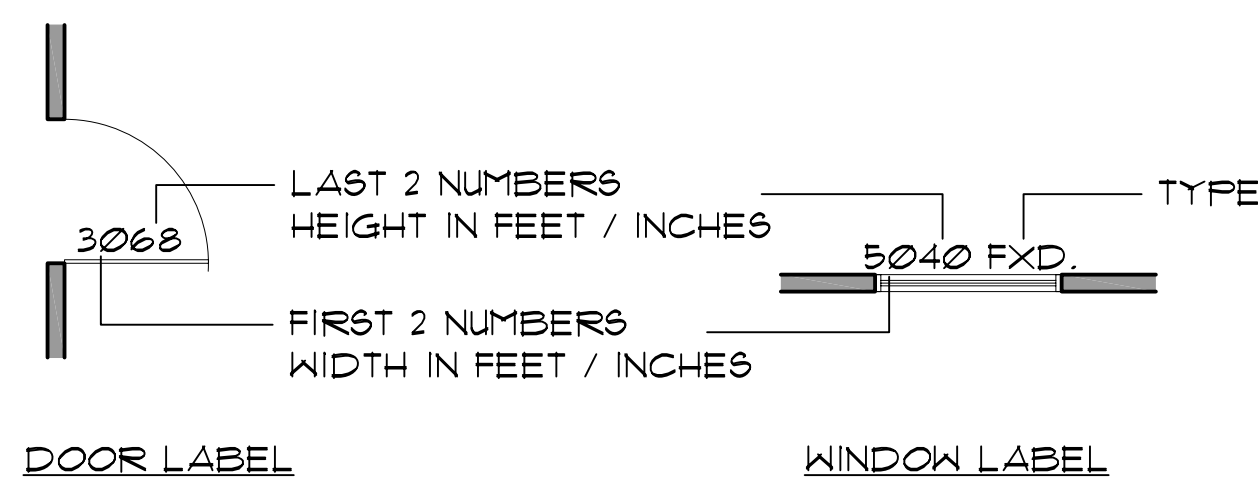
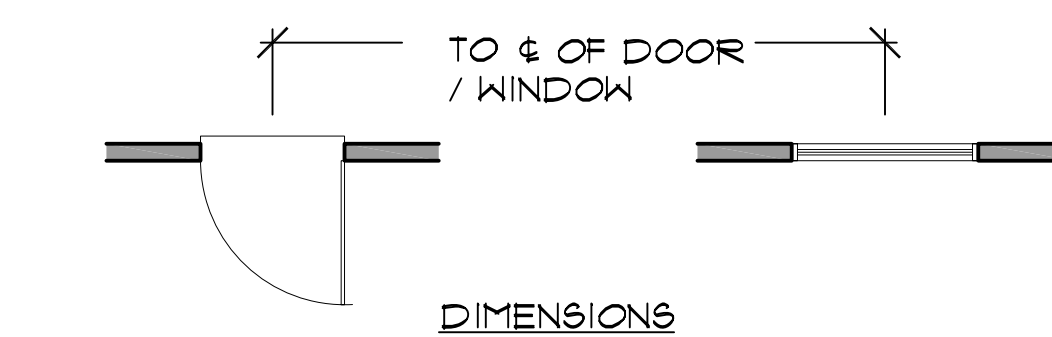
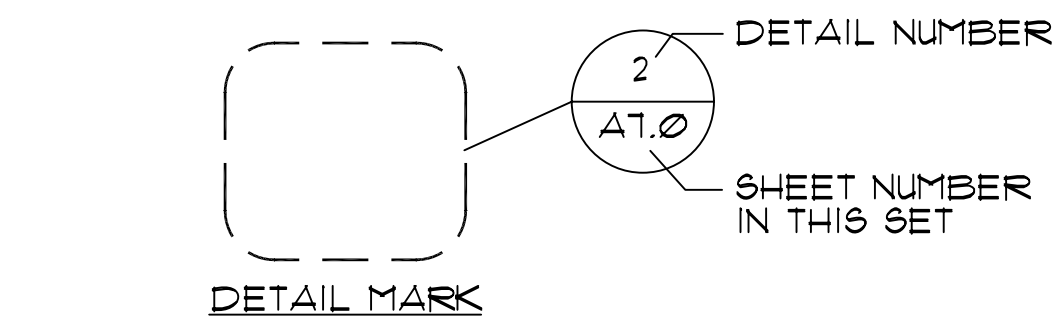
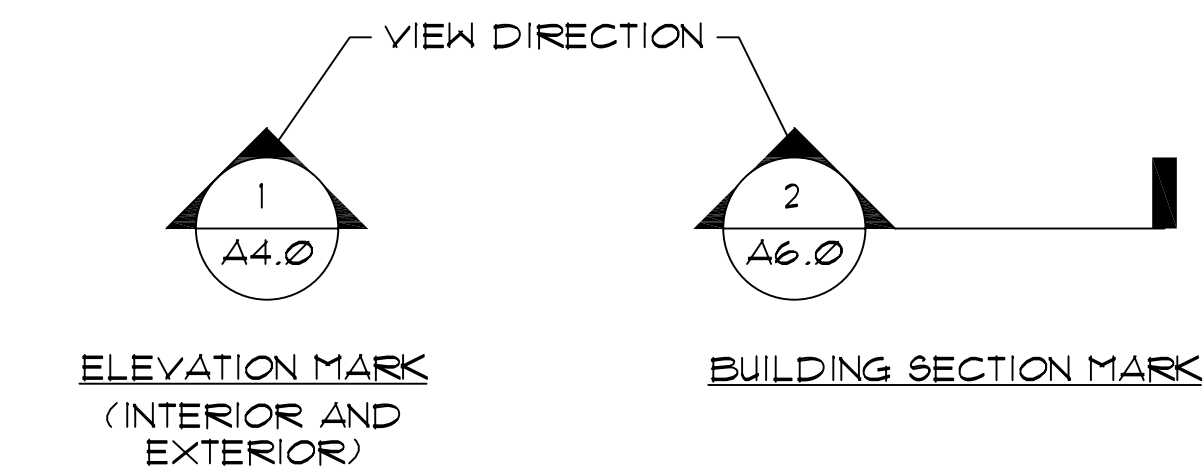
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PATIO COVER FOR:

1501 PETERSON STREET

FORT COLLINS - COLORADO

SYMBOLS LEGEND



ABBREVIATIONS

AB	ANCHOR BOLT	FF	FINISHED FLOOR
ADJ	ADJUSTABLE	FLR	FLOOR
BLDG	BUILDING	FT	FEET
BLK	BLOCK	GA	GAUGE
BM	BEAM	ML	MICRO-LAM
CAB	CABINET	MTL	METAL
¢	CENTER LINE	OC	ON CENTER
CLG	CEILING	OHG	OVERHEAD CABINET
CLR	CLEAR	TP	TOP PLATE
CMU	CONC. MASONRY UNIT	PT	PRESSURE TREATED
CONC	CONCRETE	RAD	RADIUS
CONT	CONTINUOUS	R&S	ROD AND SHELF
DBL	DOUBLE	SIM	SIMILAR
DIA	DIAMETER	SQ	SQUARE
DN	DOWN	STL	STEEL
DWG	DRAWING	TOP	TOP OF FOUNDATION
EA	EACH	TOS	TOP OF SLAB
EQ	EQUAL	TOW	TOP OF WALL
FD	FLOOR DRAIN	TYP	TYPICAL
FDN	FOUNDATION	UNO	UNLESS NOTED OTHERWISE
		WD	WOOD



CONTRACTOR NOTES:

- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, CODES, AND OWNER REQUIREMENTS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THIS SHALL BE DONE PRIOR TO SIGNING THE CONTRACT FOR CONSTRUCTION.
- PROSPECTIVE SUB-CONTRACTORS SHALL SECURE ALL DATA AT THE SITE OF PROPOSED CONSTRUCTION SUCH AS CONVENIENCE OF RECEIVING AND SORTING MATERIALS, STAGING AREAS, LOCATION OF PUBLIC SERVICES, AND OTHER INFORMATION WHICH WILL HAVE INFLUENCE ON MAKING THEIR PROPOSALS OR ON THE EXECUTION OF THE WORK. NO ALLOWANCES WILL BE MADE FOR FAILURE OF THE SUB-CONTRACTOR TO OBTAIN SUCH ON-SITE INFORMATION PRIOR TO SIGNING OF THE CONTRACT.
- SHOULD EITHER THE DRAWINGS AND THE SPECIFICATIONS, OR ANY PARTICULAR SPECIFICATION, AND THE GENERAL CONDITIONS CONTRADICT EACH OTHER IN ANY POINT, OR REQUIRE CLARIFICATION, THE CONTRACTOR MUST CALL THE SAME TO THE ATTENTION OF THE DESIGNER, AND HIS DECISION SHALL BE OBTAINED PRIOR TO SIGNING THE CONTRACT FOR CONSTRUCTION.
- THE CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT AND IN THE PROPOSED CONSTRUCTION BUILDING OR SITE OR SURROUNDINGS. NO CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE DESIGNER FOR HIS CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREA.
- EACH CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONSTRUCTION DOCUMENT AND SHALL REPORT TO THE DESIGNER ANY ERROR, INCONSISTENCIES OR OMISSION HE MAY DISCOVER. FURTHER, THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK WHICH HE BELIEVES TO BE CONTRARY TO HIS KNOWLEDGE OF GOOD CONSTRUCTION STANDARDS AND PRACTICES AND SHALL NOT USE ANY SUBSTANDARD MATERIAL.

- CONTRACTOR SHALL FOLLOW SIZES IN SPECIFICATIONS OR DIMENSIONED FIGURES ON DRAWINGS IN PREFERENCE TO SCALE MEASUREMENTS AND FOLLOW DETAIL DRAWINGS IN PREFERENCE TO GENERAL DRAWINGS.
- WHERE IT IS OBVIOUS THAT A DRAWING ILLUSTRATES ONLY A PART OF A GIVEN WORK, OR OF A NUMBER OF ITEMS, THE REMAINDER SHALL BE DEEMED REPETITIOUS AND SO CONSTRUCTED.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. SHOULD ANYTHING BE SHOWN, INDICATED, OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR THE PROPER INSTALLATION OR CONFORMANCE WITH CODES OR STANDARDS LISTED OR DEPICTED HEREIN SHALL BE INCLUDED IN THE WORK.

DESIGN TEAM

BUILDER:
BLUE PINE CONSTRUCTION, INC.
P.O. BOX 1639
WELLINGTON, COLORADO 80549
970-412-9858

DESIGNER:
STUDIO G DESIGN, LLC
P.O. BOX 336381
GREELEY, COLORADO 80633
STUDIOGDESIGNLLC@COMCAST.NET
970-584-8471

STRUCTURAL ENGINEER:
SHEAR ENGINEERING
4836 S. COLLEGE AVENUE
FORT COLLINS, COLORADO 80525
970-226-5334
BBRUCKBAUER@SHEARENGINEERING.COM

SHEET INDEX

A1.0	ARCHITECTURAL: COVER SHEET
A2.0	SITE PLAN
A3.1	COVERED PATIO FLOOR PLAN / EXTERIOR ELEVATIONS
A4.0	ROOF DRAINAGE PLAN / BUILDING SECTIONS
E-1	ELECTRICAL: COVERED PATIO ELECTRICAL PLAN

PROJECT SCOPE

- INSTALLING A NEW COVERED PATIO
- CONNECTING TO EXISTING GARAGE
- NEW CONCRETE PATIO SLAB
- NEW CONCRETE DRILLED PIERS
- NEW POSTS & BEAMS
- NEW HIP ROOF TO TIE INTO EXISTING HIP ROOF

STRUCTURAL COMPONENTS DESIGNED BY SHEAR ENGINEERING PROVIDED SUPPLEMENTAL LETTER.

CODE SUMMARY

THIS PROJECT SHALL COMPLY WITH THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, ALL APPLICABLE LOCAL ORDINANCES AND REQUIREMENTS FOR FORT COLLINS, LARIMER COUNTY, COLORADO.

GENERAL NOTES:

- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL DIMENSIONS GIVEN TO FACE OF STUD.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL STATE AND LOCAL CODES. SECURE ALL PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR SHALL EXAMINE AND VERIFY ALL DIMENSIONS AND CONDITIONS BOTH ON THE PLAN AND IN THE FIELD, AND BE RESPONSIBLE FOR ANY ADJUSTMENTS AND/OR CORRECTIONS.
- OWNER TO PROVIDE:
EXACT SPECIFICATIONS
COLOR SELECTIONS
LANDSCAPE PLANS
FIELD SUPERVISION

5) CONTRACTOR SHALL VERIFY EXISTING SOIL CONDITIONS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES TO THE ASSUMPTIONS OF THE SOILS REPORT. PROVIDE CONTROL JOINTS AT ALL SLAB CONDITIONS.

6) PROVIDE TEMPERED GLASS AT SLIDING DOORS AND AREAS SUBJECT TO HUMAN IMPACT SHALL BE PER LOCAL CODE. SAFETY GLAZING IS REQUIRED IN WINDOWS WITHIN A 24" ARC OF A DOOR AND LESS THAN 60" ABOVE THE FLOOR, WITHIN 3' OF STAIRS AND LANDINGS WHEN THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR (5' IN ANY DIRECTION FROM THE BOTTOM TREAD) AND ADJACENT TO BATHTUBS OR SHOWERS WHEN LESS THAN 60" ABOVE THE WALKING/STANDING SURFACE. (SEE SEC. R308.4 FOR FURTHER INFORMATION)

7) ALL EXTERIOR DOORS AND DOORS LEADING TO UNHEATED AREAS ABOVE GRADE SHALL BE WEATHERSTRIPPED.

8) INSULATION-
R-VALUES NOT PART OF SCOPE FOR PATIO COVER

9) PROVIDE COMBUSTION AIR TO FURNACE AND WATER HEATER PER LOCAL BUILDING CODE.

10) EXTERIOR OPENINGS EXPOSED TO WEATHER (i.e. CONCRETE SLAB) SHALL BE FLASHED TO PREVENT WATER PENETRATING THE FOUNDATION.

11) PROVIDE ROOF VENTILATION AS REQUIRED PER SECTION R306.

12) PROVIDE 5/8" TYPE-X GYP. BOARD UNDER STAIRS IF SPACE IS ENCLOSED.

13) INSTALL GUTTERS AT ALL HORIZONTAL FASCIAE PER CODE. DOWNSPOUTS TO HAVE 4" ADJUSTABLE EXTENDERS TYP. ALL EXPOSED METAL SHALL BE PAINTED TO MATCH COLOR OF SURFACE.

14) ALL TUB AND SHOWER ENCLOSURES SHALL BE FINISHED WITH NON-ABSORBENT SURFACES AND FIXTURE PENETRATIONS TO BE SEALED.

15) SHOWERS AND TUB/SHOWER COMBINATIONS MUST BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPS ARE REQUIRED AND MUST BE ADJUSTED PER THE MFG'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES.

16) EVERY SLEEPING ROOM SHALL HAVE ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EXIT OR RESCUE. WHERE SUCH WINDOWS ARE PROVIDED, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR AND THE OPENING SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 20", A MINIMUM CLEAR HEIGHT OF 24", AND A CLEAR OPENING OF 5.7 SQFT. PER SECTION R310.

17) MAXIMUM BASEMENT SILL HEIGHT SHALL BE 44" ABOVE FLOOR, AND MAX. WELL DEPTH SHALL BE 44" BELOW GRADE. EGRESS WINDOWS FROM THE BASEMENT MUST BE PROVIDED WITH AN EGRESS WINDOW WELL IF THE WINDOW HEIGHT IS BELOW THE ADJOINING FINISHED GRADE. THE WINDOW WELL MUST HAVE A MIN. CLEAR AREA OF 9 SQFT. AND A MIN. HORIZONTAL PROJECTION AND WIDTH OF 36". IF THE WINDOW WELL GREATER THAN 44" DEEP, IT SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPENED POSITION OR ENCROACH MORE 6" INTO THE CLEAR AREA. PER SECTION R310.

18) PROVIDE 4" DIA. MOISTURE EXHAUST DUCT FOR CLOTHES DRYER. LENGTH SHALL NOT EXCEED 25'. SEE SECTION M1501.

19) PROVIDE ACCESS PANEL TO WHIRLPOOL TUB PER SEC. P2120.1

20) ALL BASEMENT DAMPROOFING TO BE PER SECTION R406 AND SPRAYED ON BASEMENT AND CRAWLSPACE EXTERIOR SURFACES.

21) BATHROOMS AND WATER CLOSET AREAS MUST BE VENTILATED PER SECTION M1506.

22) FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS. ONLY FIREPLACE AND CHIMNEY COMPONENTS LISTED BY A NATIONALLY RECOGNIZED TESTING AGENCY ARE ACCEPTABLE.

23) FUEL FIRE EQUIPMENT (FURNACE, WATER HEATER, ETC.) MUST BE PROVIDED WITH ADEQUATE OUTSIDE COMBUSTION AIR. A MIN. OF TWO DUCTS OR OPENINGS IS REQUIRED: ONE WITHIN 12" OF THE CEILING AND ONE WITHIN 12" OF THE FLOOR. THE MIN. SIZE OF THE DUCTS IS DETERMINED BY THE COMBINED BTU RATINGS OF THE EQUIPMENT SERVED. SEE CHAPTER 17, IRC FOR FURTHER INFORMATION.

ISSUE/REVISION
DATE 07-31-20

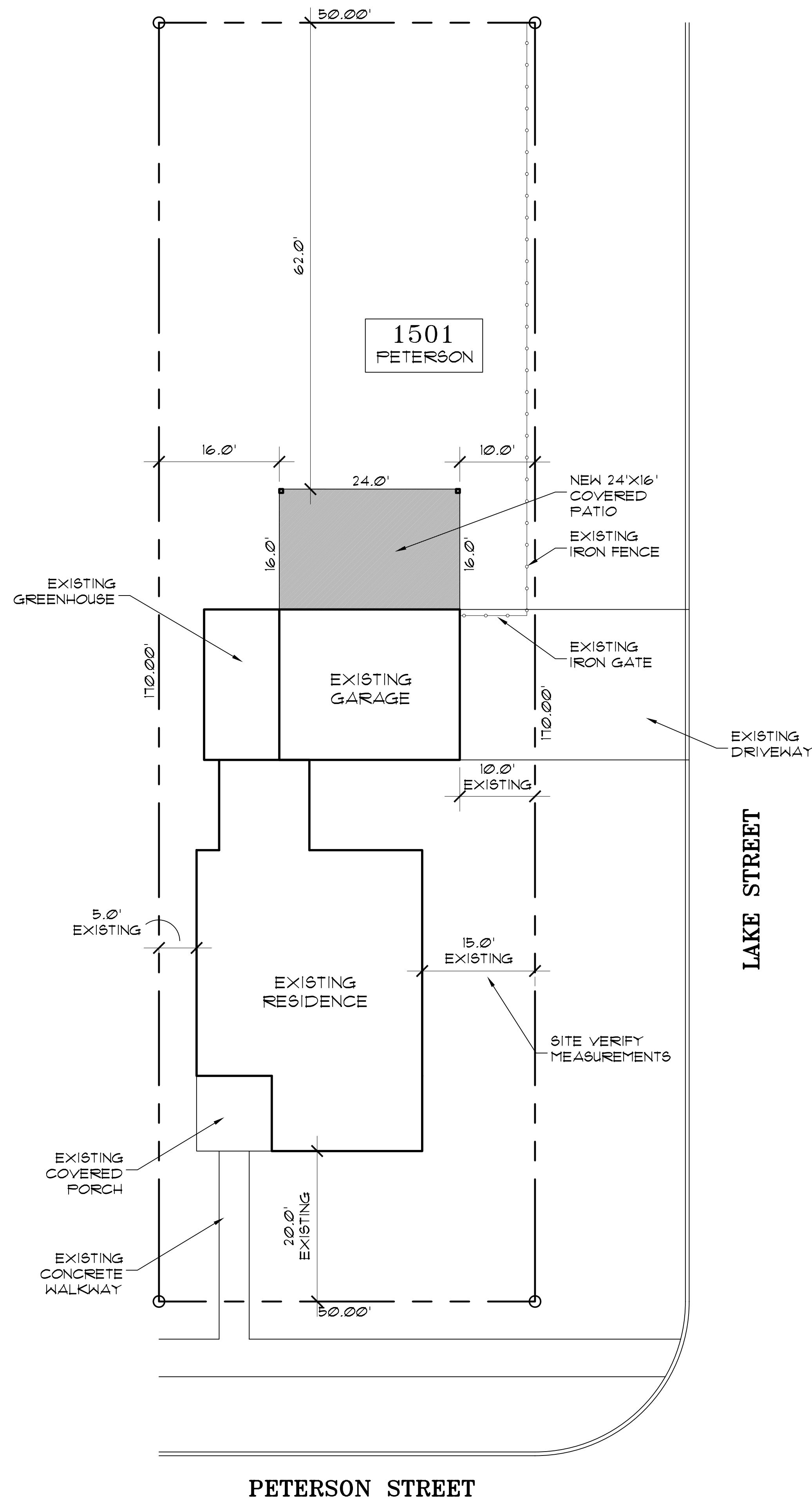


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970-584-8471
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DATE 08-04-20
DESIGN BY MR. GOMEZ
CHECKED BY J.C. GOMEZ
SHEET A1.0



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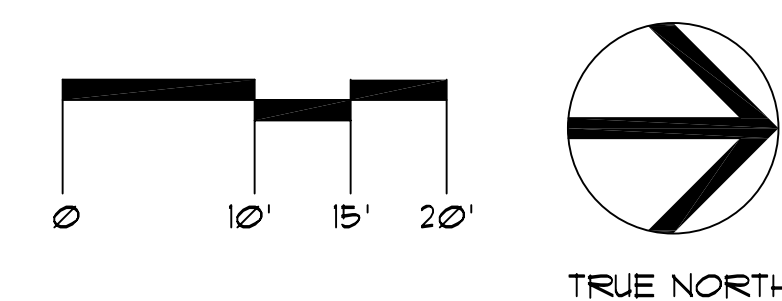
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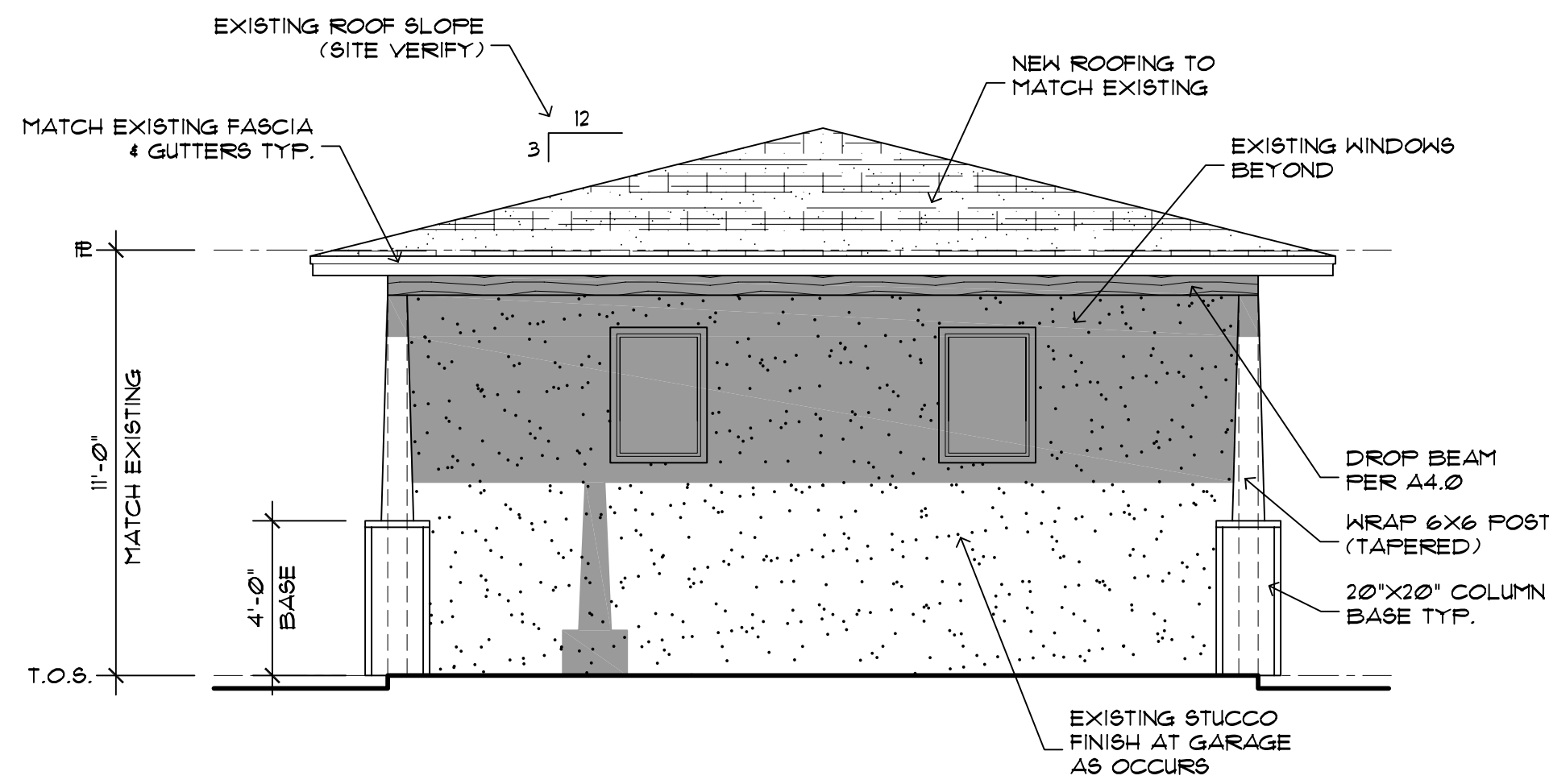
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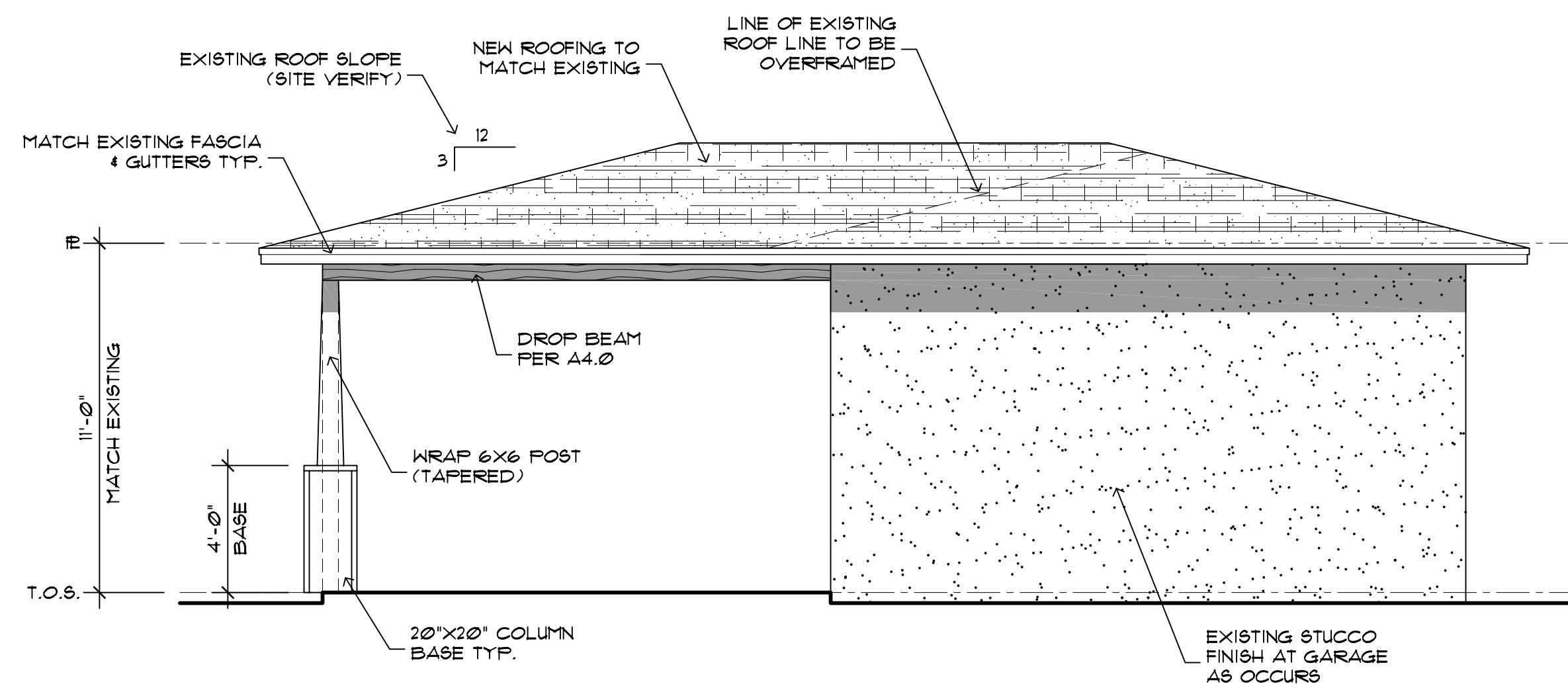
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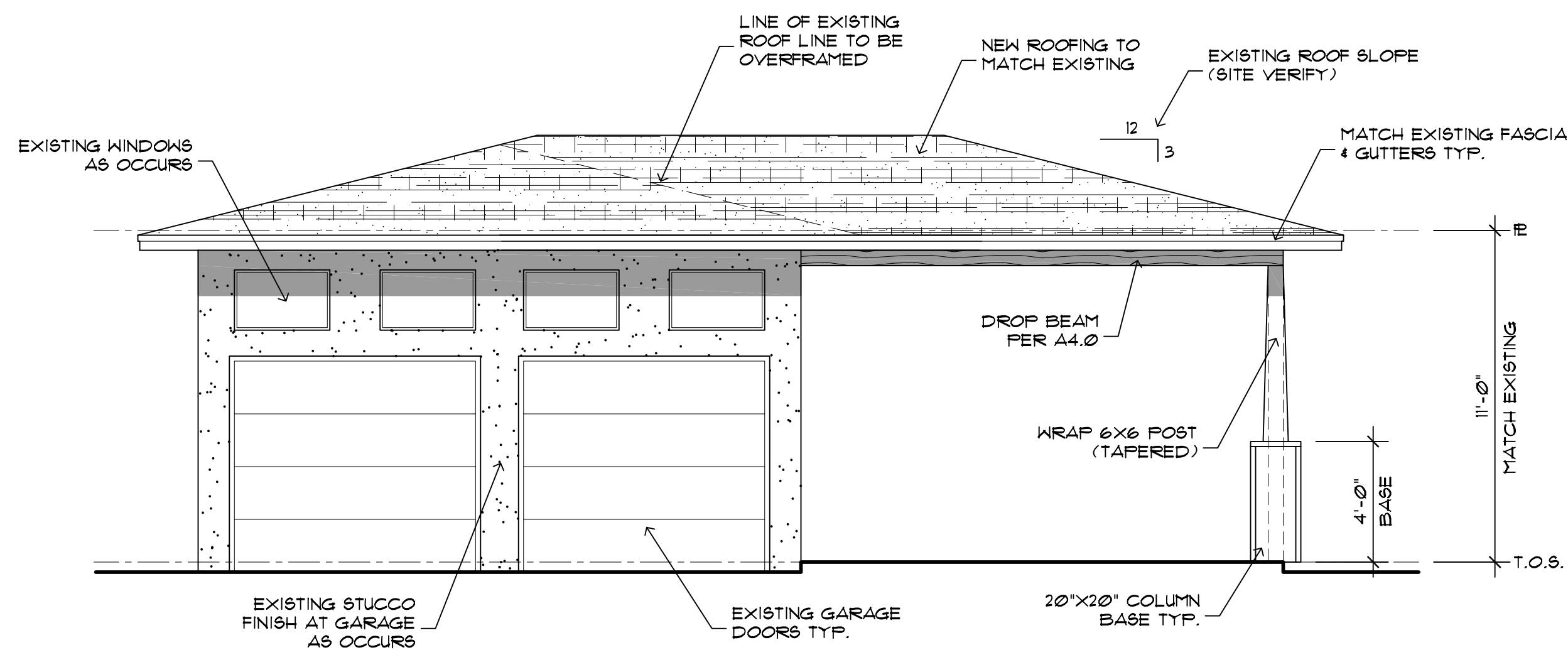
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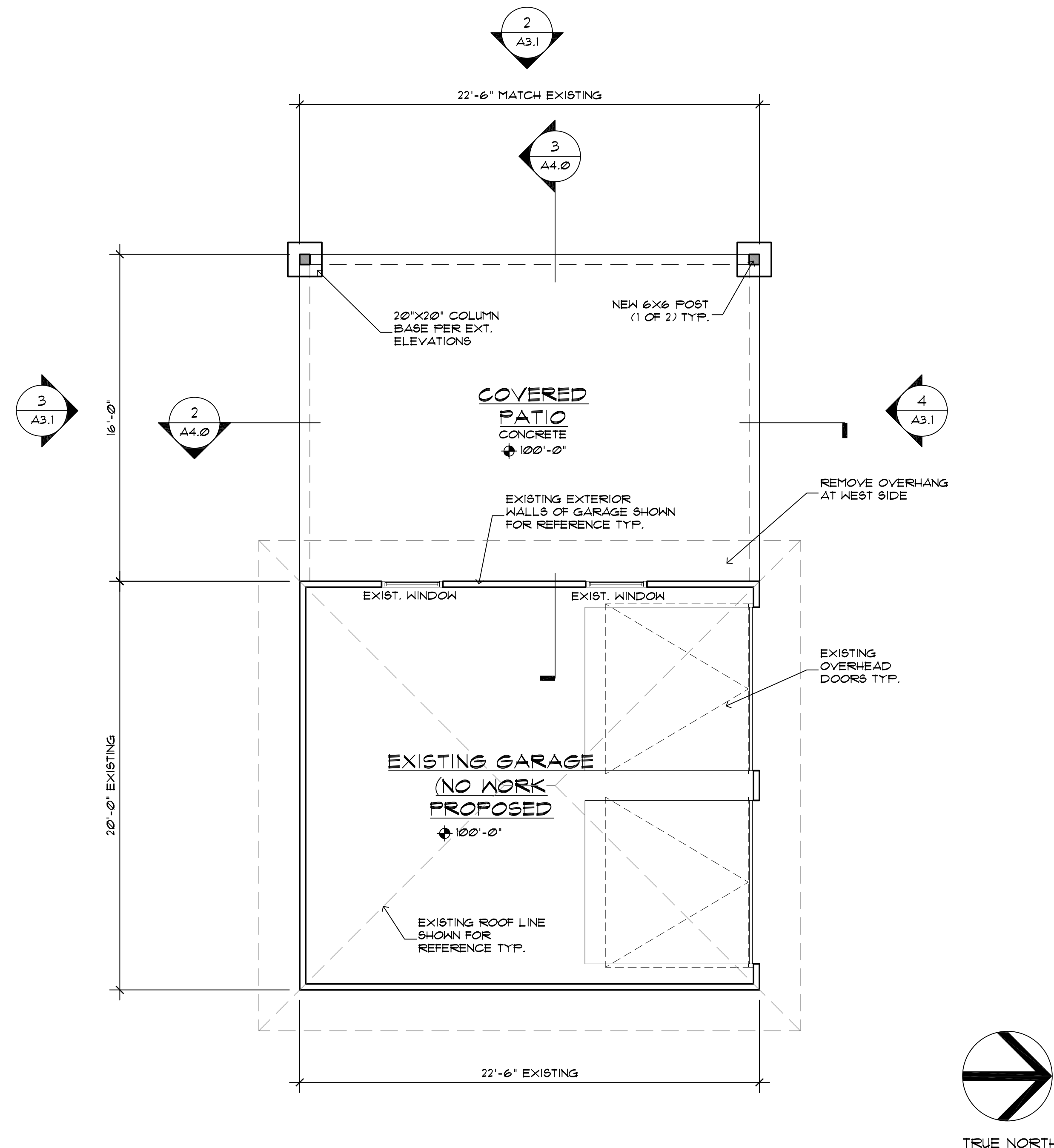
2 WEST ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



4 NORTH ELEVATION
1/4" = 1'-0"



1 PATIO FLOOR PLAN / POST LOCATIONS
1/4" = 1'-0"

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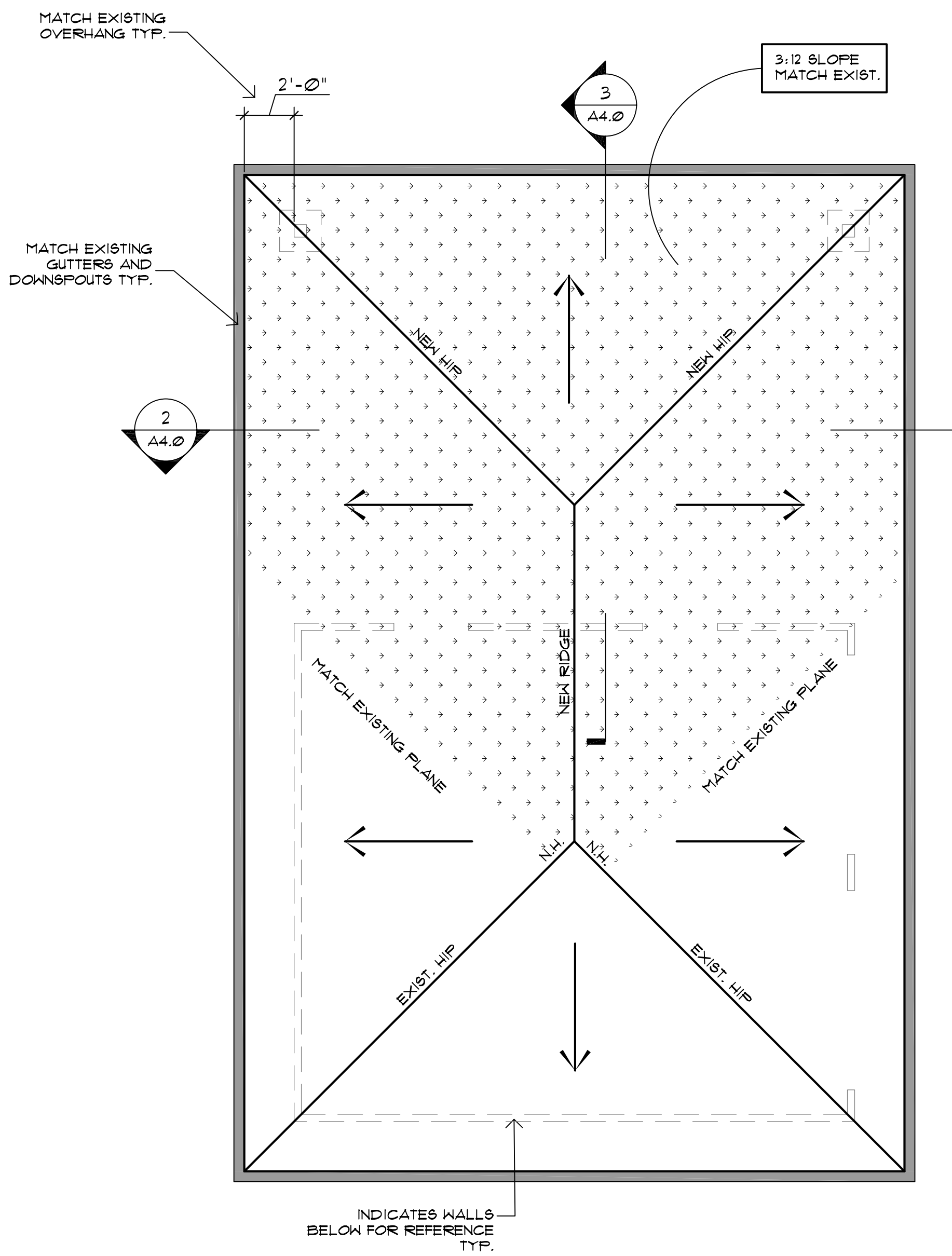
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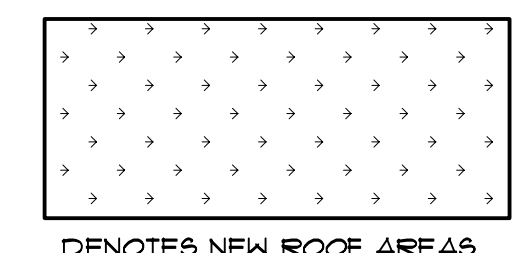
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A3.1



ROOF NOTES

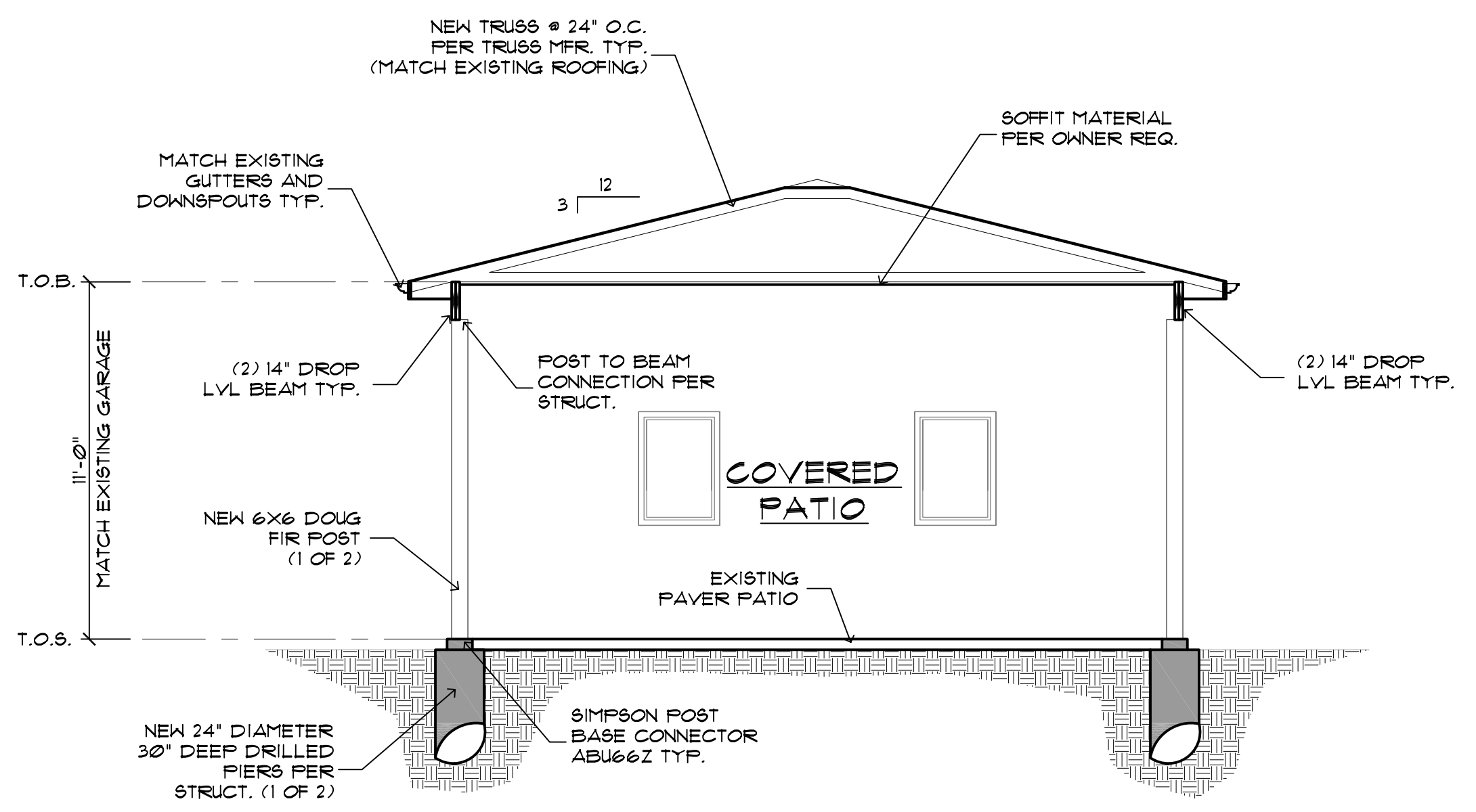
ROOF ASSEMBLIES SHALL COMPLY WITH CHAPTER 9, IRC.
 UNDERLAYMENT TO BE (2) LAYERS OF 30# FELT
 ICE BARRIER, 2 LAYERS OF SELF ADHERED SHEETS SHALL BE INSTALLED AT ALL EAVES AND EXTEND FROM THE LOWEST EDGES OF ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING PER SEC. R903
 ALL SHEET METAL ROOF PENETRATIONS TO BE PAINTED TO MATCH COLOR OF MOST ADJACENT ROOFING.
 ALL VALLEYS TO HAVE CONTINUOUS SHEET METAL / SELF ADHERED FLASHING OR EQUAL. THEY MUST ALSO BE A CLOSED TYPE INSTALLATION.
 DISCHARGE DOWNSPOUTS A MINIMUM OF 4 FEET AWAY FROM FOUNDATION

ROOF LEGEND

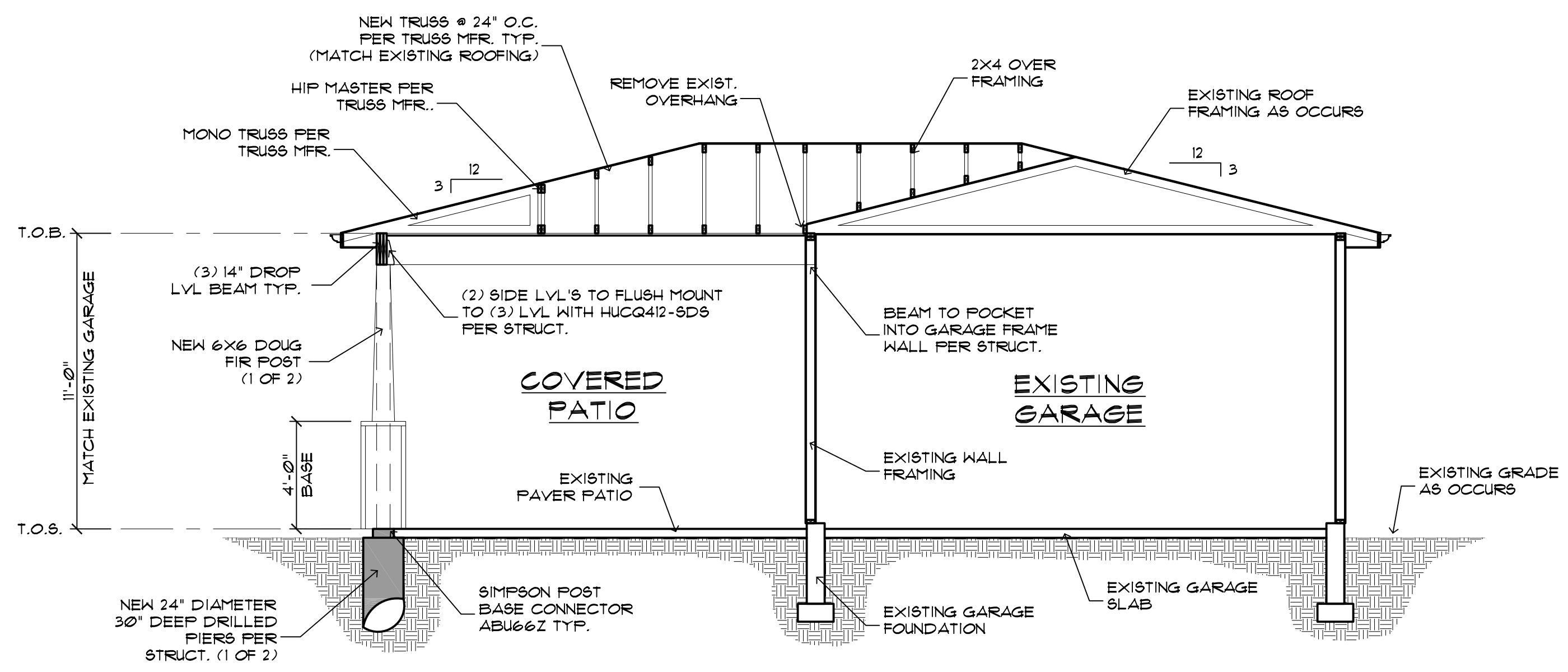


N.H. = NEW HIP
 E.H. = EXISTING HIP

1 ROOF DRAINAGE PLAN
 1/4" = 1'-0"



2 BUILDING SECTION
 1/4" = 1'-0"



3 BUILDING SECTION
 1/4" = 1'-0"

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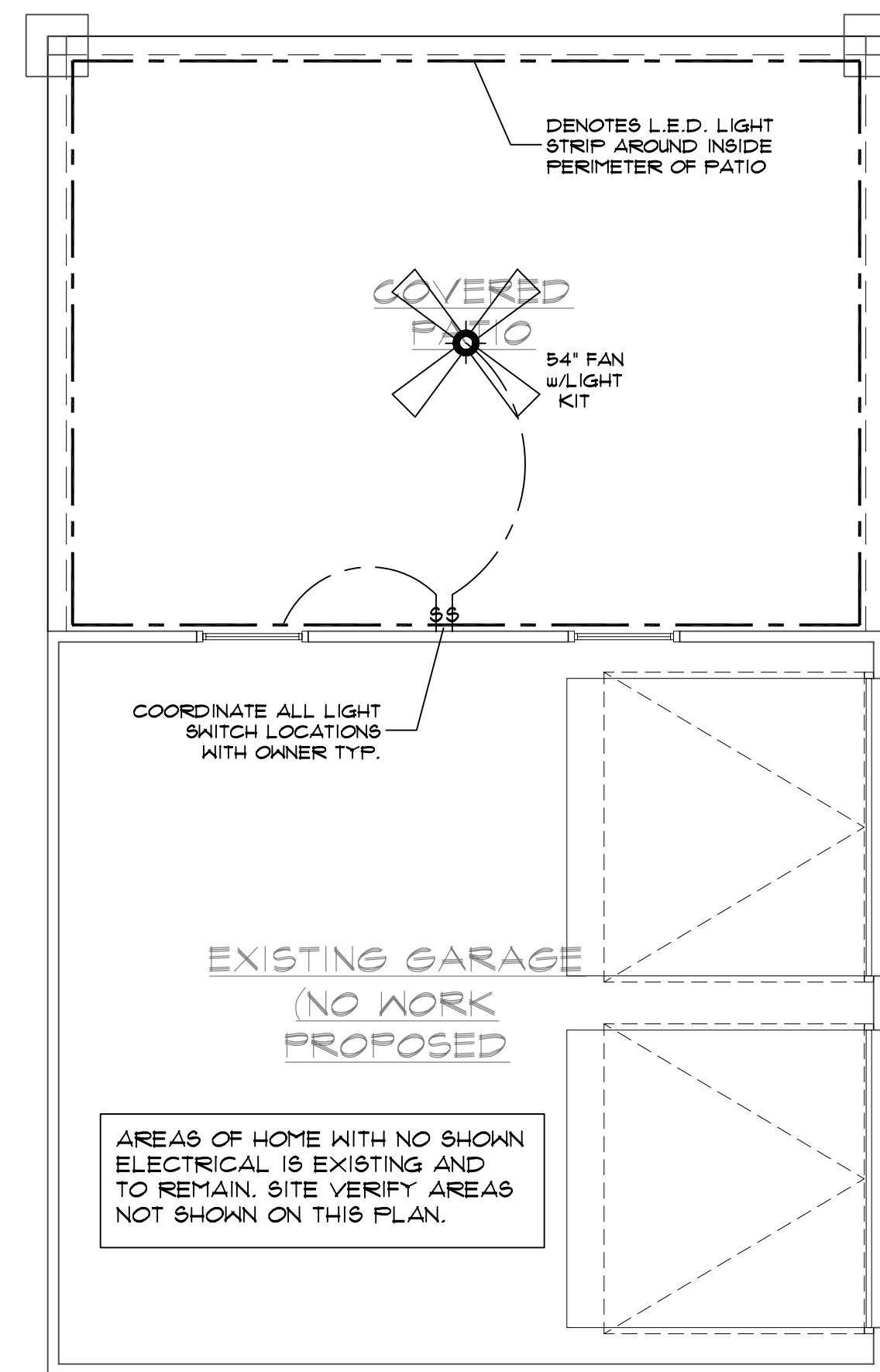
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NEW PATIO COVER:
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DESIGN BY:	MR. GOMEZ
CHECKED BY:	J.C. GOMEZ

SHEET A4.0



1 PROPOSED PATIO ELECTRICAL PLAN
1/4" = 1'-0"

CONTRACTOR AND/OR OWNER TO PERFORM A "WALK-THRU" WITH ELECTRICIAN PRIOR TO ANY INSTALLATION

ELECTRICAL NOTES

1. PROVIDE SEPARATE CIRCUIT FOR BASEMENT FOR USE IN FUTURE CONSTRUCTION
2. ALL SWITCHES TO BE MOUNTED AT 48" AFF (MAX).
3. ALL OUTLETS, U.N.O. TO BE MOUNTED AT 18" AFF.
4. LAYOUT IS SCHEMATIC ONLY - ACTUAL ELECTRICAL DESIGN BY OTHERS AND SHALL COMPLY TO ALL LOCAL CODES.
5. PROVIDE SMOKE AND CO2 DETECTORS-TYP THROUGHOUT. DETECTORS TO BE HARD WIRED W/ BATTERY BACK-UP.
6. ALL HOT WATER PIPING TO BE THOROUGHLY INSULATED.
7. RECEPTACLE OUTLETS MUST BE INSTALLED IN HABITABLE ROOMS SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE 2' OR MORE IN LENGTH IS MORE THAN 6', MEASURED HORIZONTALLY FROM AN OUTLET.
8. IN KITCHEN AND DINING AREAS, ELECTRICAL RECEPTACLES MUST BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12" SO THAT AT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET. PROVIDE AT LEAST ONE OUTLET AT ISLAND WITH TOP GREATER THAN 12"
9. PROVIDE GROUND FAULT PROTECTION AT THE FOLLOWING LOCATIONS:
BATHROOMS
EXTERIOR CONDITIONS
NON-DEDICATED GARAGE AND BASEMENT CONDITIONS
KITCHEN COUNTERTOP
WITHIN 6' OF WETBAR SINKS

GFCI PROTECTION IS ALSO REQUIRED FOR ELECTRICAL EQUIPMENT IN WHIRLPOOL TYPE TUBS.
10. PROVIDE TWO OR MORE SMALL APPLIANCE BRANCH CIRCUITS FOR ALL RECEPTACLE OUTLETS IN KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM OR SIMILAR AREAS. THESE CIRCUITS MUST SERVE NO MORE THAN THREE OUTLETS AND HAVE NO OTHER OUTLETS CONNECTED.
11. NO MORE THAN 8 ELECTRICAL OUTLETS MAY BE CONNECTED TO A 15 AMPRE BRANCH CIRCUIT (10 PER 20 AMPRE CIRCUIT).
12. LIGHT FIXTURES IN CLOTHES CLOSETS MUST COMPLY WITH LOCAL 4 CURRENT ELECTRICAL CODES
13. PROVIDE AN ELECTRICAL LIGHT IN ALL ATTIC AND CRAWL SPACES REQUIRING ACCESS FOR SERVICING OF EQUIPMENT. THE CONTROL SWITCH MUST BE LOCATED BY THE POINT OF ACCESS AND A DUPLEX GFCI-PROTECTED ELECTRICAL SERVICE RECEPTACLE MUST BE PROVIDED AT OR NEAR THE EQUIPMENT.
14. THE GROUNDING ELECTRODE SYSTEM SHALL INCLUDE AN ELECTRODE ENCASED BY AT LEAST 2" OD CONCRETE, LOCATED WITHIN AND NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20' OF ONE OR MORE BARE OR ZINC GALVANIZED OR OTHER ELECTRONICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS OF NOT LESS THAN 1/2" DIAMETER, OR CONSISTING OF AT LEAST 20 FT OF BARE COPPER CONDUCTOR NOT SMALLER THAN NO. 2.
15. COORDINATE WITH POWER AUTHORITY TO LOCATE ELECTRICAL PANEL.

ELECTRICAL LEGEND

⊕ 110v OUTLET	⊕ 4-PLEX OUTLET	⊙ CEILING MOUNTED LIGHT FIXTURE
⊕ 220v OUTLET	⊕ GFI	⊙ WALL MOUNTED LIGHT FIXTURE
⊕ WP 110v WEATHER PROOF	⊕ ABOVE COUNTER GFI OUTLET	⊙ HANGING CEILING LIGHT FIXTURE WITH BLOCKING TO SUPPORT 100 lb. MIN.
⊕ 1/2 HOT (SWITCHED) 110v OUTLET		⊙ CEILING FAN
⊙ FLOOR OUTLET 110v		⊙ WALL SCONCE
⊙ CEILING MOUNTED OUTLET 110v		⊙ RECESSED CEILING MOUNTED CAN LIGHT
⊕ SINGLE POLE SWITCH		⊕ FLUORESCENT TUBE LIGHT FIXTURE (SIZE PER PLAN)
⊕ 3-WAY SWITCH	⊕ OUTDOOR SPEAKERS	⊕ FANS PROVIDED BY OWNER
⊕ 4-WAY SWITCH	⊕ SECURITY LIGHTING	⊕ FAN / LIGHT COMBINATION
⊕ DIMMER SWITCH	⊕ SMOKE DETECTOR	⊕ PENDANT LIGHT
⊕ CABLE T.V. COAXIAL		
⊕ TELEPHONE / DATA		

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DATE	08-04-20
DESIGN BY:	MR GOMEZ
CHECKED BY:	J.C. GOMEZ

SHEET
E-1