



## Historic Preservation Services

Community Development & Neighborhood Services

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### REPORT OF ALTERATIONS TO DESIGNATED RESOURCE AMENDMENT ADDRESSING PROJECT MODIFICATIONS

Site Number/Address: 600 Mathews St.

Laurel School National Register Historic District

ISSUED: December 10, 2020

Susan and Douglas Naffziger  
600 Mathews St.  
Fort Collins, CO 80524

Dear Mr. & Mrs. Naffziger:

This report is to document the summary of effects from proposed alterations to the E.D. Ball Residence at 600 Mathews Street, pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#), made by the Landmark Preservation Commission (LPC) at their May 13<sup>th</sup> meeting. It has been revised by staff on December 10, 2020 to acknowledge alterations to the project in response to floodplain mitigation. A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The Commission commented on the following work items on May 13:

1. Demolition of a portion of the c.1921 addition on the east side of the main house;
2. Construction of a new addition on the east side of the main house;
3. Replacement of exterior windows with metal clad wood replacements.
4. Infill of north-facing doorway on porch
5. Demolition and reconstruction of concrete porch floor
6. Construct new guardrail of powder-coated metal
  
7. In-kind roof replacement (asphalt shingle) – *Since this item clearly meets the Standards and is typically cleared by staff, it has not been included in the summary below.*

This report has been revised to reflect the following changes:

3. Revised to repair/rehabilitation of the historic windows.
8. NEW ITEM: Relocation of the main house onto a new, raised foundation, moving the building outside the currently-mapped High-Risk Floodplain.

This project update has not been referred back to the LPC because, while the modifications are significant, the relocation of the building will not have a significant overall effect on whether the building retains its contributing status in the Laurel School Historic District. Primary concerns relate to careful project planning and civil/structural engineering, which have been addressed in the revised building permit application.

| Applicable Code Standard | Summary of Code Requirement and Analysis (Rehabilitation)   | Standard Met (Y/N) |
|--------------------------|---|--------------------|
| SOI #1                   | <p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>The property is remaining residential in use, and will remain recognizable as a residential building.</p> <p>NO UPDATES</p>   | Y                  |
| SOI #2                   | <p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <ol style="list-style-type: none"> <li>1. <u>Demolition of a portion of the c.1921 addition on the east side of the main house;</u> <ul style="list-style-type: none"> <li>• <i>This addition appears to be historic, based on its construction year in relation to the period of significance suggested in the Laurel School Historic District documentation (1876-1930). A permit pulled in 1921 to remodel the home precedes the 1925 Sanborn Fire Insurance map in which the east side of the residence matches its current configuration. The remodel appears to have extended the original T-form of the home, adding a second north-south section, as well as a small bump out, likely for a kitchen or mudroom. It is the small bump out that is proposed for demolition. While minor, these are common historic features on homes of this style and type and are typically considered historic alterations that should be preserved. Its demolition does not meet this Standard.</i></li> </ul> </li> <li>2. <u>Construction of a new addition on the east side of the main house;</u> <ul style="list-style-type: none"> <li>• <i>As noted above, the demolition of this portion of the existing c.1921 addition does not meet this Standard.</i></li> </ul> </li> <li>3. <u>Rehabilitation of exterior windows</u> <ul style="list-style-type: none"> <li>• <i>The rehabilitation of historic windows is generally recommended unless their condition makes them unable to be repaired. Windows on this home are predominantly</i></li> </ul> </li> </ol> | Y                  |

*one-over-one wood sash windows of varying sizes, although some non-historic metal storms and window units are present on the east and south elevations. In this case, the windows do not appear to warrant replacement as they are in good condition overall, although several appear to require repair. Revised plans call for repair/upgrading for energy performance. This item meets this Standard.*

4. Infill of north-facing doorway on porch

- *From available documentation, the second doorway was likely added as part of the 1921 remodel. Looking at city directories after that point, multiple residents are listed at the property, indicating that this may have been a modification to accommodate apartment use in the front room. Considering that this is a comparatively unique alteration in the Laurel School Historic District, and took place during the suggested period of significance for the district, removing this feature does not meet this Standard.*

5. Demolish and reconstruct concrete porch floor

- *The concrete flooring on the porch is likely not original to the home, as the porch appears to have been modified several times over the life of the home. Potentially relevant permits include two issued to “repair porch” in both 1939 and 1948. The Sanborn map in 1943 shows only a partial frame porch on the north portion of the building, indicating that the wrap-around and concrete floor was likely added in 1948. While occurring outside the period of significance, this modification is over fifty years of age and distinctive for the property. While repair is generally recommended over wholesale replacement, this item generally meets this Standard.*

6. Construct new guardrail

- *The installation of the guardrail is a common addition to historic homes to meet current building code and safety requirements. However, wood is a more appropriate product in these circumstances than the proposed powder-coated metal. Nearly all of the finishes on the exterior are wood. If metal is used, it would be best for it to not anchor into the wood porch columns to avoid damaging the historic carpentry. This item generally meets this Standard.*

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|                      | <p>8. <u>Lift building off existing foundation, demolish existing foundation, and relocate building south out of High-Risk Floodplain</u></p> <ul style="list-style-type: none"> <li>• <i>The relocation of the building to the south out of the High-Risk Floodplain will not significantly alter the relationship of the building to its historic site. The historic garage will remain south and east of the main building. The primary change will be the demolition of the existing stone foundation and construction of a new concrete foundation for the new finished basement. This item generally meets the Standard. Salvage of the stone on-site is encouraged.</i></li> </ul>  |                 |
| <p><b>SOI #3</b></p> | <p><b><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></b></p> <p>1. <u>Demolition of a portion of the c.1921 addition on the east side of the main house;</u></p> <ul style="list-style-type: none"> <li>a. <i>As noted under Standard 2, although a smaller feature and not original to the house, rear additions made during an historic period for kitchens or mudrooms are typically considered historic and are recommended for preservation. It appears the east addition, along with this kitchen/mudroom, were added in 1921, during the period of significance for the district. It is distinctive and recommended for preservation. This item does not meet this Standard.</i></li> </ul> <p>2. <u>Construction of a new addition on the east side of the main house;</u></p> <ul style="list-style-type: none"> <li>a. <i>As noted above, the demolition of this portion of the existing c.1921 addition does not meet this Standard.</i></li> </ul> <p>3. <u>Rehabilitation of exterior windows .</u></p> <ul style="list-style-type: none"> <li>a. <i>UPDATED: This item includes rehabilitation, repair, and upgrade of the existing windows. This alteration meets this Standard.</i></li> </ul> <p>4. <u>Infill of north-facing doorway on porch</u></p> <ul style="list-style-type: none"> <li>a. <i>As noted under Standard 2, it appears this doorway was likely added along with the east addition in 1921 to allow the owners to let rooms to guests or students at Colorado Agricultural College (now Colorado State University). Removing this alteration would eliminate a record of use during the historic period and does not meet this Standard.</i></li> </ul> | <p><b>Y</b></p> |

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|               | <p>5. <u>Demolish and reconstruct concrete porch floor</u></p> <p>a. <i>Although wholesale replacement is not typically recommended, this element generally meets this Standard.</i></p> <p>6. <u>Construct new guardrail of powder-coated metal</u></p> <p>a. <i>As noted under Standard 2, adding new guard rails are common alterations to historic homes that typically meet Standards. Although wood would be a more appropriate material, the proposed railing is of simple design and generally meets this Standard.</i></p> <p>8. <u>Lift building off existing foundation, demolish existing foundation, and relocate building south out of High-Risk Floodplain</u></p> <p>a. <i>The new foundation will be recognizable as such due to use of modern concrete. The alteration has been well-documented and should avoid any false sense of history, meeting this Standard.</i></p>  |          |
| <b>SOI #4</b> | <p><b><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></b></p> <p>1. <u>Demolition of a portion of the c.1921 addition on the east side of the main house;</u></p> <ul style="list-style-type: none"> <li>• <i>As noted under Standard 2, although a smaller feature and not original to the house, rear additions made during an historic period for kitchens or mudrooms are typically considered historic and are recommended for preservation. It appears the east addition, along with this kitchen/mudroom, were added in 1921, during the period of significance for the district. It is distinctive and recommended for preservation. This item does not meet this Standard.</i></li> </ul> <p>2. <u>Construction of a new addition on the east side of the main house;</u></p> <ul style="list-style-type: none"> <li>• <i>As noted above, the demolition of this portion of the existing c.1921 addition does not meet this Standard.</i></li> </ul> <p>3. <u>Rehabilitation of exterior windows.</u></p> <ul style="list-style-type: none"> <li>• <i>N/A</i></li> </ul> <p>4. <u>Infill of north-facing doorway on porch</u></p> <ul style="list-style-type: none"> <li>• <i>As noted under Standard 3, it appears this doorway was likely added along with the east addition in 1921 to allow the owners to let rooms to guests or students at Colorado Agricultural College (now Colorado State University).</i></li> </ul> | <b>Y</b> |

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|                      | <p><i>The modification of homes to serve as apartments is an under-studied but likely significant period in the development of this neighborhood east of campus. Removing this alteration would eliminate a record of use during the historic period and does not meet this Standard.</i></p> <p>5. <u>Demolish and reconstruct concrete porch floor</u></p> <ul style="list-style-type: none"> <li><i>As noted under Standard 2, it is likely that the north portion of the porch was original to the home, while the east and south elements, along with the concrete foundation, were added in 1948 as part of a porch repair. Although falling outside of the period of significance, it is a distinctive architectural feature of the home that appears to have acquired its own significance. While wholesale replacement is typically not recommended, this item generally meets this Standard.</i></li> </ul> <p>6. <u>Construct new guardrail of powder-coated metal</u></p> <ul style="list-style-type: none"> <li><i>N/A</i></li> </ul> <p>8. <u>Lift building off existing foundation, demolish existing foundation, and relocate building south out of High-Risk Floodplain</u></p> <ul style="list-style-type: none"> <li><i>N/A</i></li> </ul> |                 |
| <p><b>SOI #5</b></p> | <p><b><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></b></p> <p>1. <u>Demolition of a portion of the c.1921 addition on the east side of the main house;</u></p> <ul style="list-style-type: none"> <li><i>As noted above, the c.1921 addition, including the mudroom/kitchen bump-out is a distinctive alteration of buildings of this era and is typically recommended for preservation.</i></li> </ul> <p>2. <u>Construction of a new addition on the east side of the main house;</u></p> <ul style="list-style-type: none"> <li><i>As noted above, the demolition of this portion of the existing c.1921 addition does not meet this Standard.</i></li> </ul> <p>3. <u>Rehabilitation of exterior windows.</u></p> <ul style="list-style-type: none"> <li><i>As noted under Standard 2, the rehabilitation of historic windows is generally recommended unless their condition makes them unable to be repaired. This is largely due to the significance of historic windows to defining the character of most historic</i></li> </ul>   | <p><b>Y</b></p> |

*buildings. Windows on this home are predominantly one-over-one wood sash windows of varying sizes. The project aims to rehabilitate existing windows and this item meets this Standard.*

4. Infill of north-facing doorway on porch

- *As noted under Standard 4, it appears this doorway was likely added along with the east addition in 1921 to allow the owners to let rooms to guests or students at Colorado Agricultural College (now Colorado State University). The modification of homes to serve as apartments is an under-studied but likely significant period in the development of this neighborhood east of campus. Alterations that represent significant shifts or trends are typically considered character-defining features recommended for preservation. This item does not meet this Standard.*

5. Demolish and reconstruct concrete porch floor

- *The concrete flooring on the porch is likely not original to the home, as the porch appears to have been modified several times over the life of the home. Potentially relevant permits include two issued to “repair porch” in both 1939 and 1948. The Sanborn map in 1917 shows only a partial frame porch on the north portion of the building. The wrap-around may have been added later. It is probable the concrete flooring was added in either 1939 or 1948 along with the wrap-around expansion of the porch as it exists today. While over fifty years of age, it does not appear to have taken place during the period of significance. While wholesale replacement is typically not recommended, there are not substantial differences in the workmanship of concrete in the mid-twentieth century and current concrete methods. This item generally meets this Standard.*

6. Construct new guardrail of powder-coated metal

- *As noted previously, the addition of guardrails on porches for safety is a common rehabilitation method for historic buildings. While wood is typically recommended over metal, this item appears to meet this Standard.*

8. Lift building off existing foundation, demolish existing foundation, and relocate building south out of High-Risk Floodplain

- *N/A*

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| SOI #6 | <p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <ol style="list-style-type: none"> <li>1. <u>Demolition of a portion of the c.1921 addition on the east side of the main house;</u> <ul style="list-style-type: none"> <li>• <i>N/A; the demolition of this section is not based on condition.</i></li> </ul> </li> <li>2. <u>Construction of a new addition on the east side of the main house;</u> <ul style="list-style-type: none"> <li>• <i>N/A</i></li> </ul> </li> <li>3. <u>Rehabilitation of exterior windows.</u> <ul style="list-style-type: none"> <li>• <i>As noted previously, while several of the historic window units are in need of repair, the overall condition of the windows appears to warrant repair rather than replacement under this Standard. The proposed rehabilitation of the windows meets this Standard.</i></li> </ul> </li> <li>4. <u>Infill of north-facing doorway on porch</u> <ul style="list-style-type: none"> <li>• <i>N/A; the removal of this feature does not appear to be based on condition.</i></li> </ul> </li> <li>5. <u>Demolish and reconstruct concrete porch floor</u> <ul style="list-style-type: none"> <li>• <i>As noted previously, the concrete flooring on the porch is likely not original to the home, probably added in 1948 along with the entire west portion of the porch. Wholesale replacement is typically not recommended and in this case, while there are cracks in the concrete, this form of cracking is typical and can usually be repaired with epoxy sealant or a new top seal rather than full demolition. This item does not meet this Standard.</i></li> </ul> </li> <li>6. <u>Construct new guardrail of powder-coated metal</u> <ul style="list-style-type: none"> <li>• <i>N/A; the construction of this feature is not related to the condition of the property.</i></li> </ul> </li> <li>9. <u>Lift building off existing foundation, demolish existing foundation, and relocate building south out of High-Risk Floodplain</u> <ul style="list-style-type: none"> <li>• <i>N/A</i></li> </ul> </li> </ol> | Y |
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| SOI #7 | <i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>  | N/A |
| SOI #8 | <i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i>   | N/A |
| SOI #9 | <p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <ol style="list-style-type: none"> <li>1. <u>Demolition of a portion of the c.1921 addition on the east side of the main house;</u> <ul style="list-style-type: none"> <li>• <i>As noted previously, the portion of the c.1921 addition proposed for demolition appears to be a character-defining feature and would not be recommended for removal under the Standards.</i></li> </ul> </li> <li>2. <u>Construction of a new addition on the east side of the main house;</u> <ul style="list-style-type: none"> <li>• <i>The demolition of the existing portion of the home does not appear to meet this Standard. But for the demolition of that feature, the addition appears to meet many of the requirements of additions on historic buildings under this Standard. It is of compatible design, would be distinguishable from the new construction and is subordinate to the primary historic building. However, the engineered wood product proposed for siding the new addition is not typically recommended for use on historic buildings due to its questionable durability compared to old-growth lumber, such as that on the portion of the 1921 addition proposed for demolition. Furthermore, due to the demolition involved, this alteration would not be reversible.</i></li> </ul> </li> <li>3. <u>Rehabilitation of exterior windows.</u> <ul style="list-style-type: none"> <li>• <i>N/A</i></li> </ul> </li> <li>4. <u>Infill of north-facing doorway on porch</u> <ul style="list-style-type: none"> <li>• <i>As noted previously, this doorway seems likely to represent an important development trend during the Historic District’s suggested period of significance. Although likely reversible if the door is retained on-site, its removal and infill would not likely meet this Standard.</i></li> </ul> </li> </ol> | Y   |

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|                | <p>5. <u>Demolish and reconstruct concrete porch floor</u></p> <ul style="list-style-type: none"> <li><i>The project proposes replacement generally in-kind, with modification to south side area. This item generally meets this Standard.</i></li> </ul> <p>6. <u>Construct new guardrail of powder-coated metal</u></p> <ul style="list-style-type: none"> <li><i>The proposed guardrail is of minimalist design and, while wood would be recommended in this case for material, the powder-coated metal should not have a detrimental effect on the character of the property. This item likely meets this Standard.</i></li> </ul> <p>8. <u>Lift building off existing foundation, demolish existing foundation, and relocate building south out of High-Risk Floodplain</u></p> <ul style="list-style-type: none"> <li>The new concrete foundation will be cleanly differentiated from the historic stone foundation. The raised foundation, although higher than historically used for this property, is a reasonable alteration to mitigate for future flood events, and is still in keeping with the historic nature of this era of home construction, which often included raised, partially finished basements. Construction of the new basement may result in damage to historic two-track driveway features on the south side of the building. It is encouraged that materials are either repaired, or replaced in-kind or with similar materials (pavers, etc.) to preserve this distinctive driveway feature. This item generally meets this Standard.</li> </ul> |          |
| <b>SOI #10</b> | <p><i><b>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</b></i></p> <p>1. <u>Demolition of a portion of the c.1921 addition on the east side of the main house;</u></p> <ul style="list-style-type: none"> <li><i>As noted previously, the portion of the c.1921 addition proposed for demolition appears to be a character-defining feature and would not be recommended for demolition under the Standards. Demolition is not reversible, so this item does not meet the Standards.</i></li> </ul> <p>2. <u>Construction of a new addition on the east side of the main house;</u></p> <ul style="list-style-type: none"> <li><i>The project proposes replacement generally in-kind, with modification to south side area. This item generally meets this Standard.</i></li> </ul>  | <b>Y</b> |

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|--|---|--|
|  | <ol style="list-style-type: none"> <li>3. <u>Rehabilitation of exterior windows</u> <ul style="list-style-type: none"> <li>• <i>N/A</i></li> </ul> </li> <li>4. <u>Infill of north-facing doorway on porch</u> <ul style="list-style-type: none"> <li>• <i>N/A</i></li> </ul> </li> <li>5. <u>Demolish and reconstruct concrete porch floor</u> <ul style="list-style-type: none"> <li>• <i>As noted previously, the construction of the deck does appear to be reversible, and does meet this Standard.</i></li> </ul> </li> <li>6. <u>Construct new guardrail of powder-coated metal</u> <ul style="list-style-type: none"> <li>• <i>The construction of the deck does appear to be reversible, and does meet this Standard.</i></li> </ul> </li> <li>8. <u>Lift building off existing foundation, demolish existing foundation, and relocate building south out of High-Risk Floodplain</u> <ul style="list-style-type: none"> <li>• <i>N/A</i></li> </ul> </li> </ol> |  |
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The Commission found that the proposed work does not meet the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code. Upon amending this report on December 10, 2020, staff noted improvements on the project, specifically retention of the windows. While the loss of the historic addition on the rear and potential loss of minor landscape features does not meet the Standards, the overall project now appears to, and staff has adjusted the report to reflect that.

Based on the degree of alterations it is expected that the property will remain contributing to the district. However, any further alterations, such as replacement of siding, removal of porch posts, or further additions, would likely render the property non-contributing to the Laurel School Historic District and ineligible for potential City Landmark listing. That would also prohibit current and future owners from leveraging multiple financial incentives for historic preservation.

Notice of the completion of this report has been forwarded to building and zoning staff to facilitate the processing of any permits that are needed for the work. Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If you have any questions regarding the Commission’s report or staff’s amendments to that report included in this document, or if we may be of any assistance, please do not hesitate to contact our office at [preservation@fcgov.com](mailto:preservation@fcgov.com) or 970-416-4250.

Sincerely,

Jim Bertolini  
Historic Preservation Planner



**Planning, Development & Transportation**  
**Community Development & Neighborhood Services**  
281 North College Avenue  
P.O. Box 580  
Fort Collins, CO 80522.0580

## Plan of Protection for Historic Properties

**Project Title:** *Naffziger Residence*

**Full Property Address:** *600 Matthews Street, Fort Collins, 80524*

**Form Prepared by:** *Barry Schram*

### 1.0 Introduction

#### 1.1 Description of project location:

*The Project is located at 600 Matthews Street, Fort Collins, Colorado, corner of Myrtle & Matthews Streets.*

#### 1.2 General description of work to be performed, including which firm(s) will be doing the work:

*The current home will be deconstructed from its current foundation, picked up and moved approximately 11' to the south to remove it from the high-risk floodplain, where a new foundation will be constructed and the structure will be placed / lowered onto the new foundation.*

#### **Firms**

##### Architect

VFLA – Taylor Meyer  
419 Canyon Ave. #200, Fort Collins, CO 80521  
970-224-1191

##### General Contractor

Lamar Valley Craftsman – Barry Schram  
2620 Brush Creek Drive, Fort Collins, CO 80528  
970-690-8526

#### 1.3 Building(s) or portion(s) of designated and eligible buildings within the area of adjacency that will be affected:

*Only the primary building will be affected, as the existing garage is not be changed.*

Is building adjacent to other buildings or structures, on or off site, and if so, how close?:

*The building to the east neighboring this property is a single-family residence, that is approximately 5' from the property line. The building to the south is approximately 15' from the property line, which is a two-story commercial building. The relocation of the proposed residence will be approximately 35' from the property line to both the south and east property lines.*

- 1.5 Are any of these other buildings or structures 50 years old or older (which ones, and what are their dates of construction, if known):

*The existing garage on the property is likely early 1900's, and the buildings of the neighboring properties is unknown.*

## **2.0 Scope of Work**

Describe the work, and how it will affect any historic building(s) (both on the subject property and on adjacent properties, if applicable). Provide descriptions on each of the following, as applicable:

### **2.1 Demolition:**

*The only portion of the existing structure that will be removed is the current east side porch, which will be rebuilt to incorporate it into the main level floor to better utilize the space. Currently the porch is stepped down, and not integrated fully with the main floor plan. All other portions of the structure will remain.*

### **2.2 Site preparation:**

*The existing stone pavers that makeup the walkway from the east side porch and connects the garage, house and Myrtle Street sidewalk will be saved and repurposed with the new landscaping at the conclusion of the project. The rest of the site will be blocked off with orange construction fencing for the duration of the project. Appropriate site safety signage will be installed at both the Matthews Street side and the Myrtle Street side.*

*The existing garage will be protected via plywood at the exterior walls, as will most of the main level windows on the main house.*

*The existing concrete driveway tracks will be difficult to maintain. The northern most track and some of the middle track will be in the excavation over-dig required per OSHA regulations. The southern most track will be protected via plywood and/or mats.*

### **2.3 Excavation:**

*Soils testing has been performed by CDS Engineering out of Loveland, and the results show well compacted soils which will not require any additional shoring beyond typical excavation practices. The basement will be excavated an additional seven feet beyond the existing foundation depth to allow for a new basement.*

2.4 Utilities:

*Existing water service and sewer service will be reused. Gas line will be upgraded per Xcel Energy requirements. Electric service will be upgraded to current standards per City of Fort Collins Light & Power Department.*

2.5 New foundation:

*The new foundation will create a basement under the home, be 9' tall and reinforced concrete with two egress windows.*

2.6 New construction:

*The existing structure will be kept as is except for the removal and rebuilding of the east porch, as depicted in the VFLA plan set. The existing windows will also be rebuilt / repaired in order to make them operational and more energy efficient / air sealed.*

2.7 Parking lot:

*N/A*

2.8 Driveways/alleyways:

*Off street parking will be accomplished via the existing garage accessed via the Matthews Street entrance. There is no alley connected to the site.*

2.9 Landscaping:

*The established mature trees will be preserved in all the yards, and landscaping will be updated once the project is complete.*

2.10 Drainage:

*An upgraded drainage plan has been / will be submitted to City Fort Collins Planning with the required construction documents at permit application.*

2.11 Other:

*None.*

### **3.0 Coordination of Project Activities**

3.1 Name of person or persons responsible for overseeing the demolition and/or construction activities:

*Barry Schram, owner of Lamar Valley Craftsman*

3.2 Will they be on site when that work is occurring?

*Yes*

3.3 If not, how may they be contacted if needed when that work is underway?

*Barry Schram @ 690-8526*

3.4 What specific coordination practices will be used to coordinate work activities?

*As Project Manager, Barry Schram will coordinate all the needed requirements with the house moving sub-contractor prior to and during this phase of the project.*

#### **4.0 Deconstruction, Salvaging & Recycling Materials**

4.1 Which historic materials will be deconstructed and salvaged?

*The existing doug-fir hardwood flooring will be kept in its current state, existing windows will be rebuilt, existing casework in the home will be kept as is, light fixtures will be repurposed in the home, concrete from existing slab will be recycled at City of Fort Collins facility, existing pavers / flagstones currently used as exterior walkways will be reused in the new landscaping.*

4.2 Which historic materials will not be salvaged, and how will they be disposed of?

*N/A*

#### **5.0 Protection of Existing Historic Property**

How will you ensure that historic buildings, structures, and surface features will not be damaged during work? What means will be used to protect them?

5.1 Site Conservation – *trees will be protected with orange boundary fence*

5.2 Demolition of Building – *East side porch which will be removed & re-built once the house is moved onto its new foundation. The surface area / siding around this area will be kept in its current state, and rebuilt as needed make the new construction appear as it had been part of the original construction.*

5.3 Foundation Stability – *existing foundation will be removed, and a new one placed. It will be the job of the house moving company to stabilize the house and remove the existing stone / cmu block foundation.*

5.4 Structural – *Existing structure has been evaluated via Structural Elements Design / Jeremy Tuck and submitted to building department as part of the permit application process and will be stabilized / upgraded per building department requirements once the house is moved.*

5.5 New Construction – *east side porch will be re-built per plan set details and protected as with any new project.*

5.6 Historic Openings & Materials – *these will be protected via plywood prior to the move which will also help insure the property is vandalized once it is moved on the site.*

5.7 New Openings – *N/A*

5.8 Floor Framing – *see 5.4*

5.9 Roof Structure and Roof Framing – *see 5.4*



- 5.10 Structural Loads – *see 5.4*
- 5.11 Supporting and Bracing of Existing Structure; Under-Pinning – *This will be coordinated via Ryberg Construction and will rely on industry BMP to stabilize the house during this phase of construction.*
- 5.12 Excavation and Shoring of Existing Structure – *see 5.11*
- 5.13 Site Cleanup – *Barry Schram will be responsible for ensuring the site is clean, which includes managing fugitive dust and cleaning up stray debris.*

## **6.0 Documentation for Record**

6.1 Does the project include measured drawings and/or photographs?

*The project will use detailed Construction Documents created by an architect including structural design drawings. The documents have been / will be submitted to the building Department as part of the building permit process.*

6.2 Where will these be stored?

*Hard copy documents have been submitted to the Building Department and to Historical Preservation.*

## **7.0 Archeology**

How will you address archeological resources if they are likely to be present or if you should unexpectedly find them?

*If discovered, the Fort Collins Museum of Discovery will be contacted immediately.*

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80524



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IN ASSOCIATION WITH:



PHONE: (307) 421-7888  
tuck@elevation-sd.com  
CONTACT: JEREMY TUCK

## CONSTRUCTION SET 11-13-2020

### SHEET ISSUANCES

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## ARCHITECTURAL SITE PLAN

DRAWING NUMBER:

# A0.1

### GENERAL SITE NOTES:

- SOILS ENGINEER SHALL REVIEW SOILS CONDITIONS DURING OPEN HOLE INSPECTION. STRUCTURAL ENGINEER TO VERIFY SOIL CONDITIONS MEET ASSUMED CONDITIONS FOR STRUCTURAL CALCULATIONS.
- VERIFY LOCATIONS OF EXISTING UTILITIES BEFORE PROCEEDING WITH EXCAVATIONS.
- ALL GRADING AND CONC. PAVING SHALL SLOPE AWAY FROM THE BUILDING.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ADEQUATE DRAINAGE THROUGHOUT THE SITE DURING THE PROCESS OF EXCAVATION AND GRADING. THE GRADE SHALL BE MAINTAINED IN SUCH CONDITION THAT IT IS WELL DRAINED AT ALL TIMES.
- ADJACENT STREETS AND PARKING AREA SHALL BE KEPT FREE OF MUD & DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF MUD AND DEBRIS AT THE END OF EACH DAY.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS TO REMAIN FROM DAMAGE. DAMAGED ITEMS SHALL BE REPLACED, REPAIRED OR RESTORED BY CONTRACTOR AT NO COST TO THE OWNER. IF, IN THE OPINION OF THE CONTRACTOR, EXISTING IMPROVEMENTS TO REMAIN WILL BE DAMAGED OR REQUIRE REMOVAL TO ACCOMPLISH CONSTRUCTION, CONTRACTOR SHALL INCLUDE THE COST OF REPAIR OR REPLACEMENT IN BASE BID.
- ALL IMPROVEMENTS ON PUBLIC PROPERTY SHALL CONFORM WITH THE LOCAL RULES, REGULATIONS AND ORDINANCES.

### IMPERVIOUS SURFACE AREA CALCULATION

| EXISTING IMPERVIOUS SURFACE AREAS: |                                |
|------------------------------------|--------------------------------|
| HOUSE                              | 2082 SQ FT                     |
| GARAGE                             | 665 SQ FT                      |
| SHED                               | 156 SQ FT                      |
| HARDSCAPE                          | + 1135 SQ FT                   |
| TOTAL                              | 2903 SQ FT (24.2% OF LOT AREA) |

| ADDITIONAL IMPERVIOUS SURFACE AREAS: |                              |
|--------------------------------------|------------------------------|
| HOUSE                                | 222 SQ FT                    |
| HARDSCAPE                            | + 90 SQ FT                   |
| TOTAL                                | 312 SQ FT (2.6% OF LOT AREA) |

**TOTAL PROPOSED IMPERVIOUS SURFACE AREA:**  
3215 SQ FT (26.8% OF LOT AREA)

(\*NOTE: ALL AREAS OF STRUCTURES INCLUDE ROOF OVERHANGS)

### CODE DATA

Codes: 2018 I.R.C. w/ LOCAL AMMENDMENTS  
2018 I.F.C.      2018 I.E.C.C.

|                |                                 |
|----------------|---------------------------------|
| ROOF           | MIN R-49                        |
| WALLS          | MIN R-20                        |
| BASEMENT WALLS | MIN R-15 CONT. OR R-19 @ CAVITY |
| WINDOW U-VALUE | MAX .30                         |

Address: 600 MATHEWS ST  
FORT COLLINS, CO 80524

Site Area: 0.28 ACRES (12,000 SF)

Zone District: NCM DISTRICT

Occupancy Classification: TYPE R-3

Construction Type: V-B

Number of Stories: 2

Max Allowable Floor Area on Overall Lot:  
4.8(D)(2)(a)3  
35% of total lot area  
= (.35) x (12,000 sf)  
= 4200 sf

Proposed Floor Area on Overall Lot:

|                        |           |
|------------------------|-----------|
| Existing - Garage      | 564 sf    |
| Existing - Main Level  | 1202 sf   |
| Existing - Upper Level | 583 sf    |
| Addition - Main Level  | + 313 sf  |
| TOTAL:                 | = 2662 sf |

Max Allowable Floor Area on Rear Half of Lot:  
4.8(D)(3)  
33% of rear 50% of lot area  
= (.33) x (6,000 sf)  
= 1980 sf

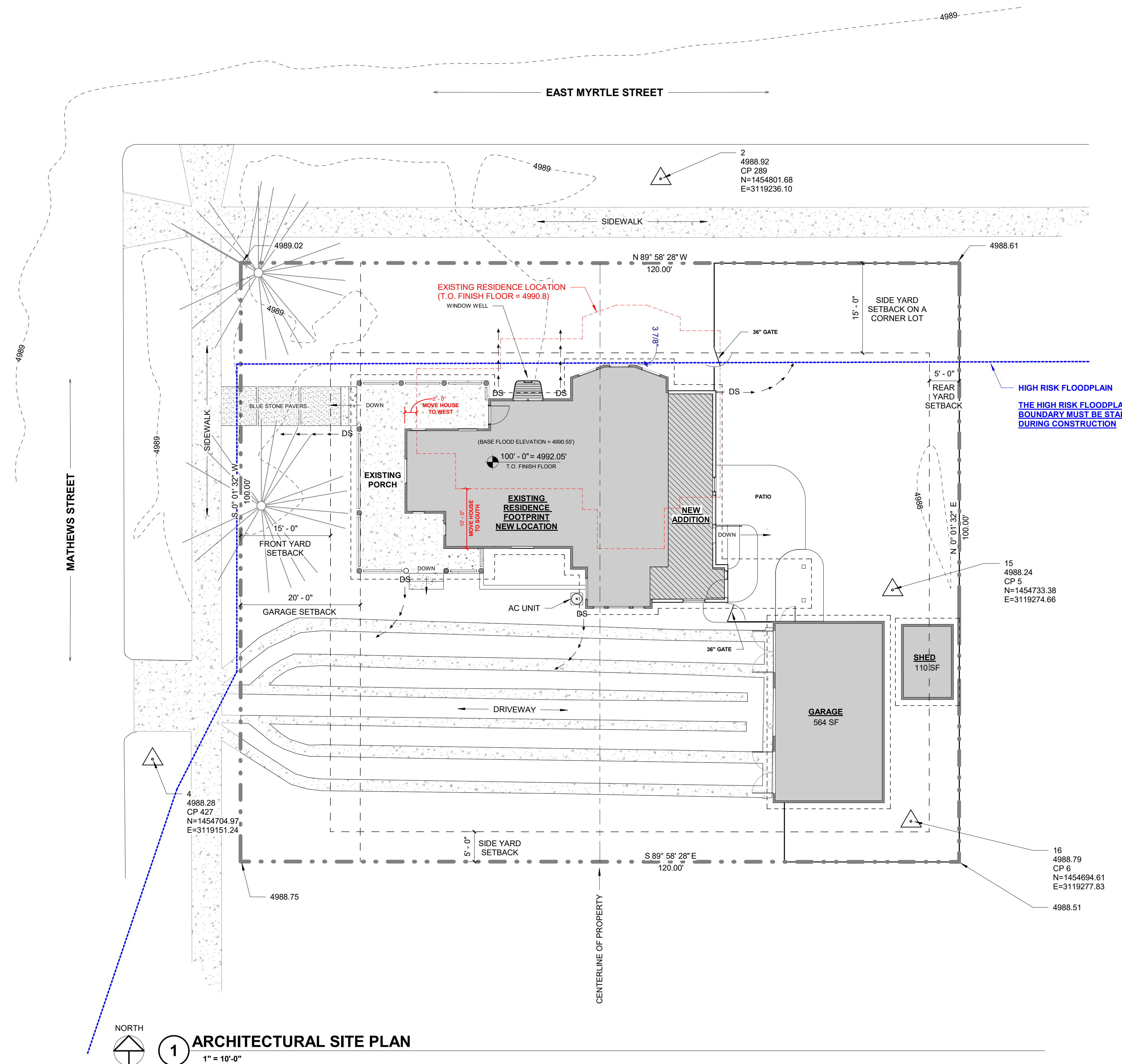
Proposed Floor Area on Rear Half of Lot:

|                        |           |
|------------------------|-----------|
| Existing - Garage      | 564 sf    |
| Existing - Main Level  | 438 sf    |
| Existing - Upper Level | 304 sf    |
| Addition - Main Level  | + 313 sf  |
| TOTAL:                 | = 1619 sf |

### FLOOR AREA ANALYSIS (SQ.FT.):

| FINISHED AREA          |         |
|------------------------|---------|
| Name                   | Area    |
| ADDITION - BASEMENT    | 1356 SF |
| ADDITION - MAIN LEVEL  | 313 SF  |
| EXISTING - MAIN LEVEL  | 1202 SF |
| EXISTING - UPPER LEVEL | 583 SF  |
| TOTAL:                 | 3453 SF |

IN THE CITY OF FORT COLLINS:  
ALL ROOFING PERMITS ARE REQUIRED TO COMPLETE A WASTE MANAGEMENT PLAN INCLUDING THE LOCATION & AMOUNT OF WASTE DISPOSED. KEEP ALL LANDFILL & RECYCLING DISPOSAL TICKETS. THE WASTE MANAGEMENT PLAN CAN BE FOUND AT [fgov.com/constructionrecycling](http://fgov.com/constructionrecycling)



1 ARCHITECTURAL SITE PLAN  
1" = 10'-0"



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tuck@elevation-sd.com  
CONTACT: JEREMY TUCK

## CONSTRUCTION SET 11-13-2020

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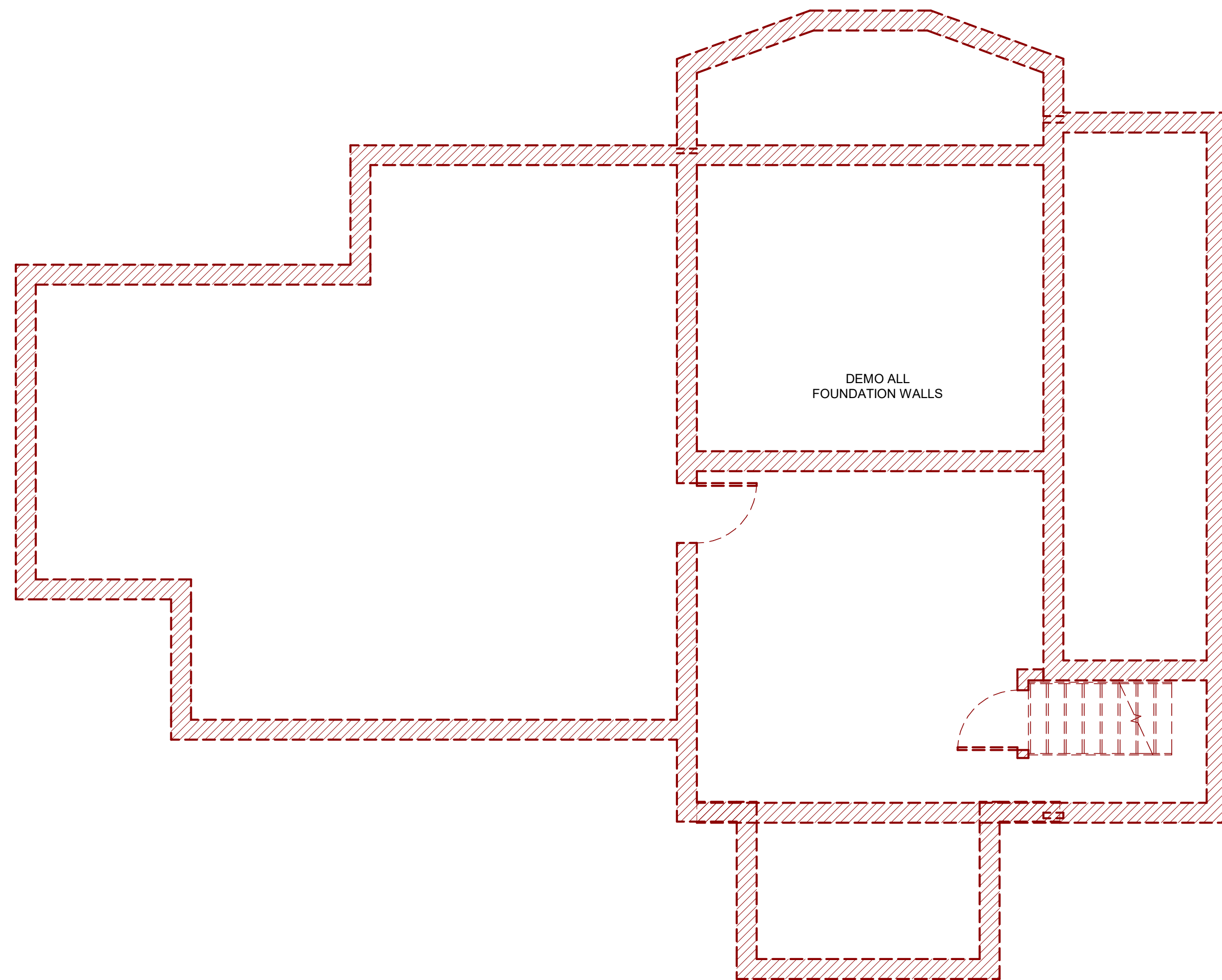
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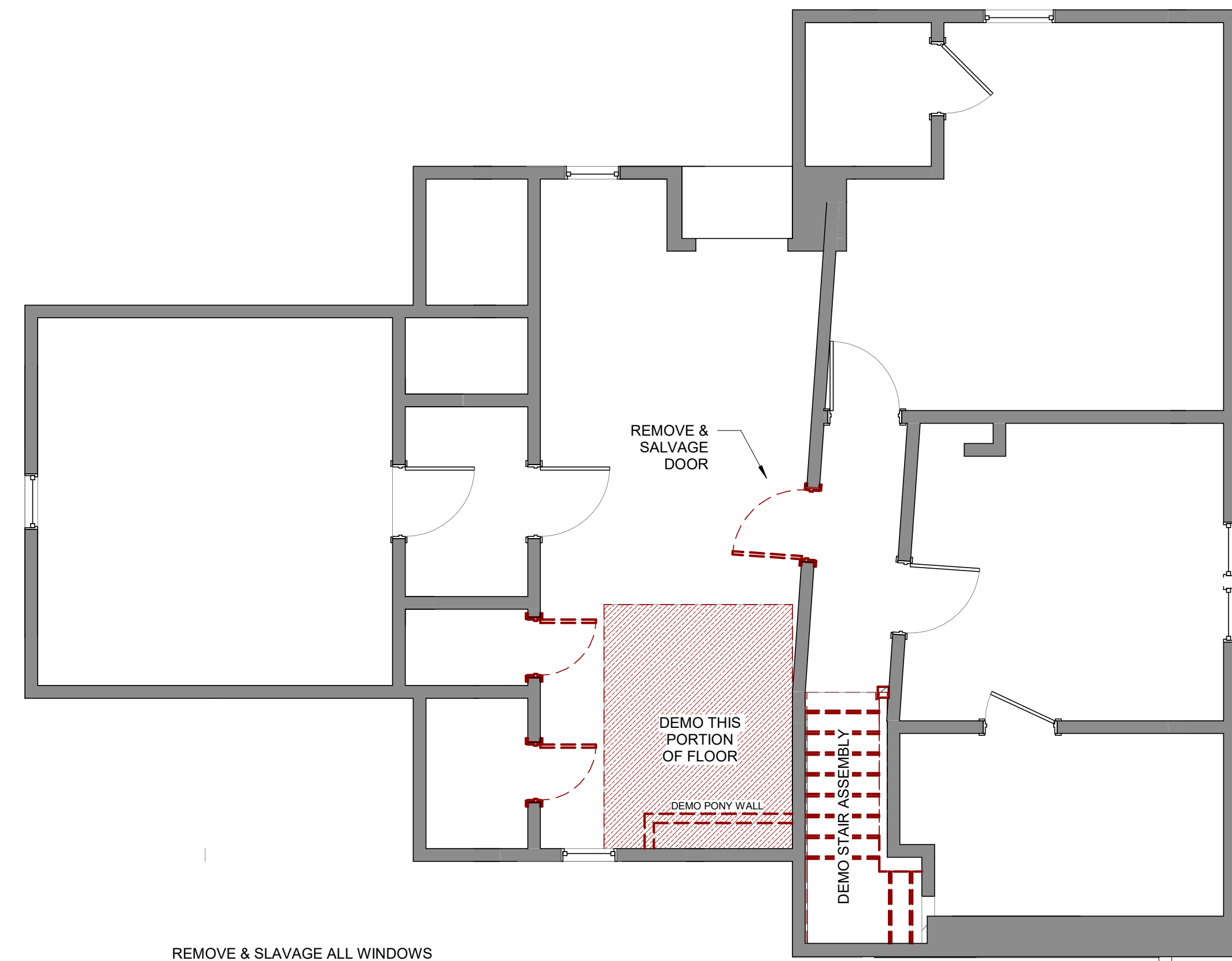
## DEMOLITION PLANS

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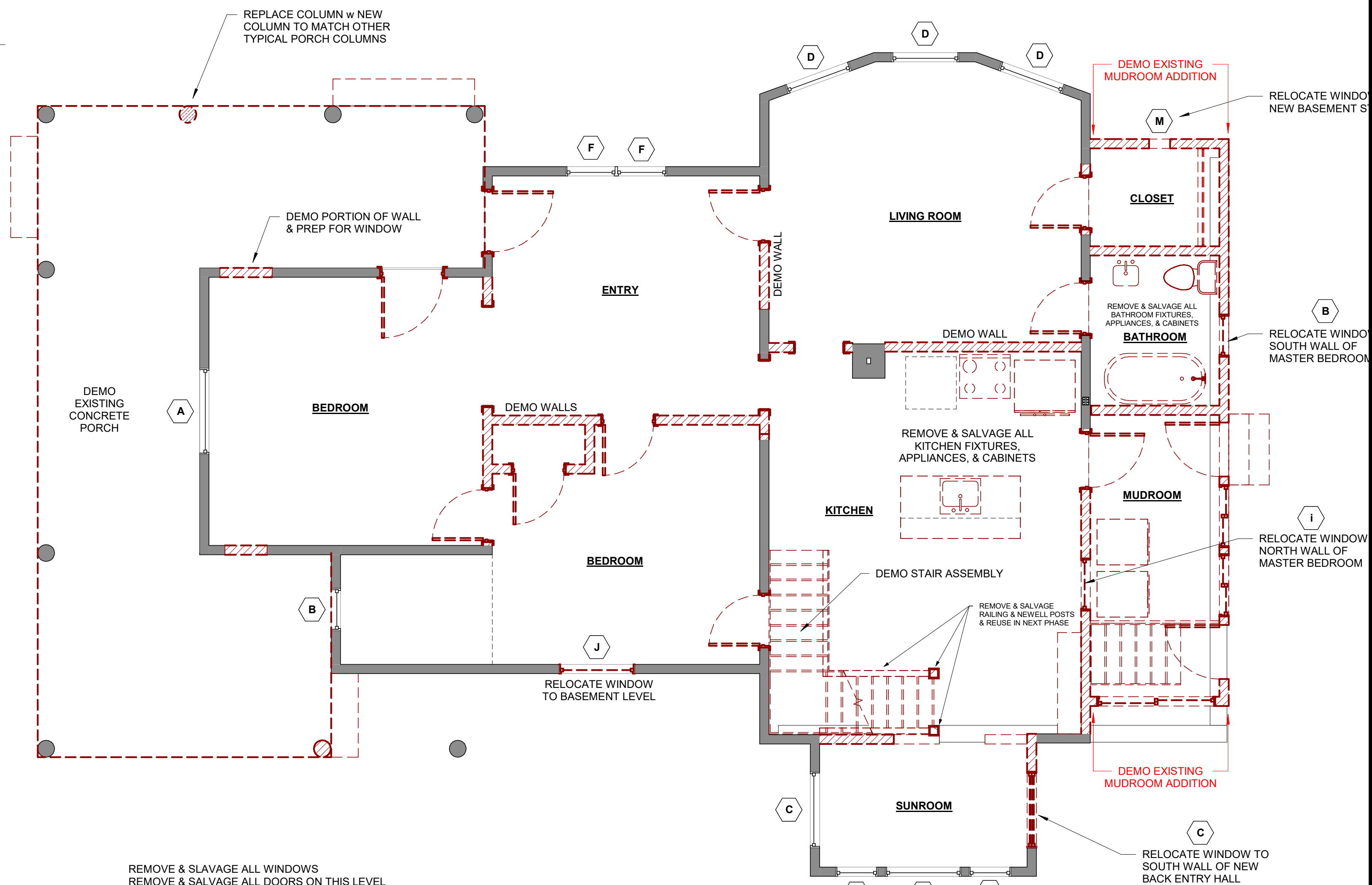
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NORTH  
**3 LOWER FLOOR PLAN**  
1/4" = 1'-0"



NORTH  
**2 UPPER FLOOR - DEMO PLAN**  
1/4" = 1'-0"



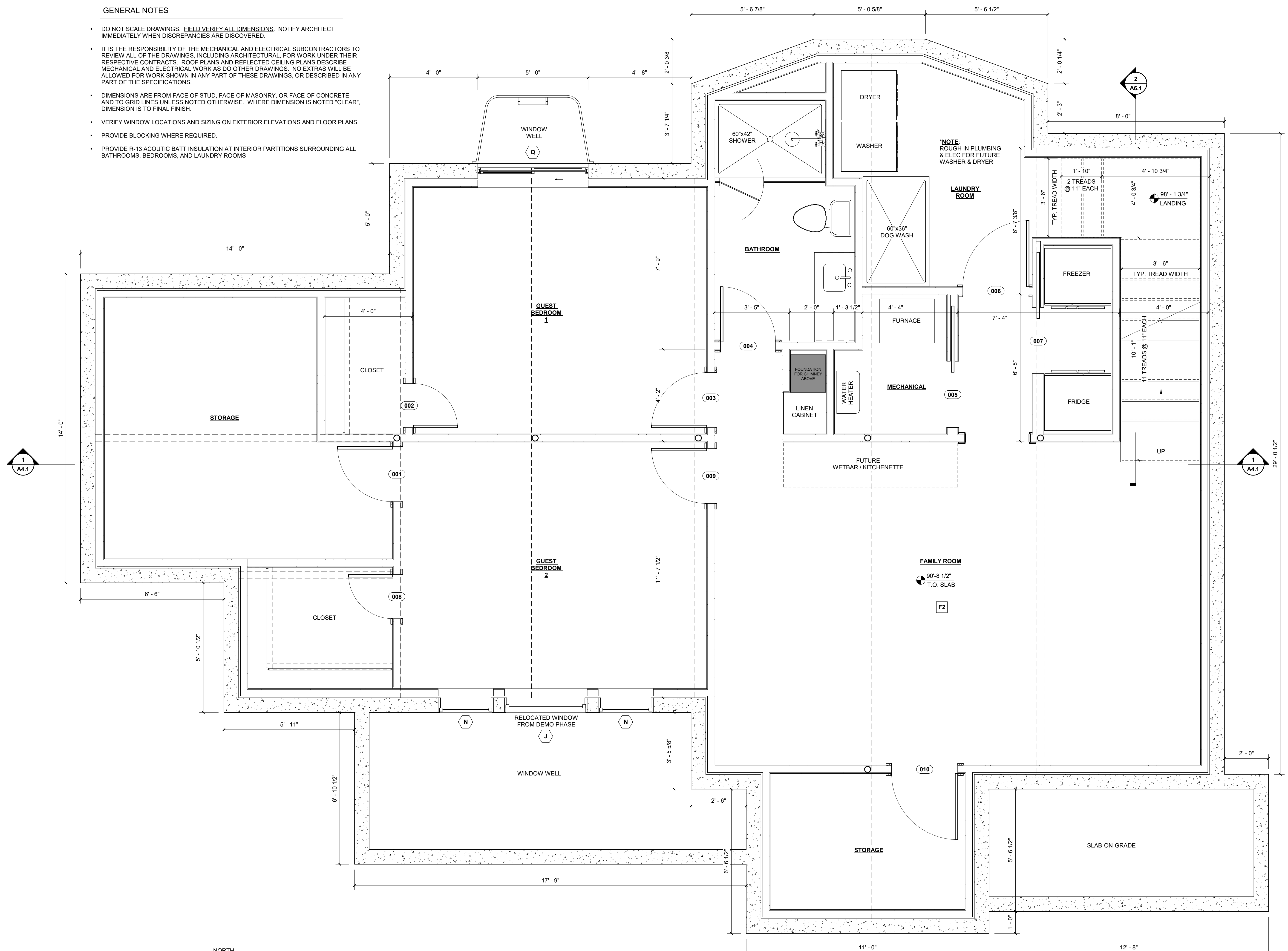
NORTH  
**1 MAIN FLOOR - DEMO PLAN**  
1/4" = 1'-0"

### GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL COORDINATE AND IMPLEMENT ALL SAFETY MEASURES REQUESTED AND REQUIRED BY THE LOCAL FIRE MARSHALL, HEALTH DEPARTMENT, BUILDING OFFICIALS AND OTHER GOVERNING AGENCIES.
2. THE CONTRACTOR SHALL COORDINATE THE SALVAGE OF EXISTING MATERIAL AND EQUIPMENT WITH THE OWNER. THE OWNER RETAINS SALVAGE RIGHTS TO MATERIALS AND EQUIPMENT REMOVED FROM THE BUILDING AS PART OF THE PROJECT.
3. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL EQUIPMENT WHICH IS TO REMAIN IF DAMAGED BY CONSTRUCTION ACTIVITIES.
4. REMOVE EXISTING EXTERIOR LIGHTING EXCEPT AS SHOWN TO REMAIN. RE-USE CONDUIT UNLESS OTHERWISE REQUIRED BY NEW CONSTRUCTION.
5. THE CONTRACTOR SHALL MAINTAIN THE SECURITY OF THE BUILDING THROUGHOUT THE ENTIRE CONSTRUCTION SCHEDULE.
6. ON SITE SALE AND/OR DISPOSAL OF AND/OR BURNING OF DEMOLISHED ITEMS IS NOT PERMITTED.
7. REMOVE ADHESIVE FROM FLOOR SURFACES WHERE GLUE APPLIED CARPETING HAS BEEN REMOVED AND WHERE VCT HAS BEEN REMOVED.
8. THE CONTRACTOR SHALL KEEP ALL EXIT WAYS FREE OF STORED MATERIALS AND CONSTRUCTION DEBRIS AT ALL TIMES IN ORDER TO GIVE NEIGHBORS CLEAR ACCESS TO EXIT WAYS.
9. DISRUPTION OF UTILITIES TO THE EXISTING BUILDING SHALL BE COORDINATED WITH THE OWNER AT LEAST 48 HOURS PRIOR TO THE PLANNED DISRUPTION.

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- PROVIDE BLOCKING WHERE REQUIRED.
- PROVIDE R-13 ACOUSTIC BATT INSULATION AT INTERIOR PARTITIONS SURROUNDING ALL BATHROOMS, BEDROOMS, AND LAUNDRY ROOMS.



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NORTH  
  
**1 LOWER FLOOR PLAN**  
 1/2" = 1'-0"

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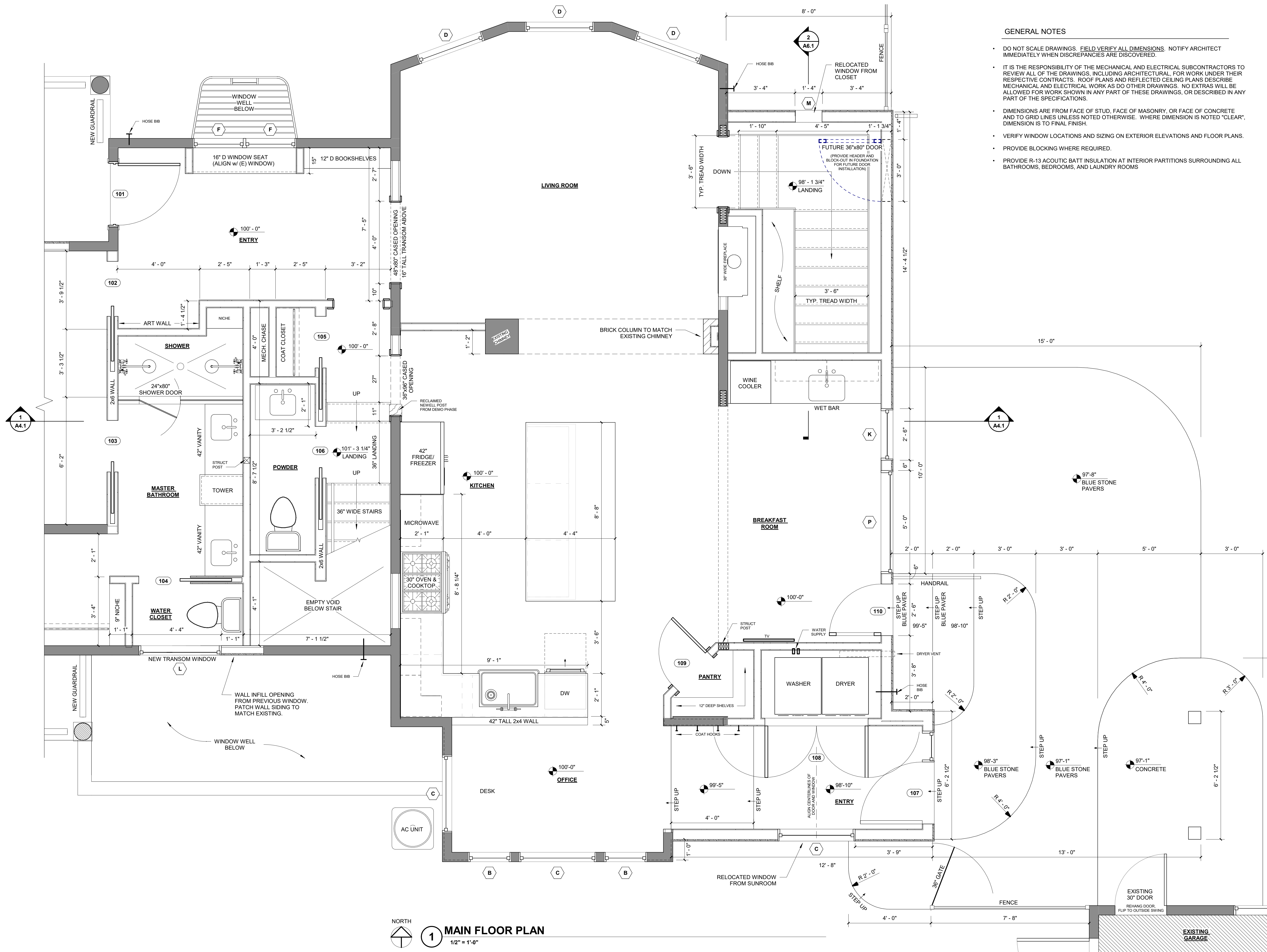
**LOWER FLOOR PLAN**

DRAWING NUMBER:

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**1 MAIN FLOOR PLAN**  
1/2" = 1'-0"

PROJECT NUMBER: 2019-14

**NAFFZIGER RESIDENCE**

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**MAIN FLOOR PLAN - EAST**

DRAWING NUMBER:

**A1.1**

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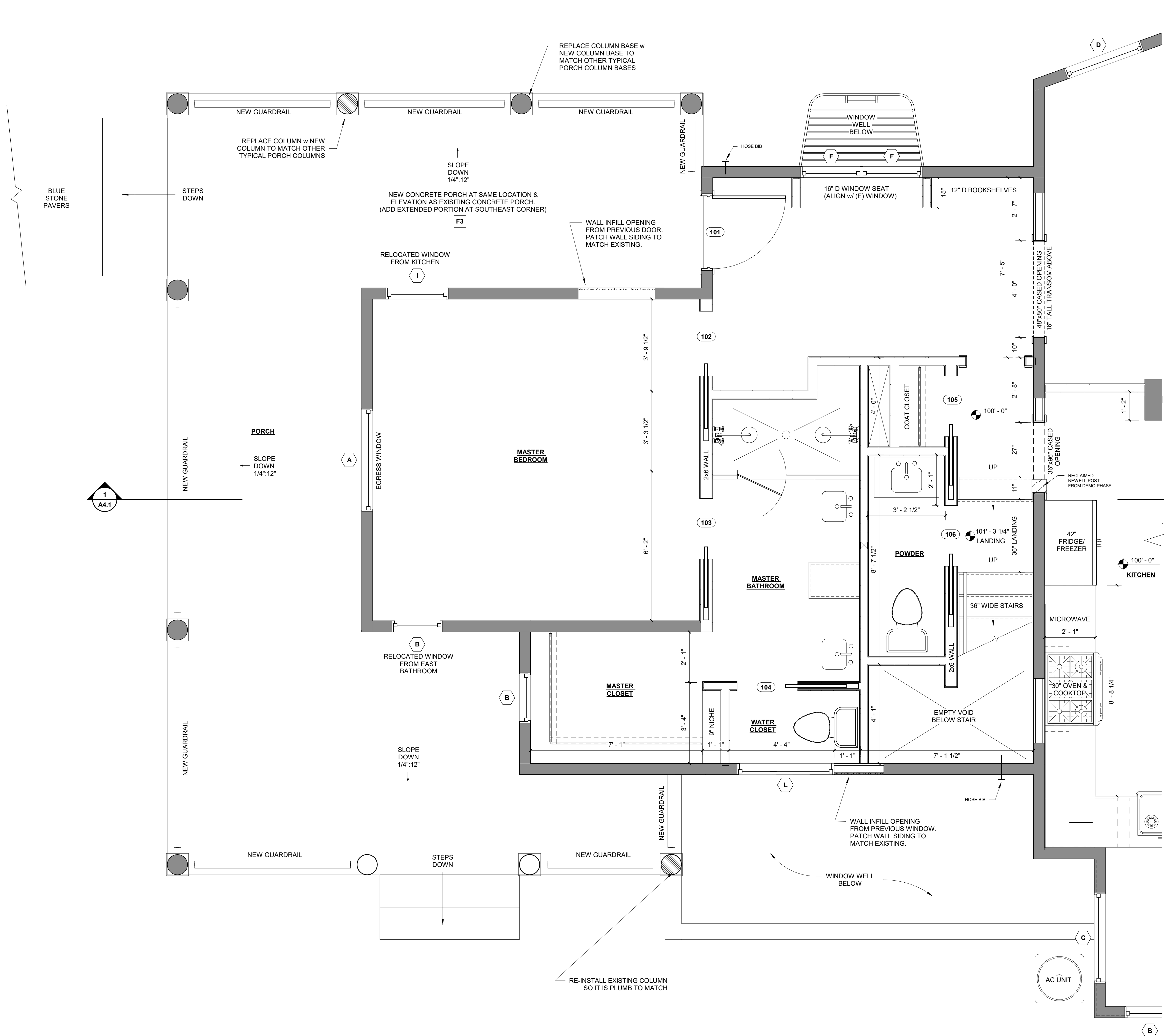


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**MAIN FLOOR PLAN - WEST**

DRAWING NUMBER:

**A1.2**



**2 PORCH FLOOR PLAN**  
1/2" = 1'-0"

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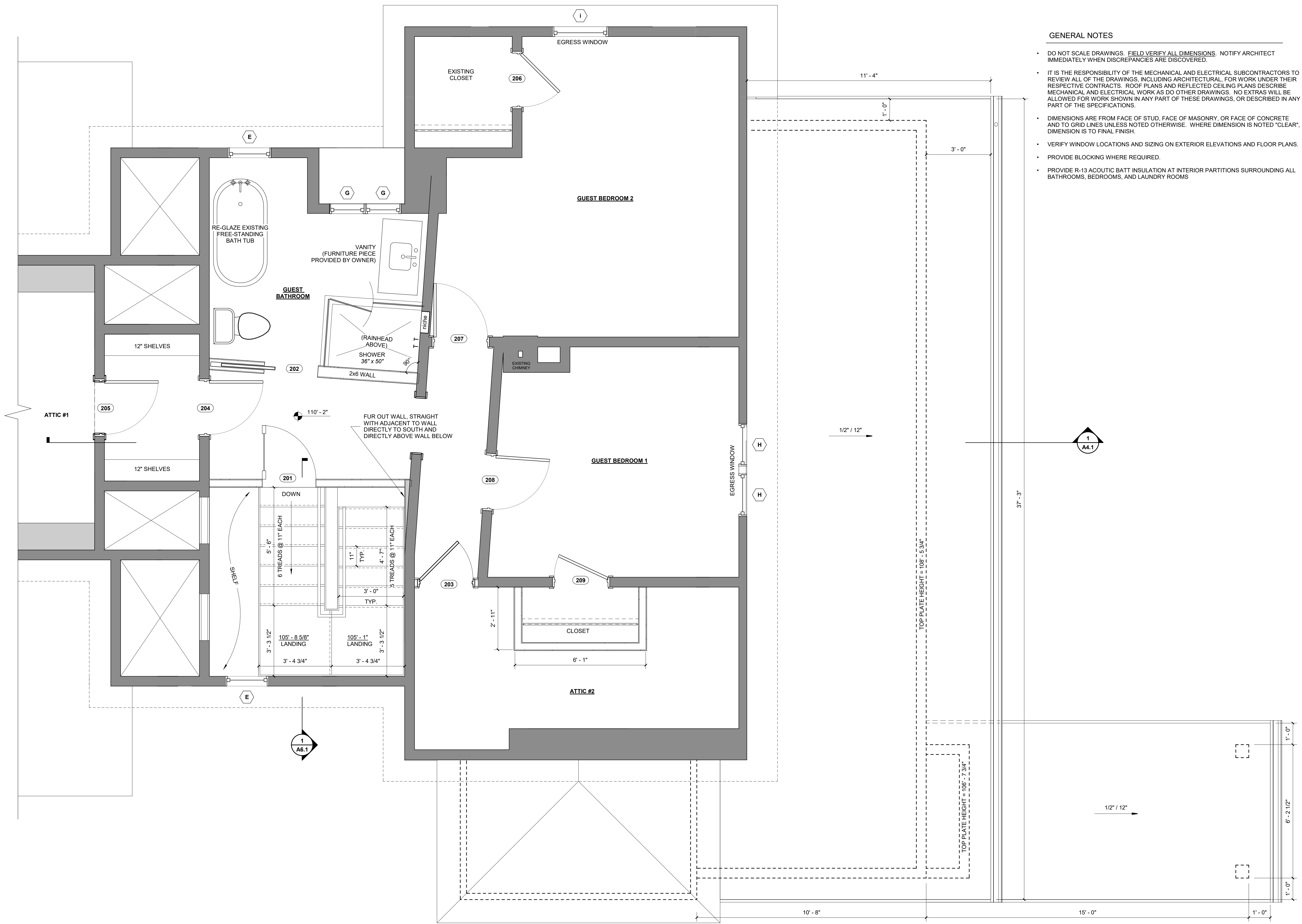
**UPPER FLOOR PLAN & LOWER ROOF PLAN**

DRAWING NUMBER:

**A1.3**

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**1 UPPER FLOOR PLAN**  
1/2" = 1'-0"



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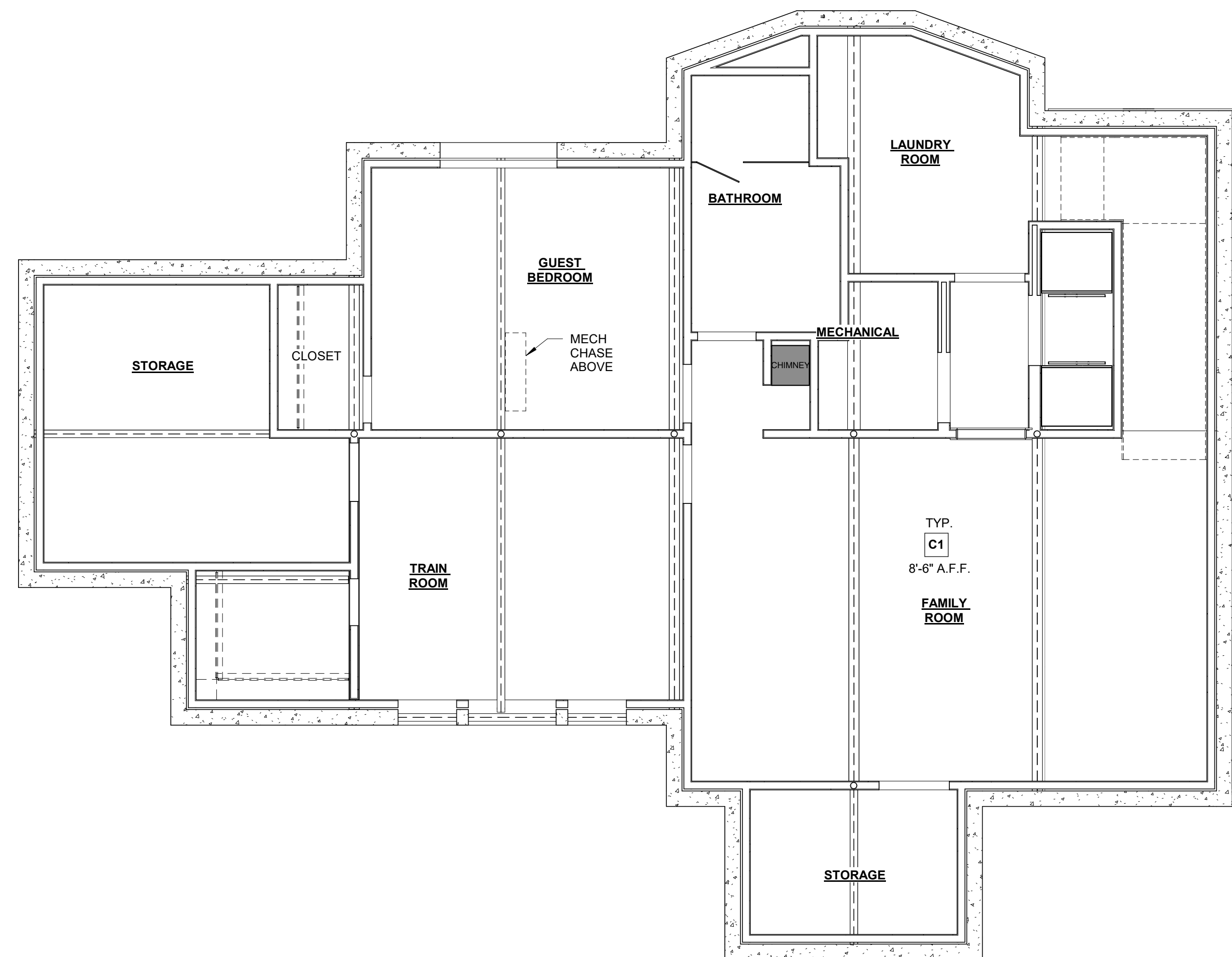
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**3 LOWER LEVEL REFLECTED CEILING PLAN**  
1/4" = 1'-0"



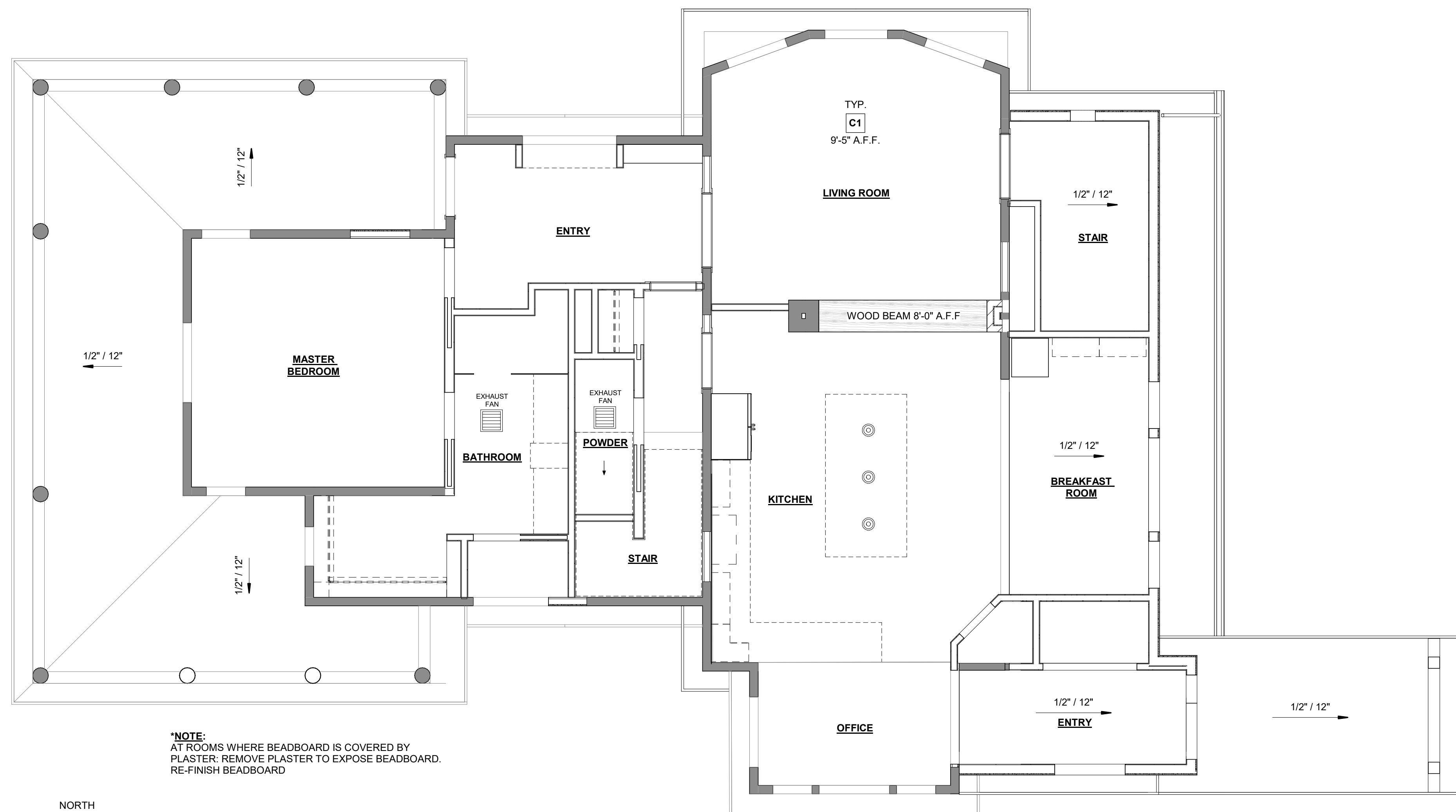
**2 UPPER LEVEL REFLECTED CEILING PLAN**  
1/4" = 1'-0"

### GENERAL CEILING NOTES

- CEILING HEIGHTS AS NOTED ON THIS PLAN. REFERENCE INTERIOR ELEVATIONS FOR GYP. BOARD SOFFIT HEIGHTS. ALL CEILING HEIGHTS TO B.O. STRUCTURE UNLESS NOTED OTHERWISE. COORDINATE ALL MECHANICAL, ELECTRICAL, AND FIRE SUPPRESSION SYSTEMS THAT INTERFACE WITHIN CEILING.
- IT IS THE RESPONSIBILITY OF THE MECHANICAL AND ELECTRICAL SUBCONTRACTORS TO REVIEW ALL OF THE DRAWINGS, INCLUDING ARCHITECTURAL, FOR WORK UNDER THEIR RESPECTIVE CONTRACTS. ROOF PLANS AND REFLECTED CEILING PLANS DESCRIBE MECHANICAL AND ELECTRICAL WORK AS DO OTHER DRAWINGS. NO EXTRAS WILL BE ALLOWED FOR WORK SHOWN IN ANY PART OF THESE DRAWINGS, OR DESCRIBED IN ANY PART OF THE SPECIFICATIONS.
- PROVIDE A MINIMUM OF R-13 INSULATION BETWEEN FLOOR JOIST ABOVE LIVING UNITS.
- ALL GYP. BOARD TERMINATION AT MASONRY WALLS SHALL HAVE A 1/4" J-MOLD REVEAL.
- ALL SOFFITED CONCEALED SPACES TO BE CONSTRUCTED OF LIGHT GAUGE MTL STUDS AND GYP BOARD.

### GENERAL NOTES

- DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IMMEDIATELY WHEN DISCREPANCIES ARE DISCOVERED.
- IT IS THE RESPONSIBILITY OF THE MECHANICAL AND ELECTRICAL SUBCONTRACTORS TO REVIEW ALL OF THE DRAWINGS, INCLUDING ARCHITECTURAL, FOR WORK UNDER THEIR RESPECTIVE CONTRACTS. ROOF PLANS AND REFLECTED CEILING PLANS DESCRIBE MECHANICAL AND ELECTRICAL WORK AS DO OTHER DRAWINGS. NO EXTRAS WILL BE ALLOWED FOR WORK SHOWN IN ANY PART OF THESE DRAWINGS, OR DESCRIBED IN ANY PART OF THE SPECIFICATIONS.
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- VERIFY WINDOW LOCATIONS AND SIZING ON EXTERIOR ELEVATIONS AND FLOOR PLANS.
- PROVIDE BLOCKING WHERE REQUIRED.
- PROVIDE R-13 ACOUTIC BATT INSULATION AT INTERIOR PARTITIONS SURROUNDING ALL BATHROOMS, BEDROOMS, AND LAUNDRY ROOMS



**1 MAIN LEVEL REFLECTED CEILING PLAN**  
1/4" = 1'-0"

**\*NOTE:**  
AT ROOMS WHERE BEADBOARD IS COVERED BY PLASTER: REMOVE PLASTER TO EXPOSE BEADBOARD. RE-FINISH BEADBOARD

### CONSTRUCTION SET 11-13-2020

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### REFLECTED CEILING PLANS

DRAWING NUMBER:

# A2.1

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# NAFFZIGER RESIDENCE

600 MATHEWS STREET  
FORT COLLINS, CO  
80524



Strength in design. Strength in partnership.  
Strength in community.

419 Canyon Ave Suite 200, Fort Collins, CO 80521 | 970.224.1191  
108 East Lincolnway, Cheyenne, WY 82001 | 307.635.5710  
www.vfla.com

IN ASSOCIATION WITH:



PHONE: (307) 421-7868  
tuck@elevation-sd.com  
CONTACT: JEREMY TUCK

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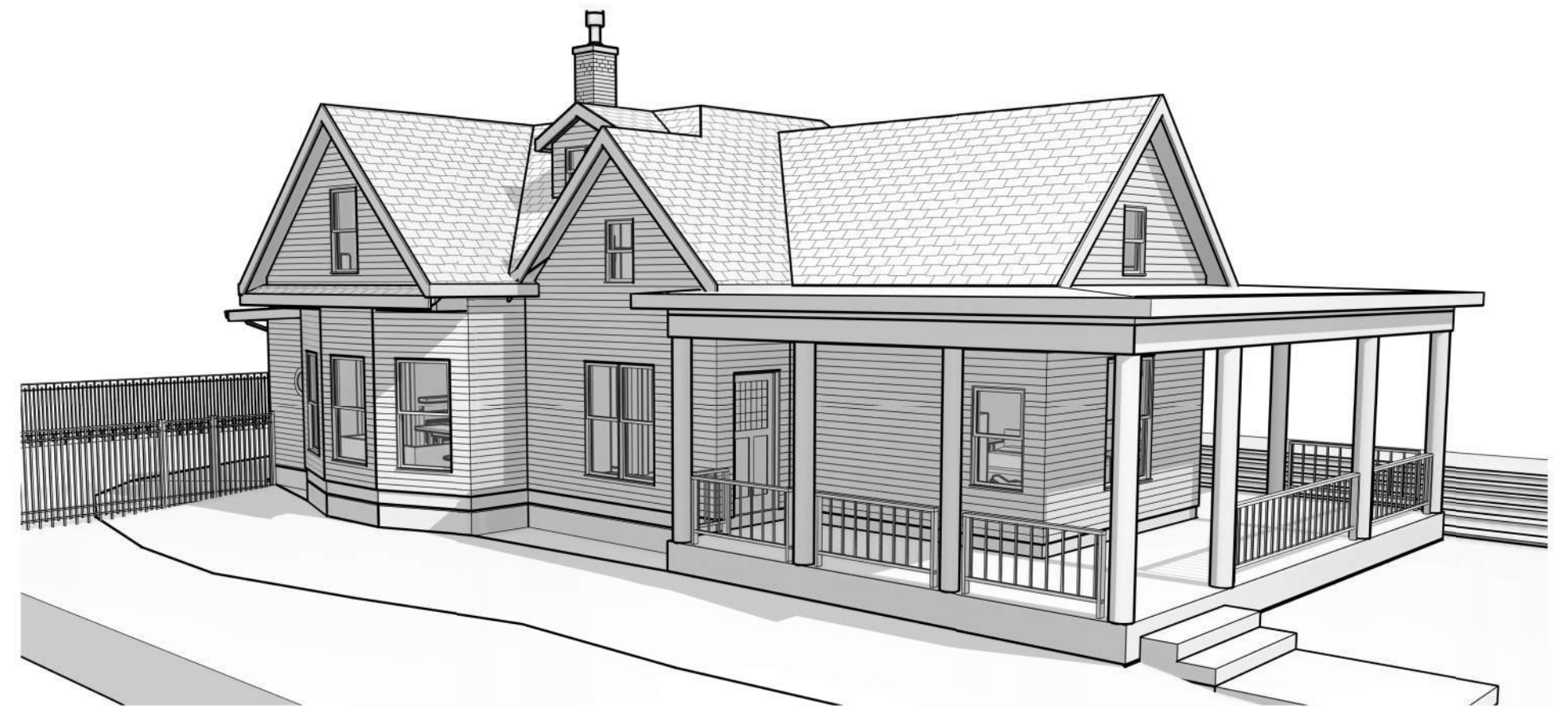
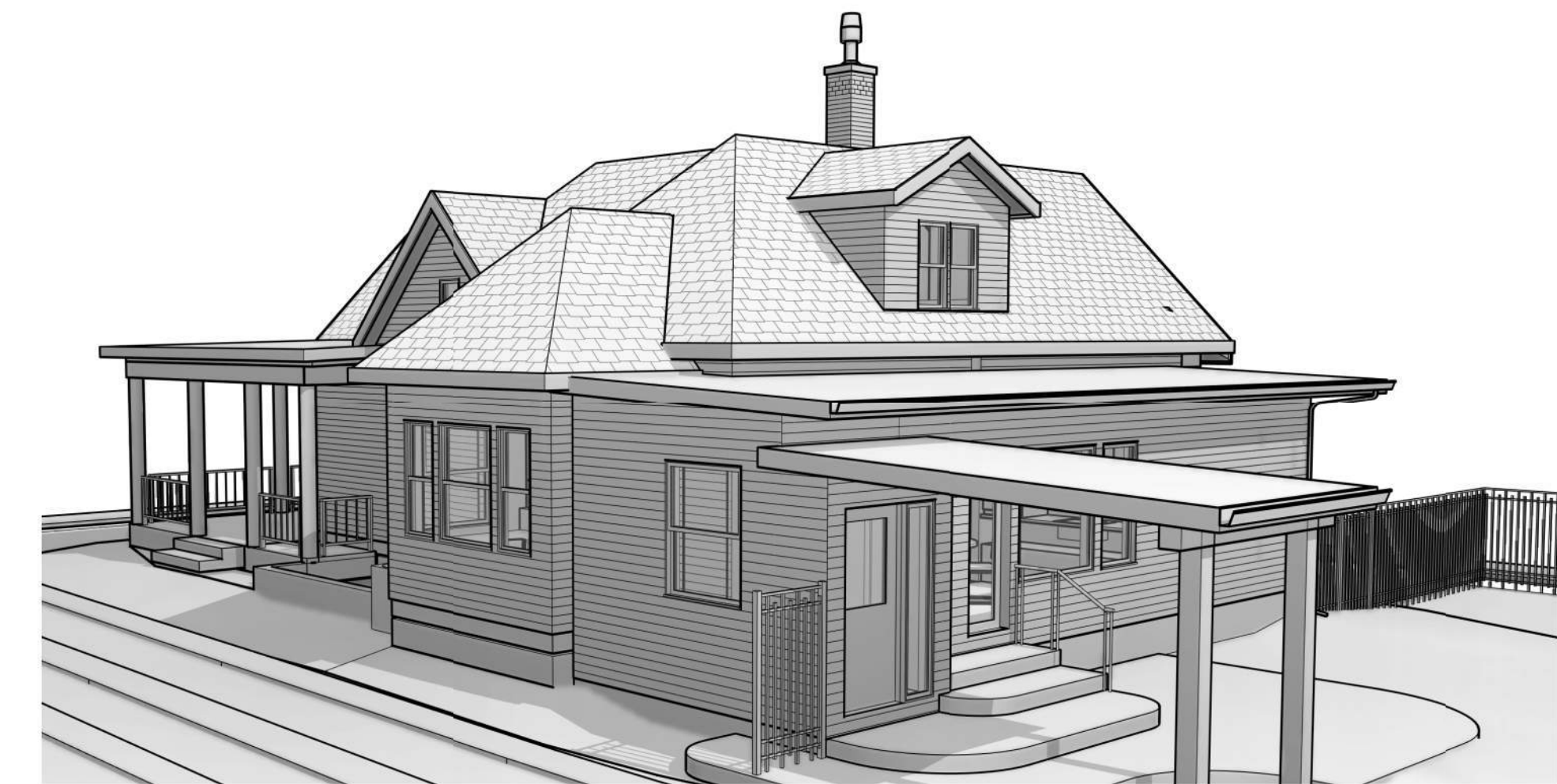
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## EXTERIOR ELEVATIONS

DRAWING NUMBER:

# A3.1

**GENERAL NOTES:**  
ALL REMAINING WINDOWS TO BE REPAIRED.  
ALL REPLACEMENT SIDING AND TRIM TO MATCH EXISTING.  
ALL SIDING AND TRIM TO BE PAINTED A NEW COLOR SCHEME. COLOR SCHEME TBD.



2 PROPOSED WEST ELEVATION  
1/4" = 1'-0"



1 PROPOSED EAST ELEVATION  
1/4" = 1'-0"



**2 PROPOSED SOUTH ELEVATION**  
1/4" = 1'-0"



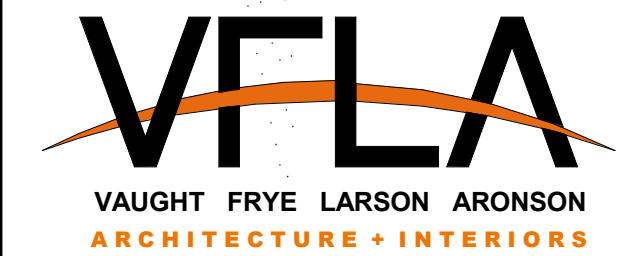
**1 PROPOSED NORTH ELEVATION**  
1/4" = 1'-0"

GENERAL NOTES:  
ALL REMAINING WINDOWS TO BE REPAIRED.  
ALL REPLACEMENT SIDING AND TRIM TO MATCH EXISTING.  
ALL SIDING AND TRIM TO BE PAINTED A NEW COLOR SCHEME. COLOR SCHEME TBD.

PROJECT NUMBER: 2019-14

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tuck@elevation-sd.com  
CONTACT: JEREMY TUCK

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## EXTERIOR ELEVATIONS

DRAWING NUMBER:

# A3.2

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CONTACT: JEREMY TUCK

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SHEET ISSUANCES

DESCRIPTION DATE

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No. Description Date

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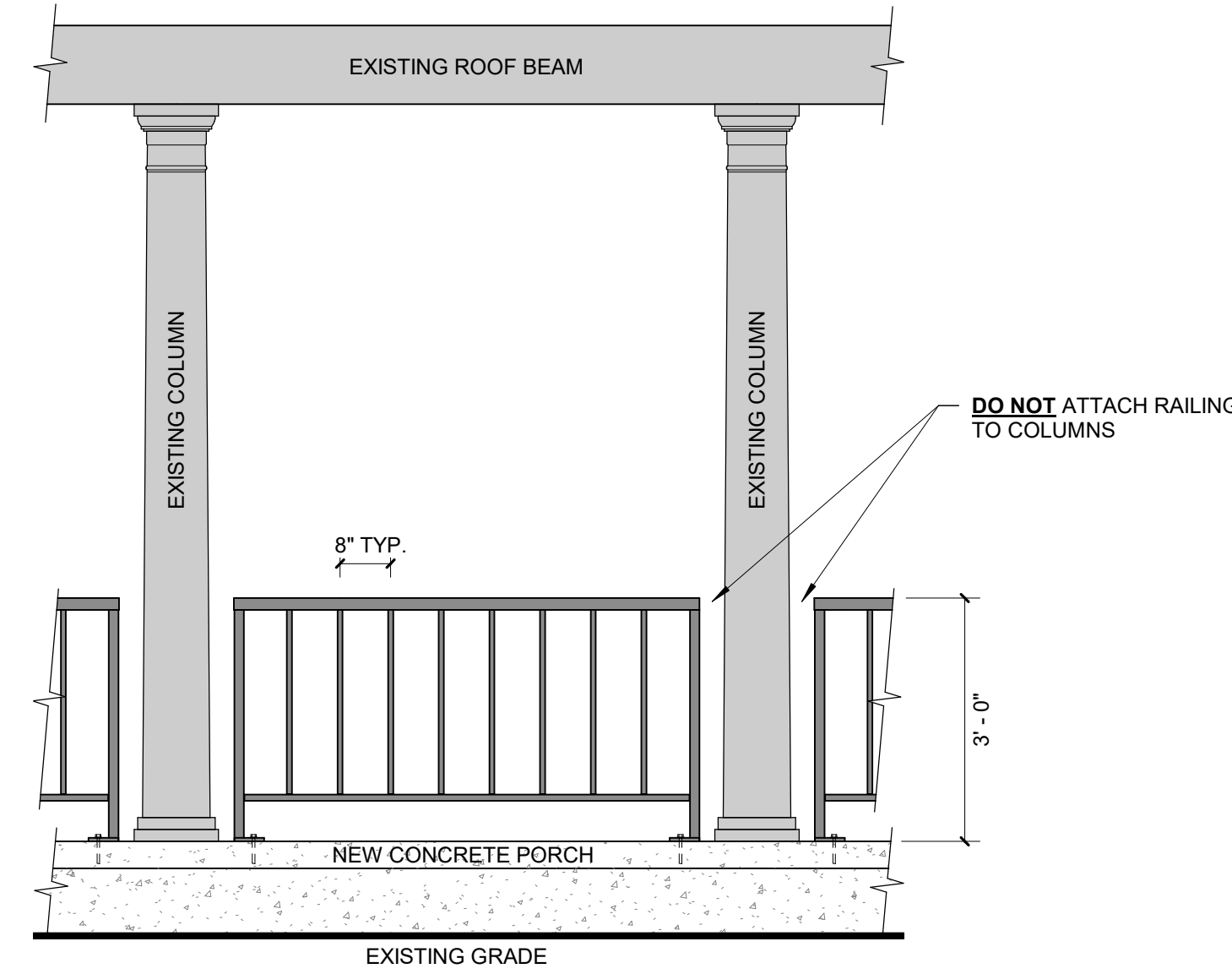
## SECTIONS & DETAILS

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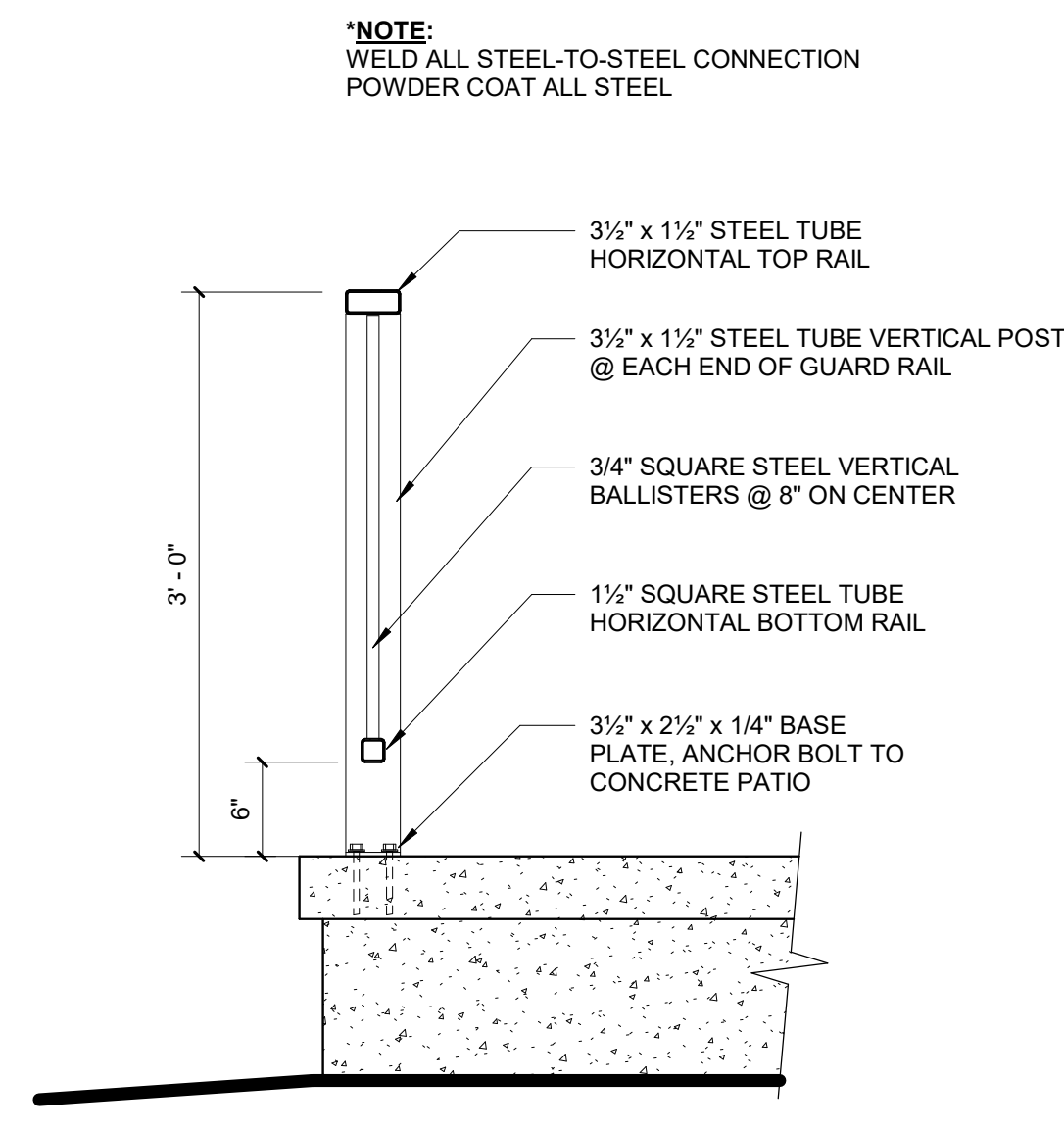
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### GENERAL NOTES

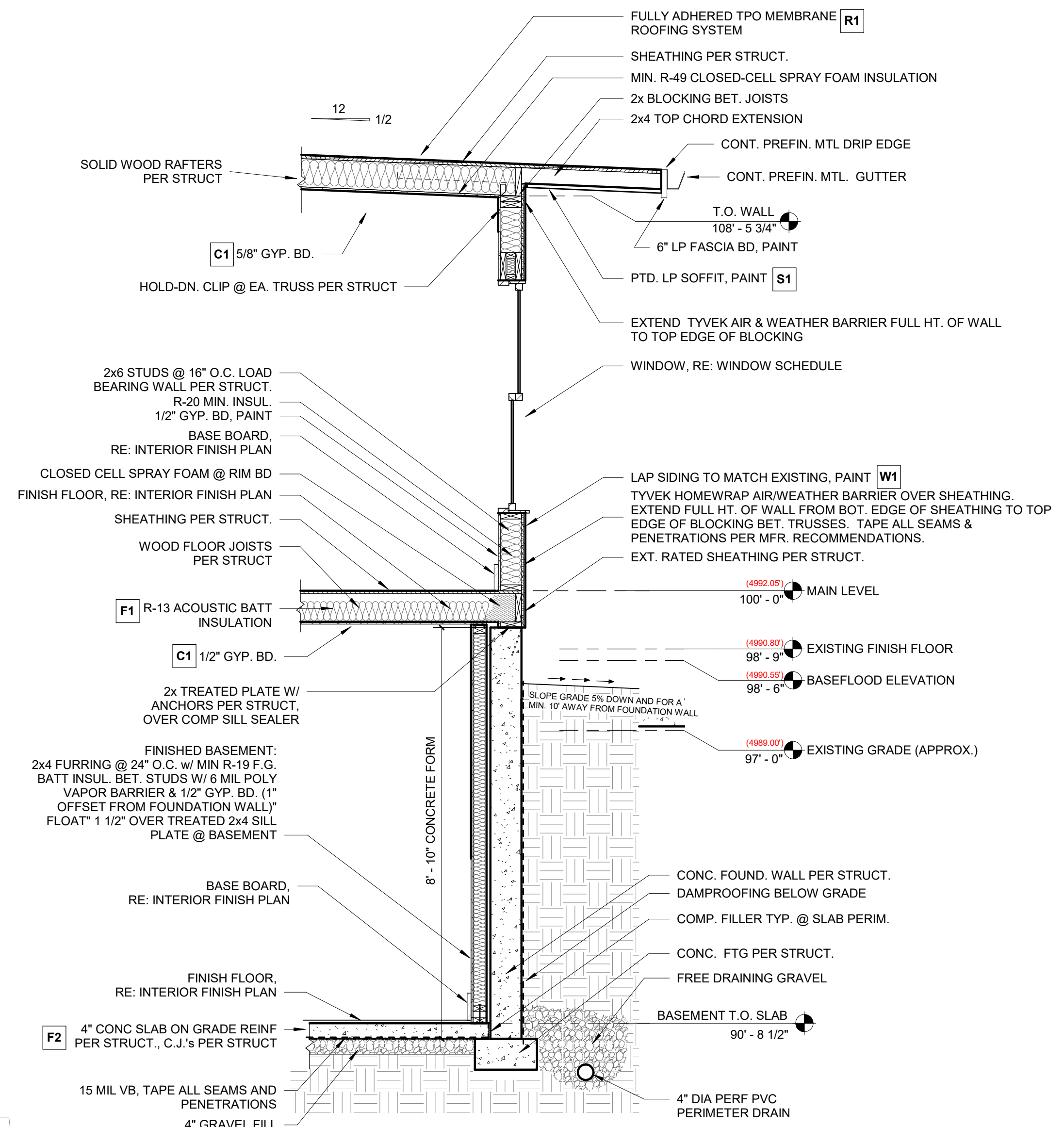
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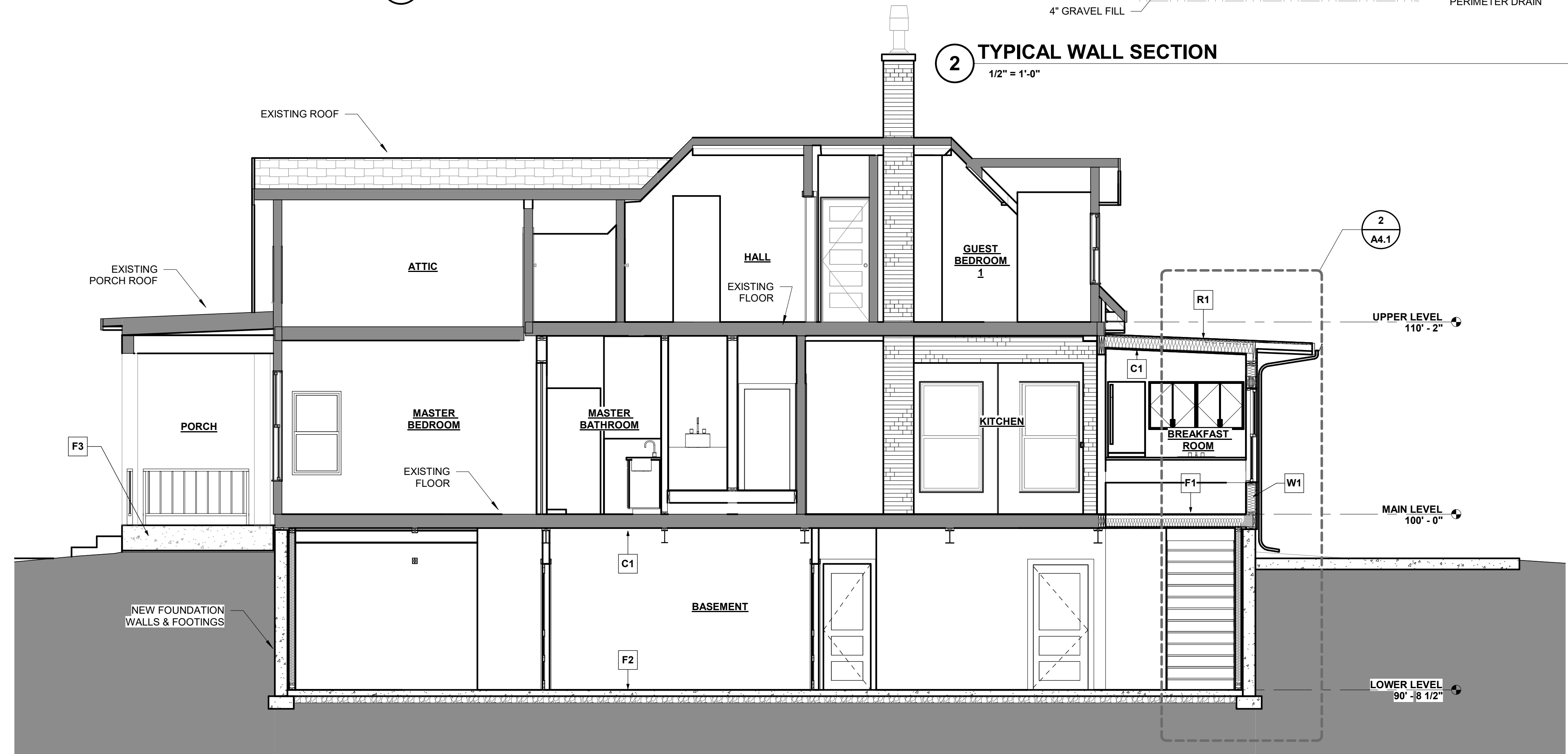
4 PORCH RAILING - ELEVATION  
1/2" = 1'-0"



3 PORCH RAILING - SECTION  
1" = 1'-0"



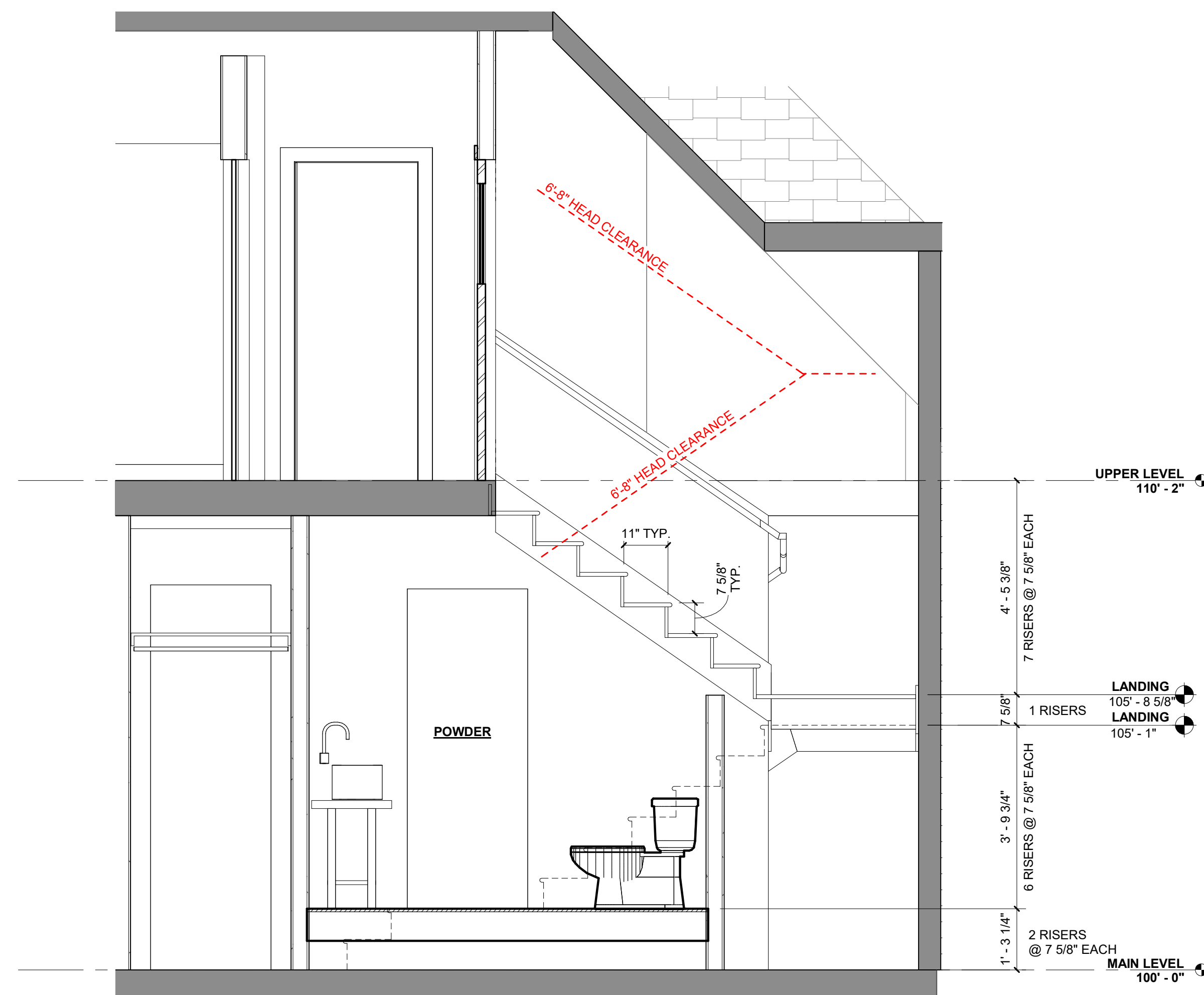
2 TYPICAL WALL SECTION  
1/2" = 1'-0"



1 BUILDING SECTION  
1/4" = 1'-0"

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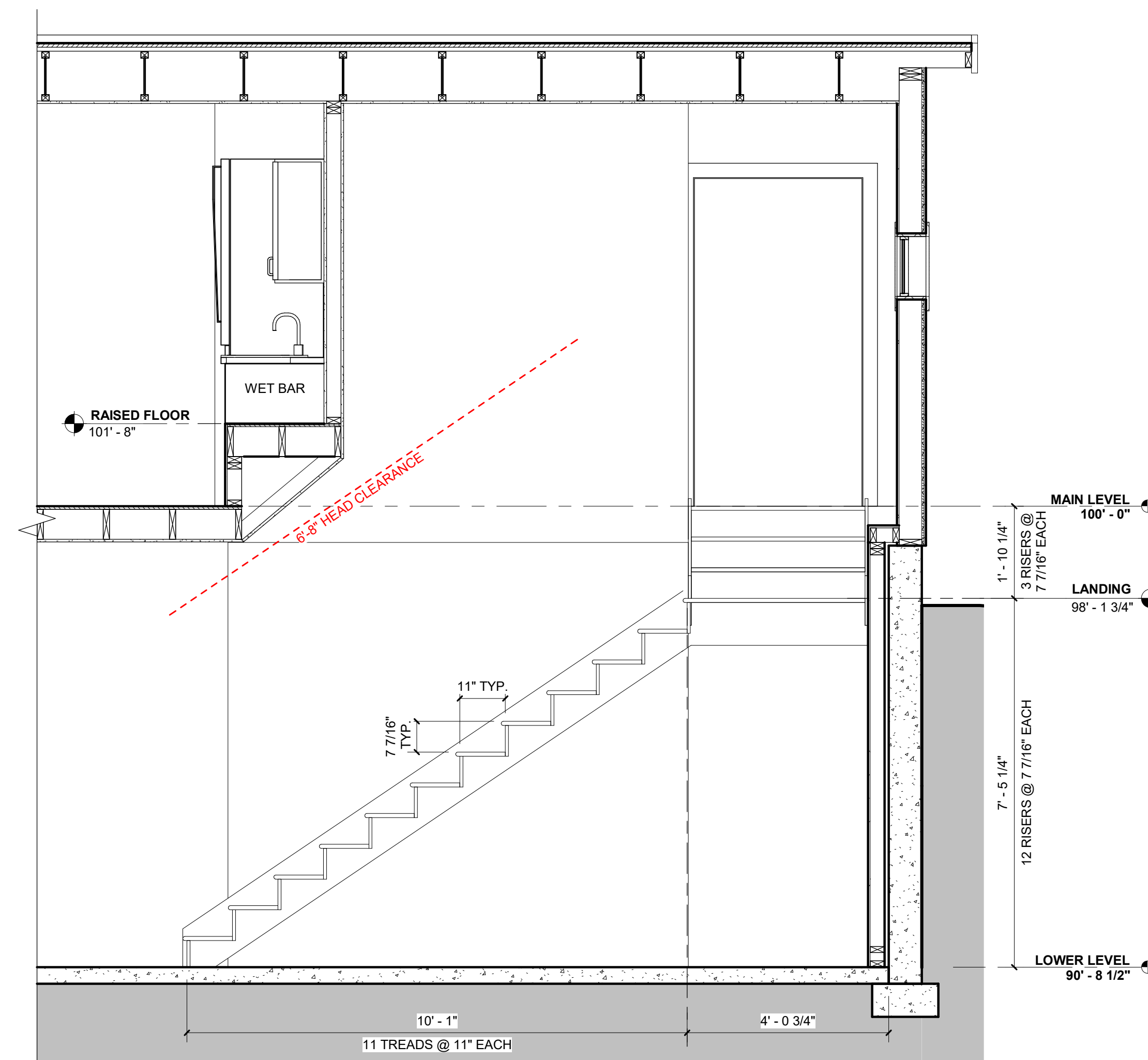
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**1 UPPER STAIR SECTION**  
1/2" = 1'-0"

**GENERAL NOTES**

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**2 LOWER STAIR SECTION**  
1/2" = 1'-0"

PROJECT NUMBER: 2019-14

**NAFFZIGER RESIDENCE**

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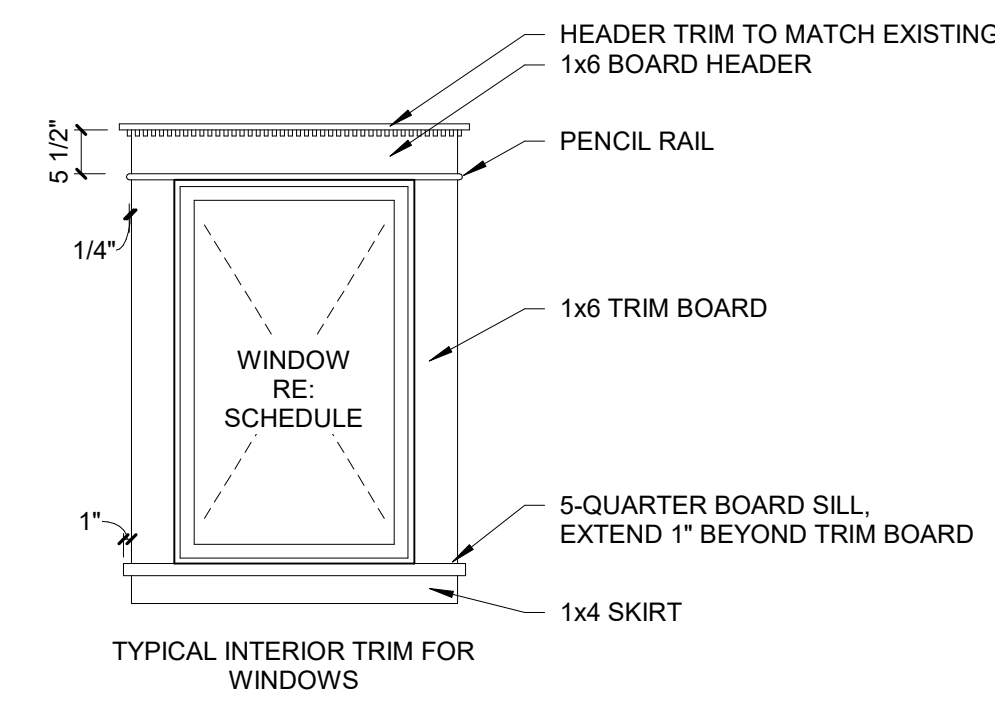
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**STAIR SECTIONS**

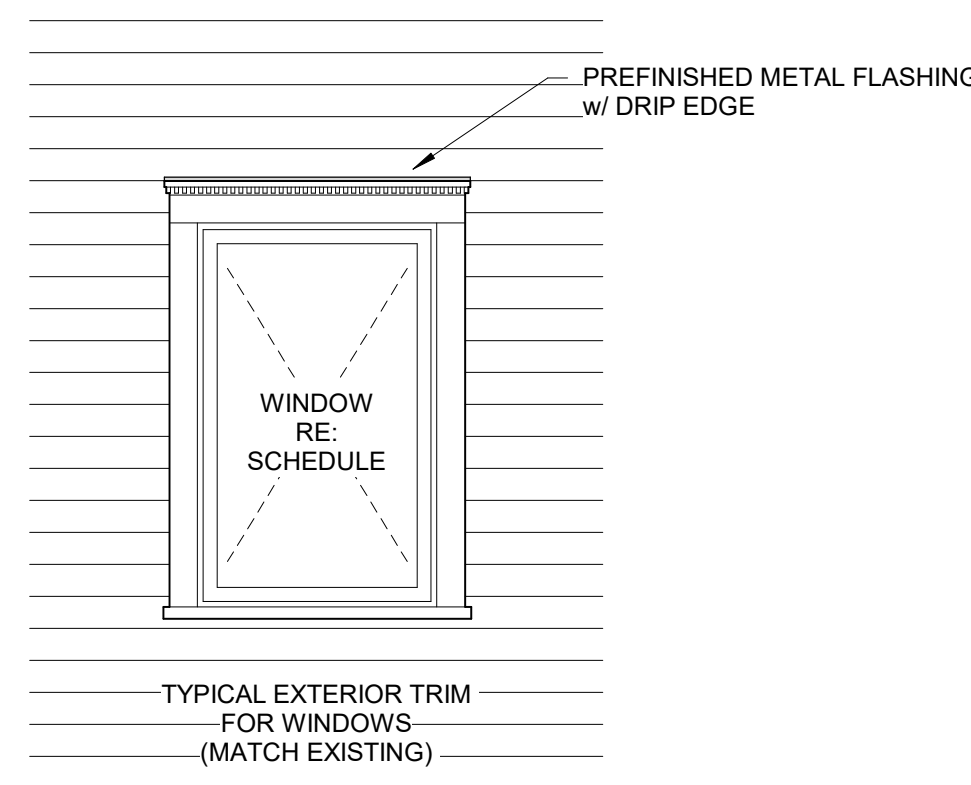
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**\*NOTE:**  
 • REUSE EXISTING TRIM WHERE POSSIBLE.  
 • NEW TRIM TO MATCH EXISTING TRIM (OAK WITH STAIN FINISH)



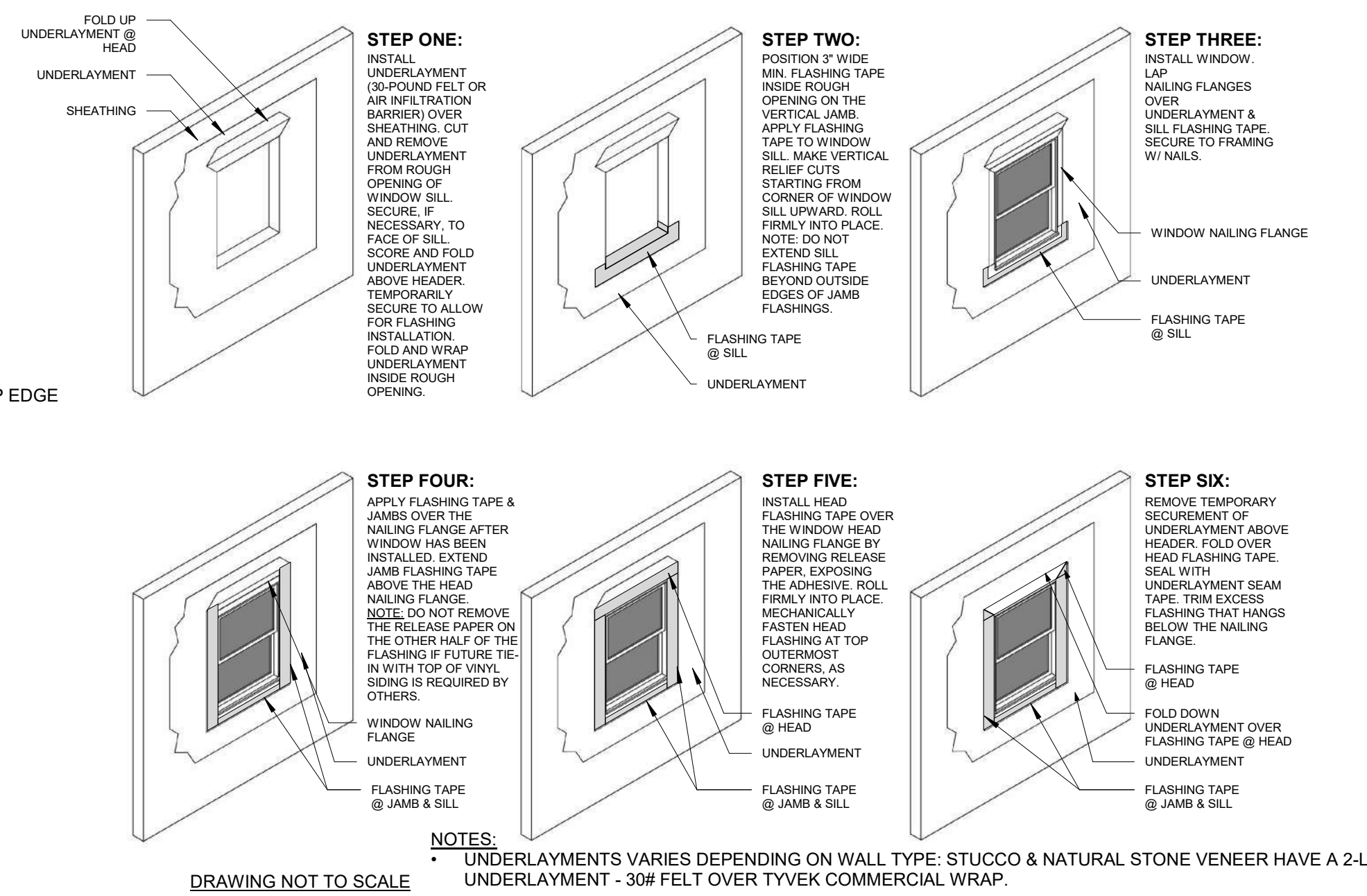
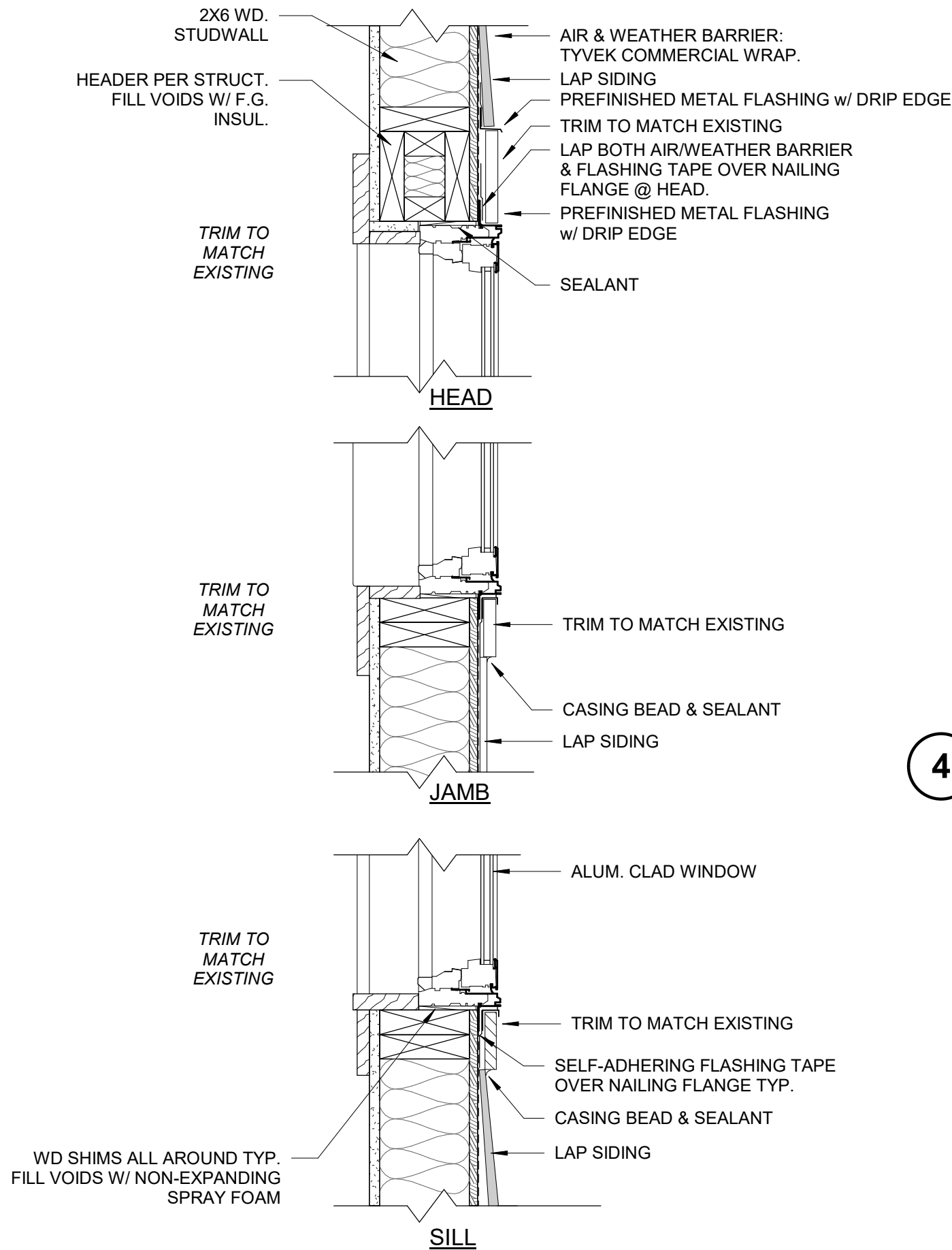
**3 INTERIOR WINDOW TRIM - MATCH EXISTING TRIM**  
 1/2" = 1'-0"



TYPICAL EXTERIOR TRIM FOR WINDOWS IN BOARD & BATTEN SIDING AND STONE

**2 EXTERIOR WINDOW TRIM - MATCH EXISTING TRIM**  
 1/2" = 1'-0"

**1 WINDOW DETAILS**  
 1 1/2" = 1'-0"

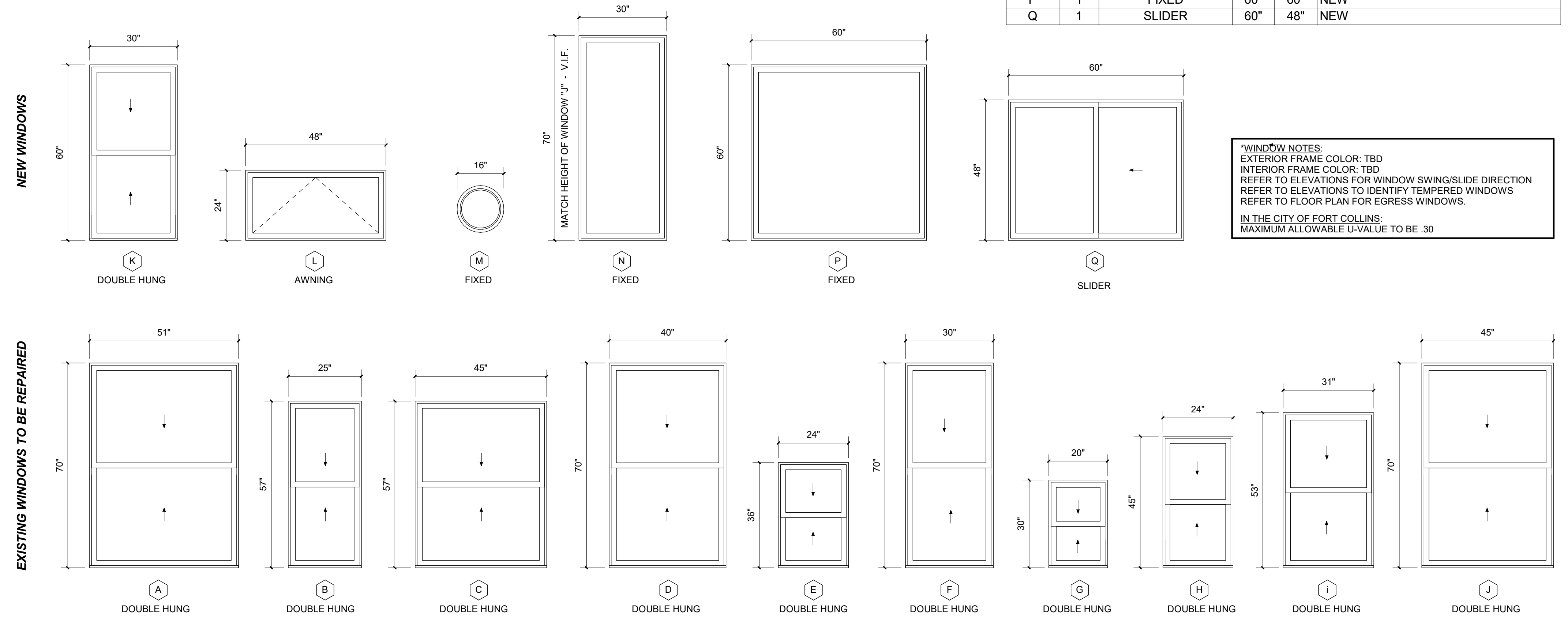


**NOTES:**  
 • UNDERLAYMENTS VARIES DEPENDING ON WALL TYPE. STUCCO & NATURAL STONE VENEER HAVE A 2-LAYER UNDERLAYMENT - 30# FELT OVER TYVEK COMMERCIAL WRAP.  
 • METAL WALL PANELS & BRICK VENEER HAVE A SINGLE LAYER UNDERLAYMENT - TYVEK COMMERCIAL WRAP ONLY.  
 • ON THE INTERNET, SEE pg.9 OF "CONTRACTOR'S GUIDE - WINDOWS, DOORS AND DETAIL AREAS" @ (http://www.na.graceconstruction.com/prodline.cfm?id=26) FOR A STEP-BY-STEP PHOTOGRAPHIC DESCRIPTION OF THE FLASHING PROCEDURE.

**4 WINDOW FLASHING DETAIL**  
 3/4" = 1'-0"

**WINDOW QUANTITIES**

| Window Type | Count | Description | Width | Height | Comments |
|-------------|-------|-------------|-------|--------|----------|
| A           | 1     | DOUBLE HUNG | 51"   | 70"    | REPAIR   |
| B           | 4     | DOUBLE HUNG | 25"   | 57"    | REPAIR   |
| C           | 3     | DOUBLE HUNG | 45"   | 57"    | REPAIR   |
| D           | 3     | DOUBLE HUNG | 40"   | 70"    | REPAIR   |
| E           | 3     | DOUBLE HUNG | 24"   | 36"    | REPAIR   |
| F           | 2     | DOUBLE HUNG | 30"   | 70"    | REPAIR   |
| G           | 2     | DOUBLE HUNG | 20"   | 30"    | REPAIR   |
| H           | 2     | DOUBLE HUNG | 24"   | 45"    | REPAIR   |
| i           | 2     | DOUBLE HUNG | 31"   | 53"    | REPAIR   |
| J           | 1     | DOUBLE HUNG | 45"   | 70"    | REPAIR   |
| K           | 1     | DOUBLE HUNG | 30"   | 60"    | NEW      |
| L           | 1     | AWNING      | 48"   | 24"    | NEW      |
| M           | 1     | FIXED       | 16"   |        | NEW      |
| N           | 2     | FIXED       | 30"   | 70"    | NEW      |
| P           | 1     | FIXED       | 60"   | 60"    | NEW      |
| Q           | 1     | SLIDER      | 60"   | 48"    | NEW      |



**\*WINDOW NOTES:**  
 EXTERIOR FRAME COLOR: TBD  
 INTERIOR FRAME COLOR: TBD  
 REFER TO ELEVATIONS FOR WINDOW SWING/SLIDE DIRECTION  
 REFER TO ELEVATIONS TO IDENTIFY TEMPERED WINDOWS  
 REFER TO FLOOR PLAN FOR EGRESS WINDOWS.  
 IN THE CITY OF FORT COLLINS:  
 MAXIMUM ALLOWABLE U-VALUE TO BE .30

**WINDOW LEGEND**  
 1/2" = 1'-0"

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CONSTRUCTION SET 11-13-2020

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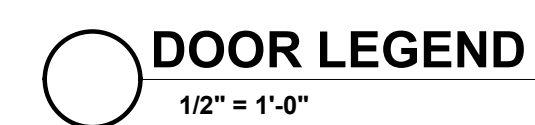
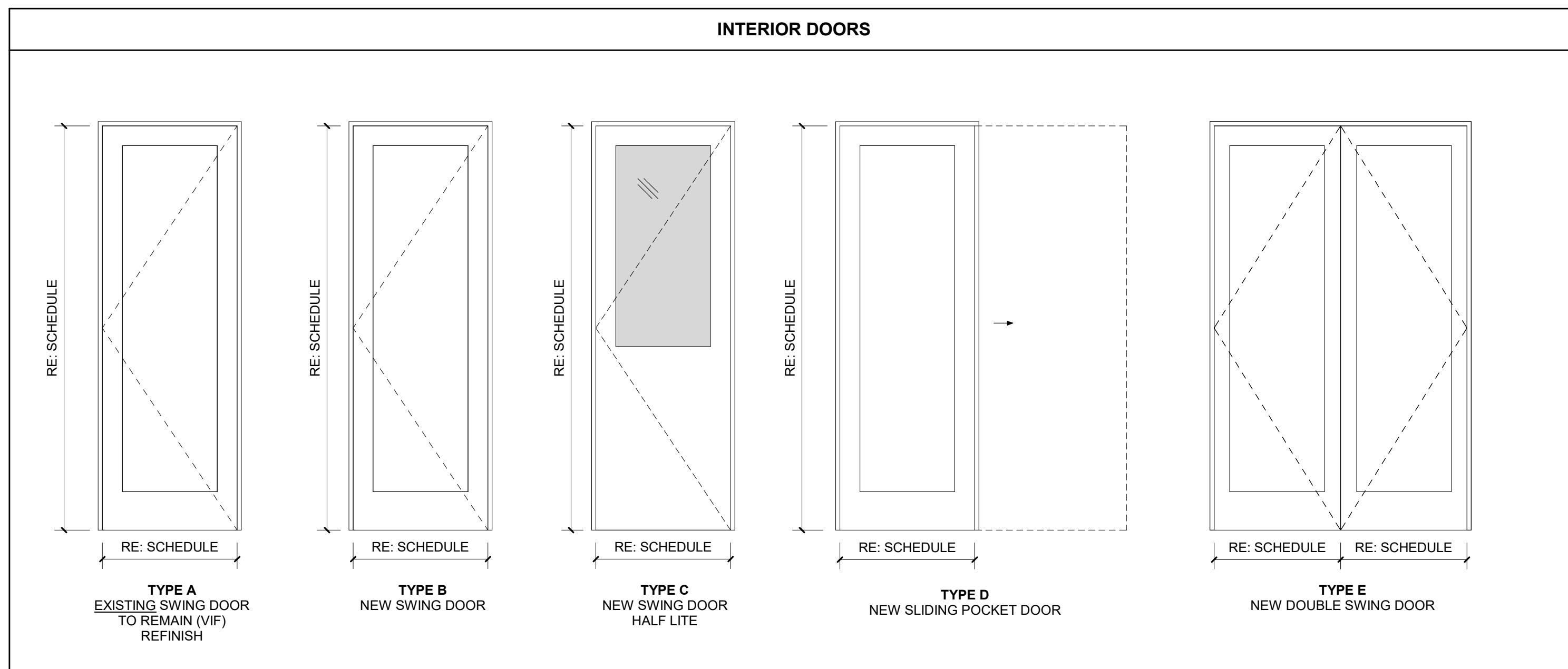
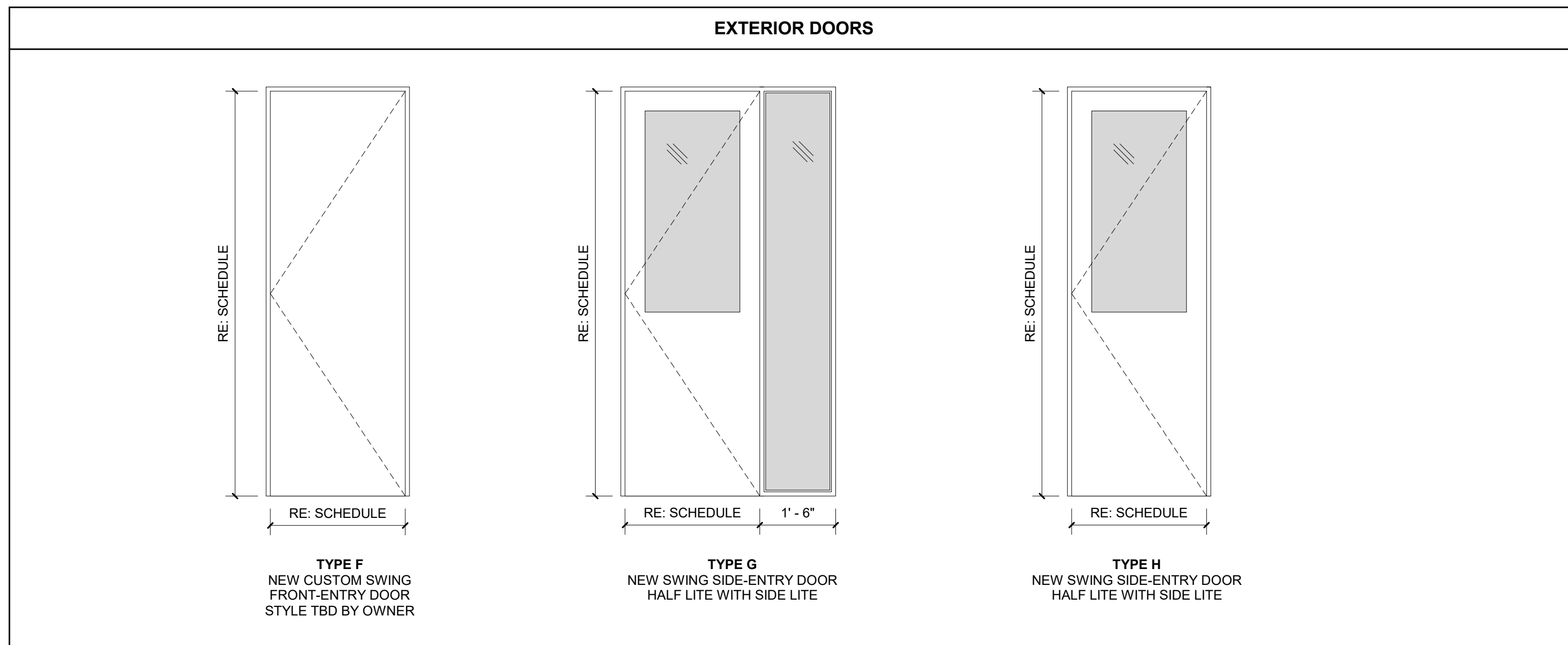
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**DOORS SCHEDULE & DETAILS**

DRAWING NUMBER:

**A7.2**

| DOOR SCHEDULE |                       |           |     |                 |   |
|---------------|-----------------------|-----------|-----|-----------------|---|
| Door No.      | Double Door Indicator | DOOR SIZE |     | DOOR PANEL Type | Comments                                |
|               |                       | W         | H   |                 |   |
| 001           |                       | 30"       | 80" | B               |   |
| 002           |                       | 24"       | 80" | B               |   |
| 003           |                       | 30"       | 80" | B               |   |
| 004           |                       | 30"       | 80" | B               |   |
| 005           |                       | 36"       | 80" | D               |   |
| 006           |                       | 36"       | 80" | B               |   |
| 007           |                       | 36"       | 80" | D               |   |
| 008           |                       | 24"       | 80" | B               |   |
| 009           |                       | 30"       | 80" | B               |   |
| 010           |                       | 36"       | 80" | B               |   |
| 101           |                       | 36"       | 80" | F               | CUSTOM ENTRY DOOR - STYLE TBD BY OWNER  |
| 102           |                       | 32"       | 96" | D               |   |
| 103           |                       | 30"       | 96" | D               |   |
| 104           |                       | 30"       | 96" | D               |   |
| 105           |                       | 30"       | 96" | D               |   |
| 106           |                       | 30"       | 80" | D               |   |
| 107           |                       | 36"       | 80" | G               | ENTRY DOOR w/ SIDELITE                  |
| 108           | (2)                   | 30"       | 80" | E               |   |
| 109           |                       | 28"       | 96" | A               |   |
| 110           |                       | 30"       | 80" | H               | ENTRY DOOR                              |
| 201           |                       | 30"       | 80" | C               |   |
| 202           |                       | 30"       | 80" | D               |   |
| 203           |                       | 30"       | 60" | B               | DOOR HEIGHT TO BE VERIFIED IN FIELD     |
| 204           |                       | 30"       | 52" | A               | EXISTING DOOR TO REMAIN (VIF), REFINISH |
| 205           |                       | 30"       | 52" | A               | EXISTING DOOR TO REMAIN (VIF), REFINISH |
| 206           |                       | 30"       | 52" | A               | EXISTING DOOR TO REMAIN (VIF), REFINISH |
| 207           |                       | 30"       | 78" | A               | EXISTING DOOR TO REMAIN (VIF), REFINISH |
| 208           |                       | 30"       | 78" | A               | EXISTING DOOR TO REMAIN (VIF), REFINISH |
| 209           |                       | 30"       | 78" | A               | EXISTING DOOR TO REMAIN (VIF), REFINISH |



\*NOTE: REFER TO FLOOR PLANS & EXTERIOR ELEVATIONS FOR DOOR SWING OR POCKET DIRECTION

# NAFFZIGER RESIDENCE

600 MATHEWS STREET  
FORT COLLINS, CO  
80524



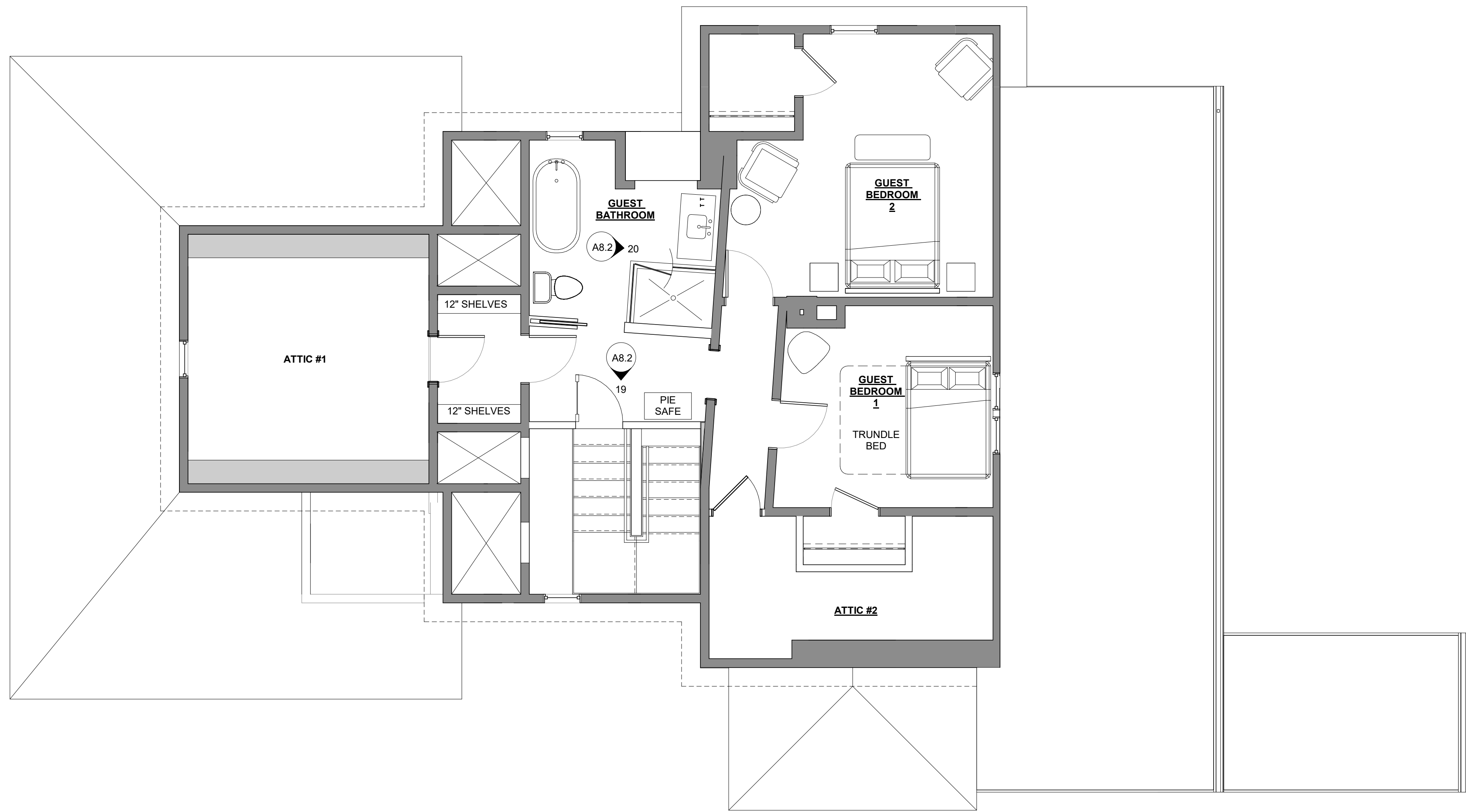
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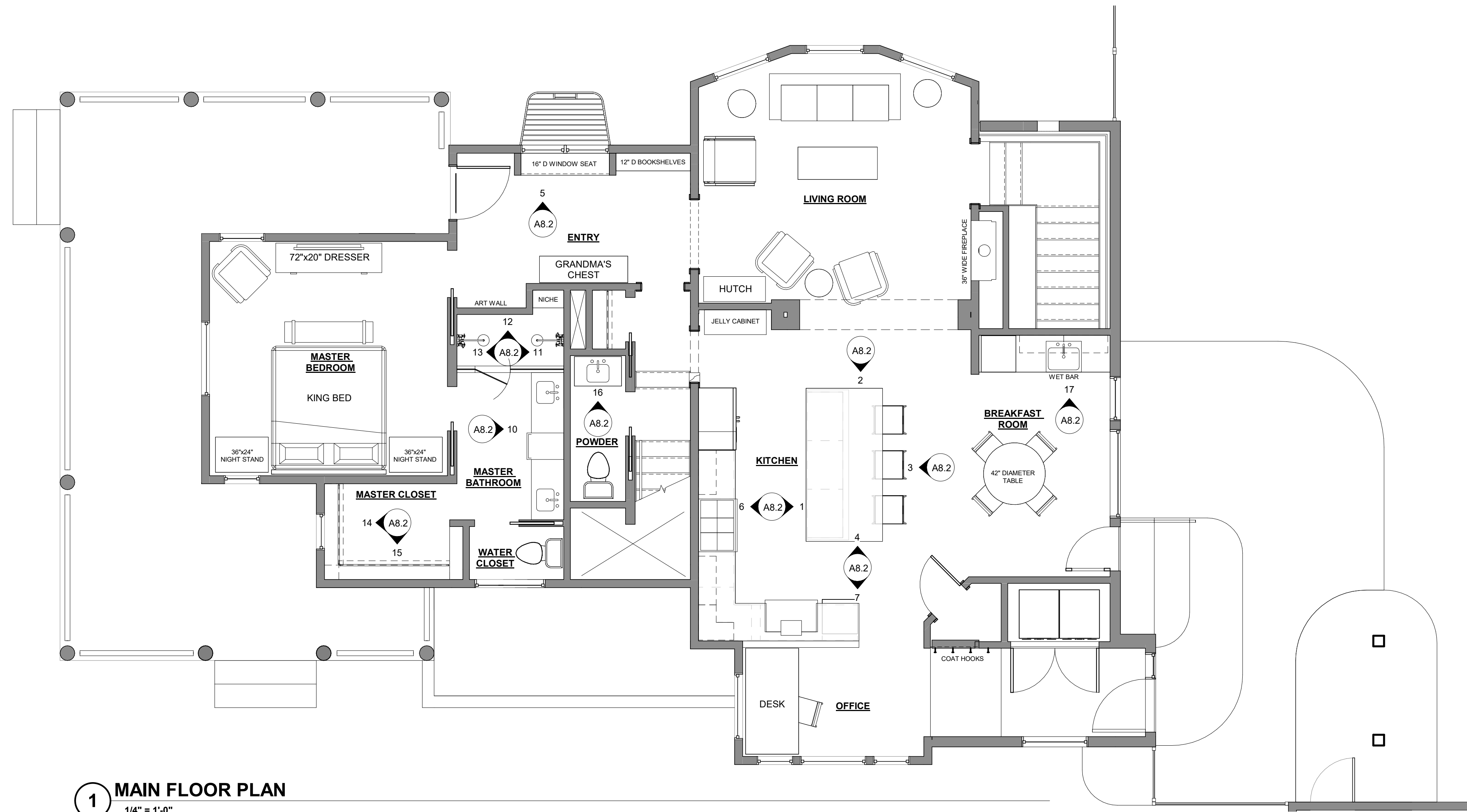
IN ASSOCIATION WITH:



PHONE: (307) 421-7868  
tuck@elevation-sd.com  
CONTACT: JEREMY TUCK



**2 UPPER FLOOR PLAN**  
1/4" = 1'-0"



**1 MAIN FLOOR PLAN**  
1/4" = 1'-0"

CONSTRUCTION SET 11-13-2020

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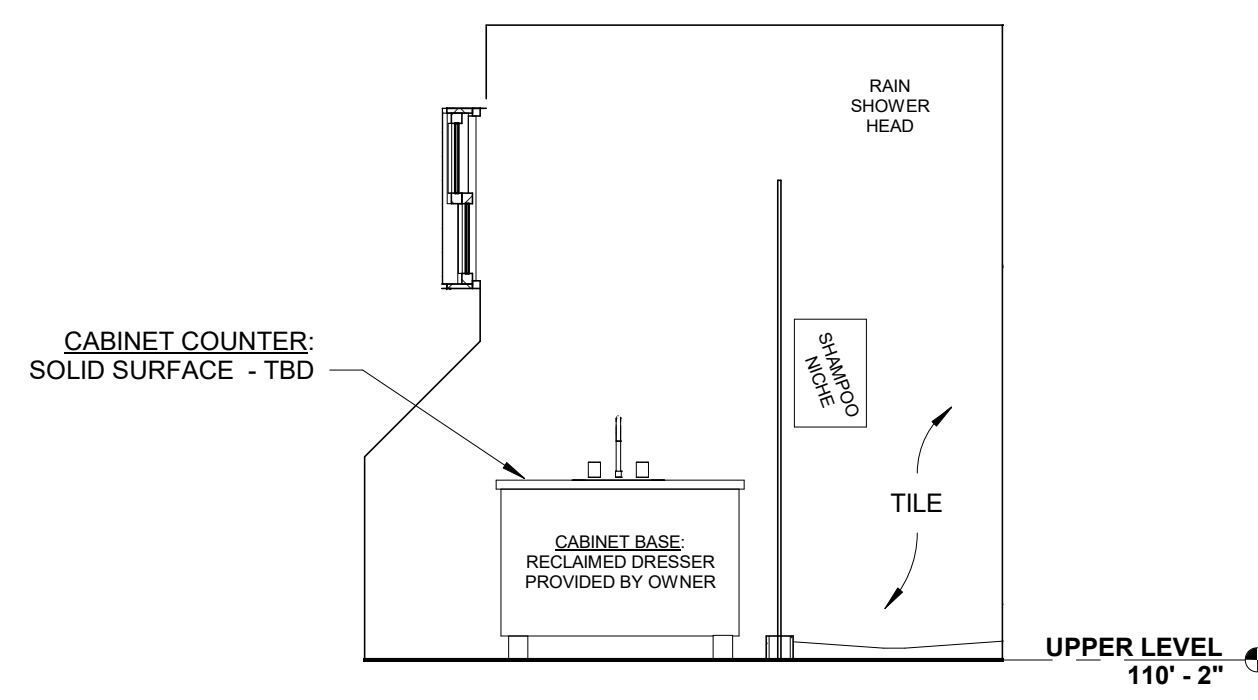
## FURNITURE & FINISH PLANS

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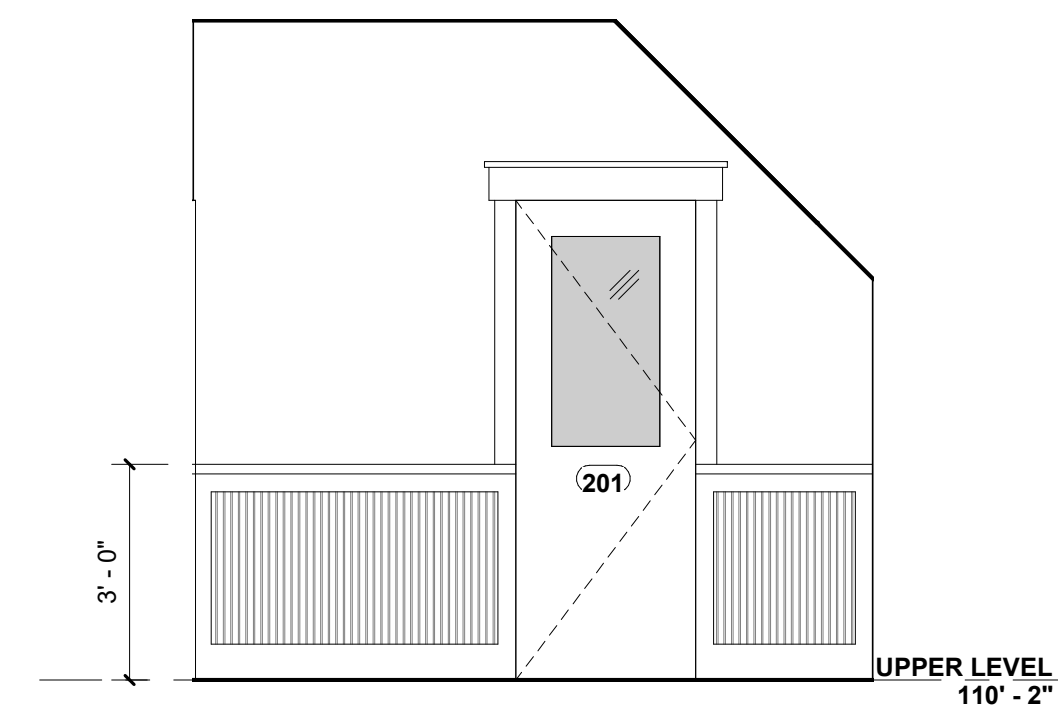
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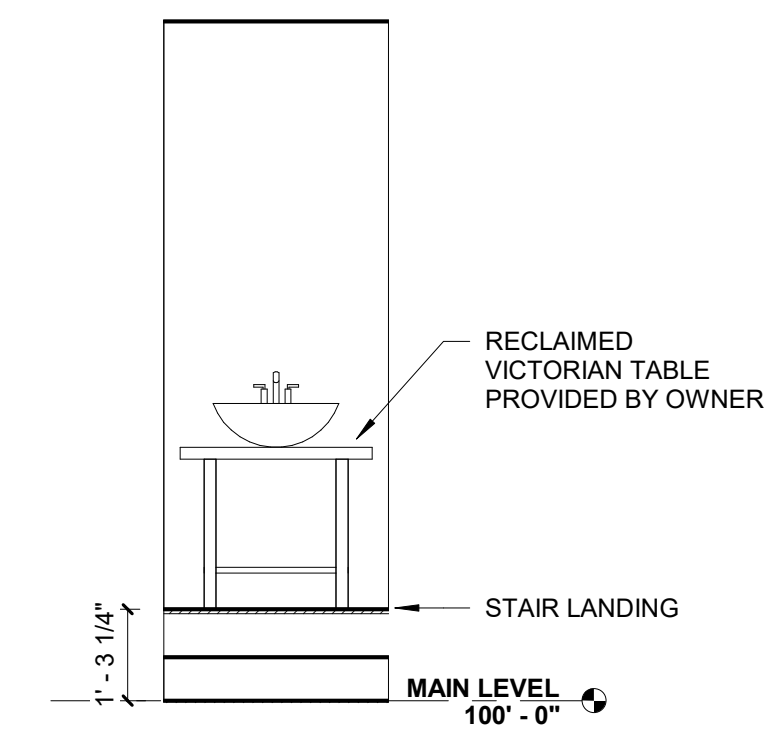




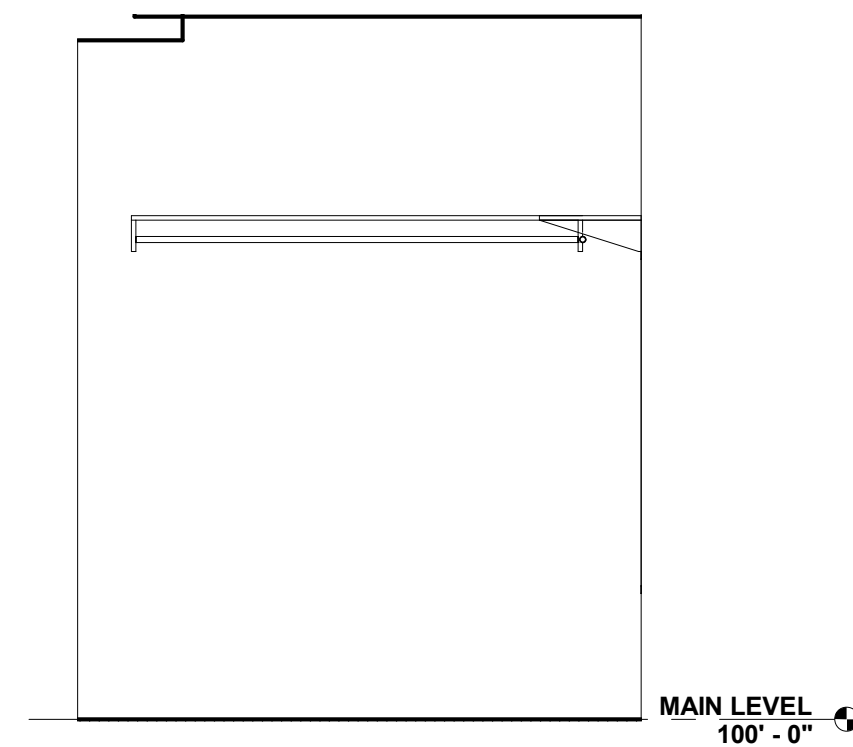
20 UPSTAIRS GUEST BATHROOM  
3/8" = 1'-0"



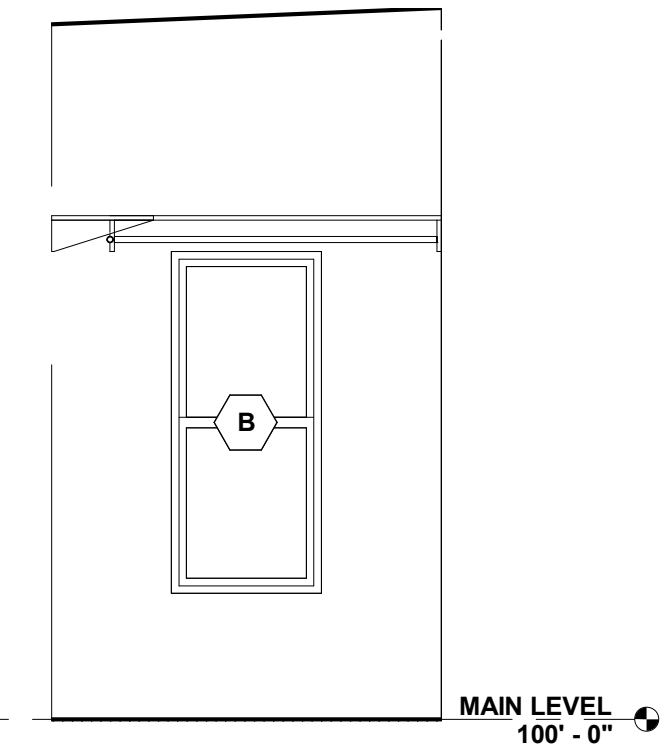
19 UPSTAIRS CENTER HALL  
3/8" = 1'-0"



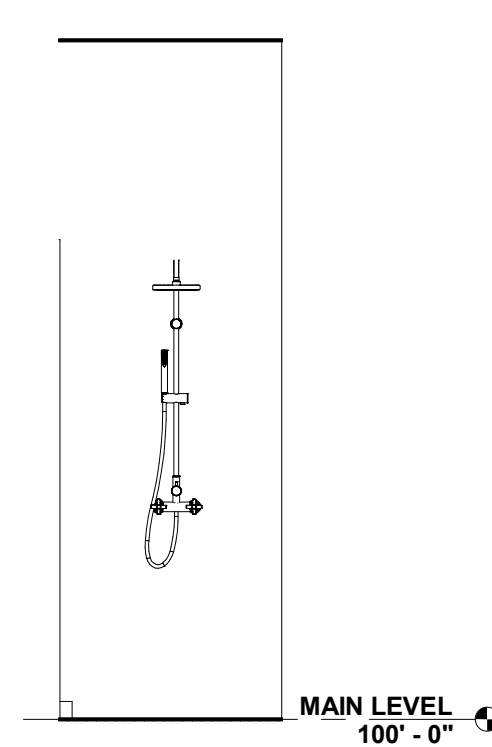
16 POWDER - NORTH  
3/8" = 1'-0"



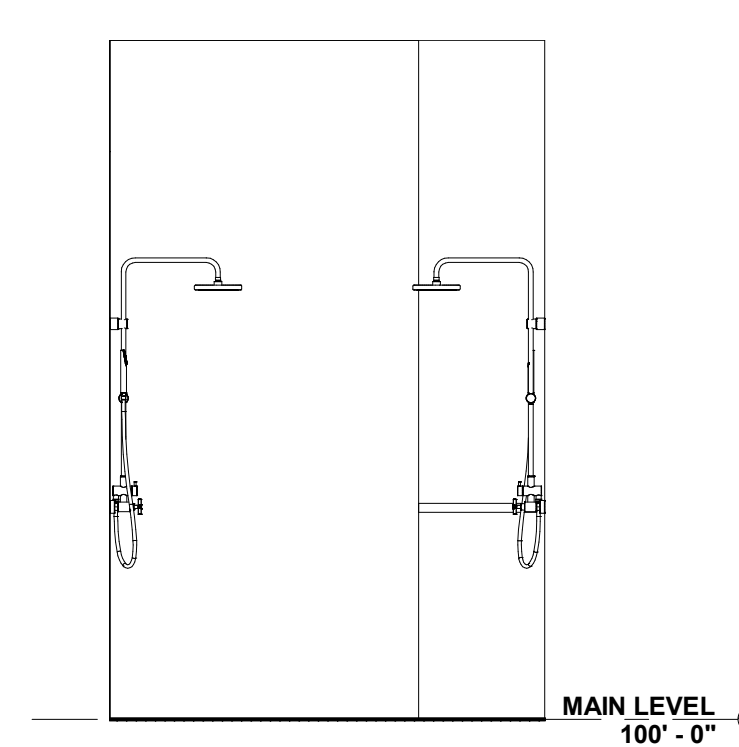
15 MASTER CLOSET - SOUTH  
3/8" = 1'-0"



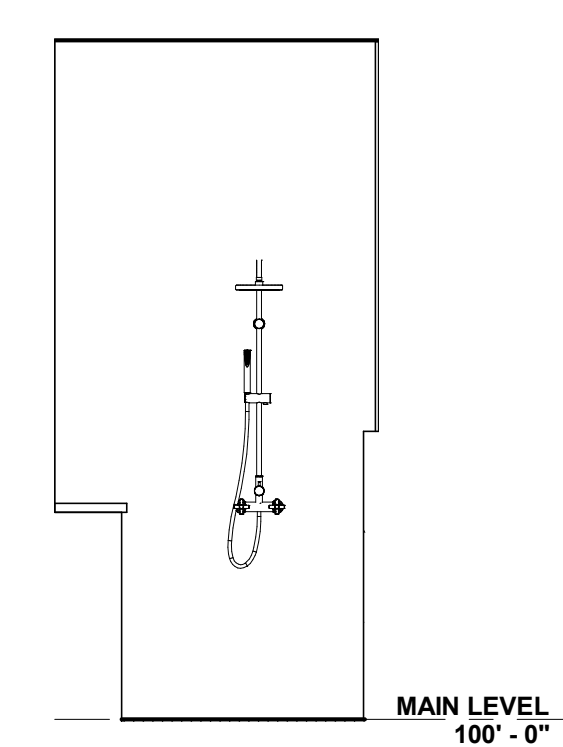
14 MASTER CLOSET - WEST  
3/8" = 1'-0"



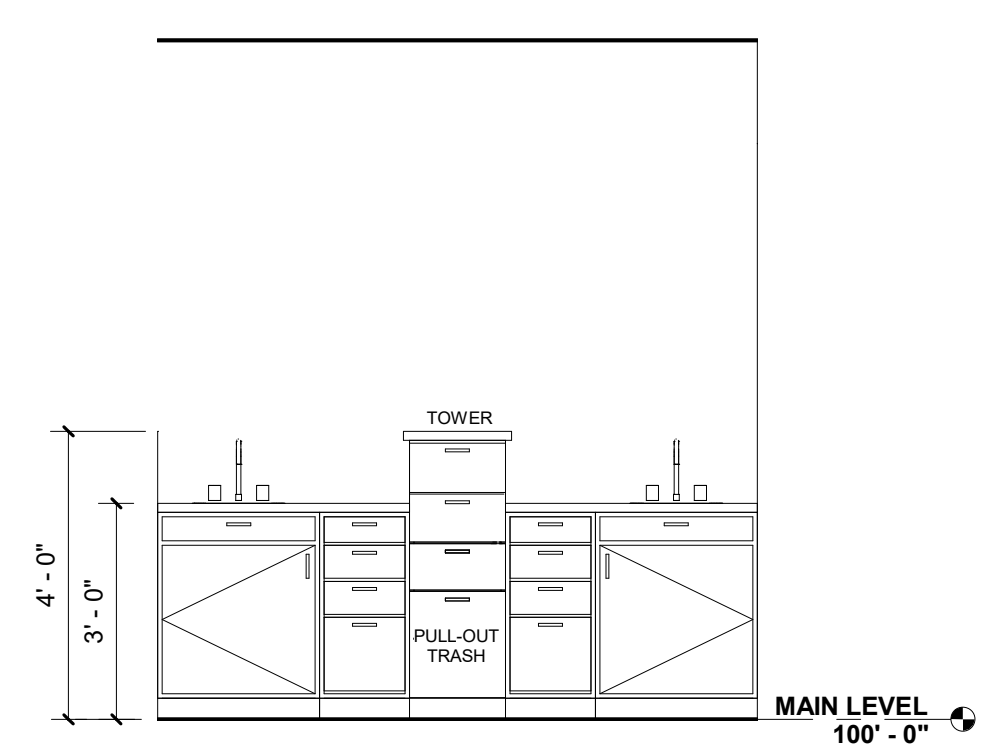
13 SHOWER - WEST  
3/8" = 1'-0"



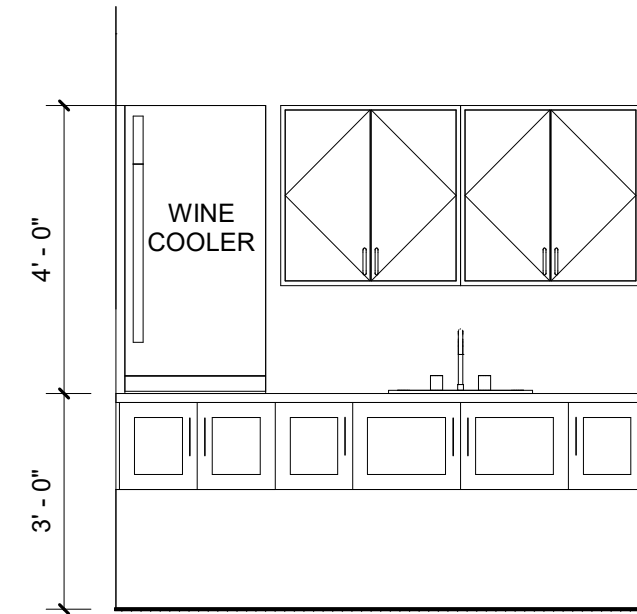
12 SHOWER - NORTH  
3/8" = 1'-0"



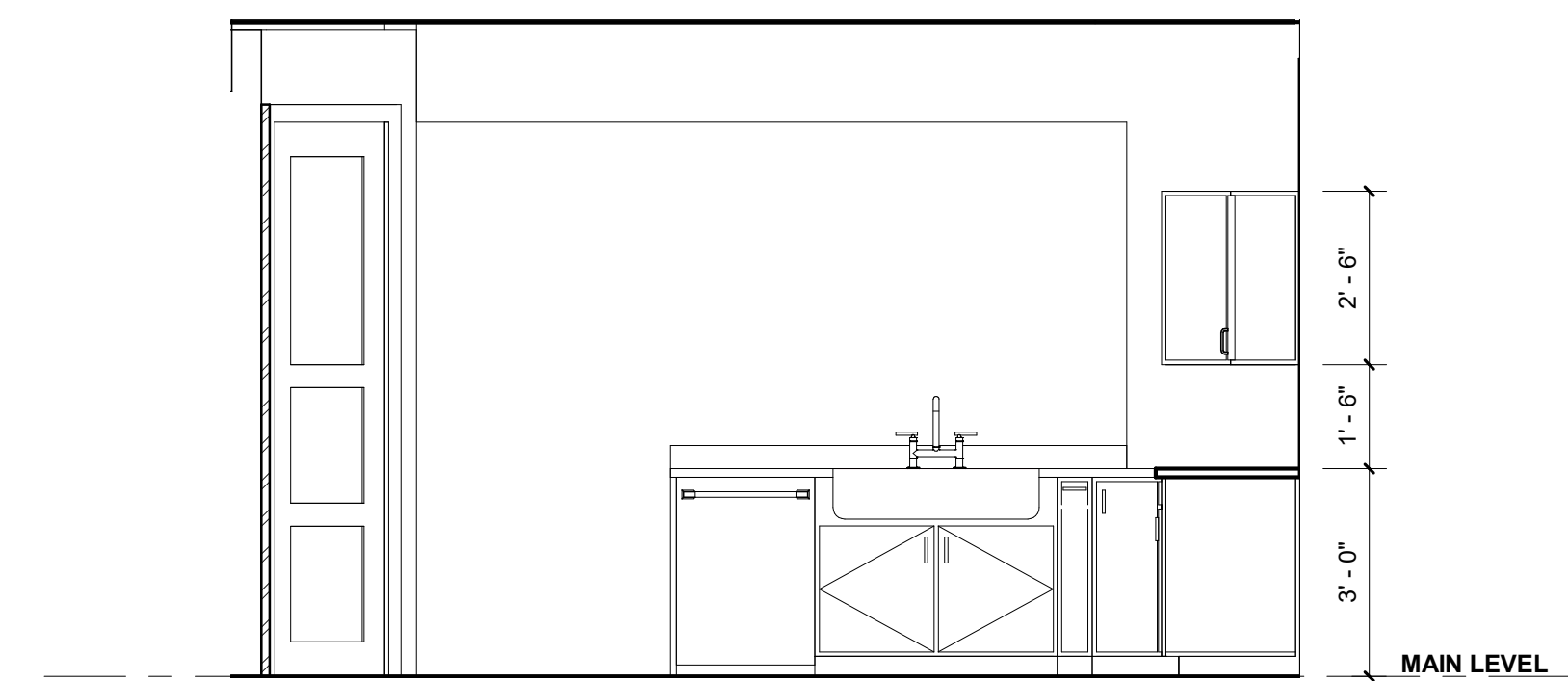
11 SHOWER - EAST  
3/8" = 1'-0"



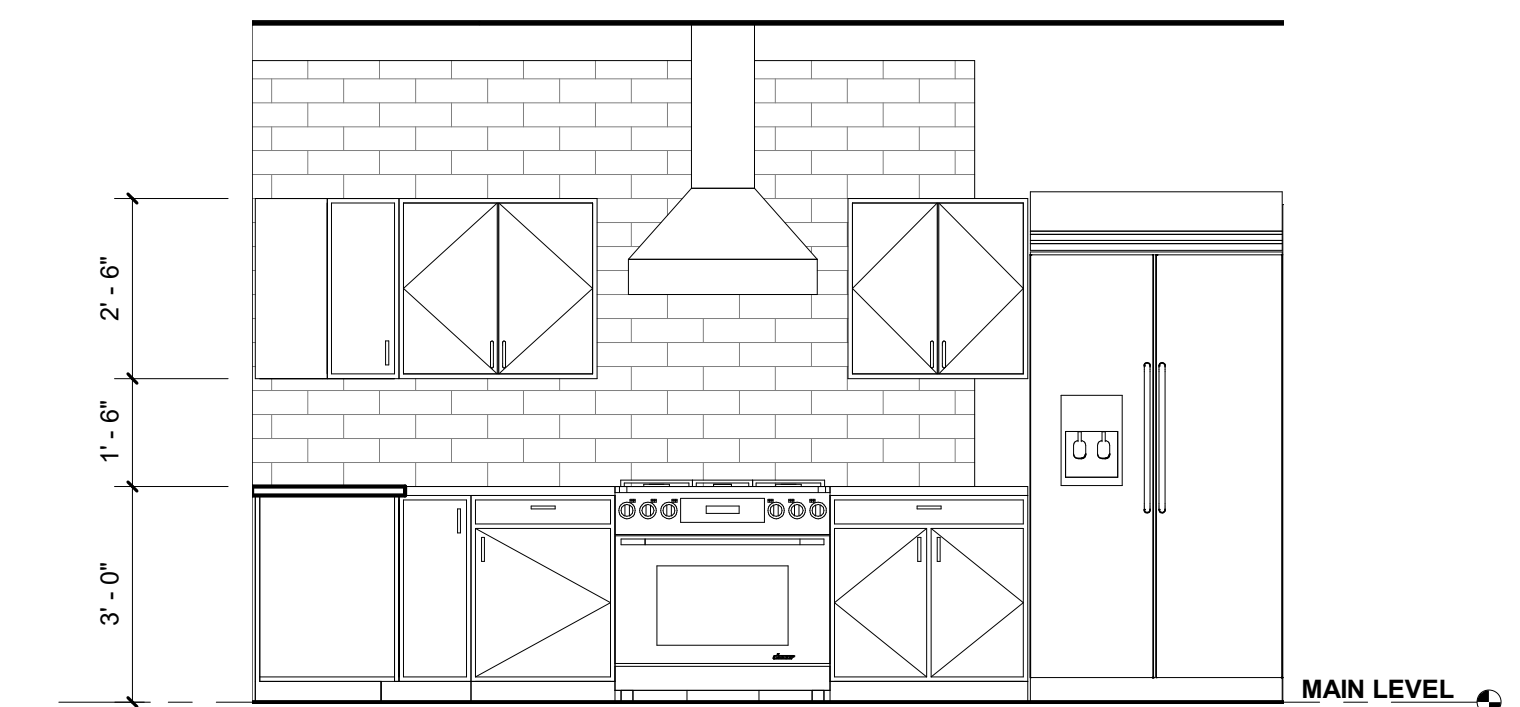
10 MASTER BATHROOM - EAST  
3/8" = 1'-0"



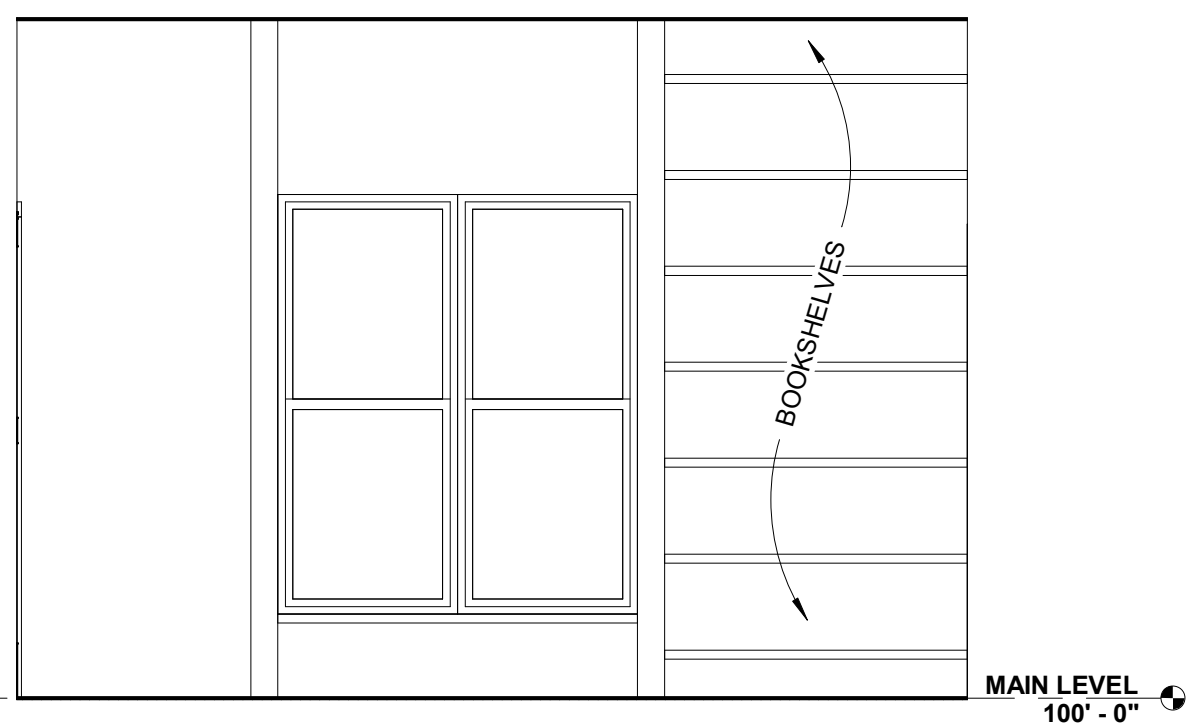
17 WET BAR  
3/8" = 1'-0"



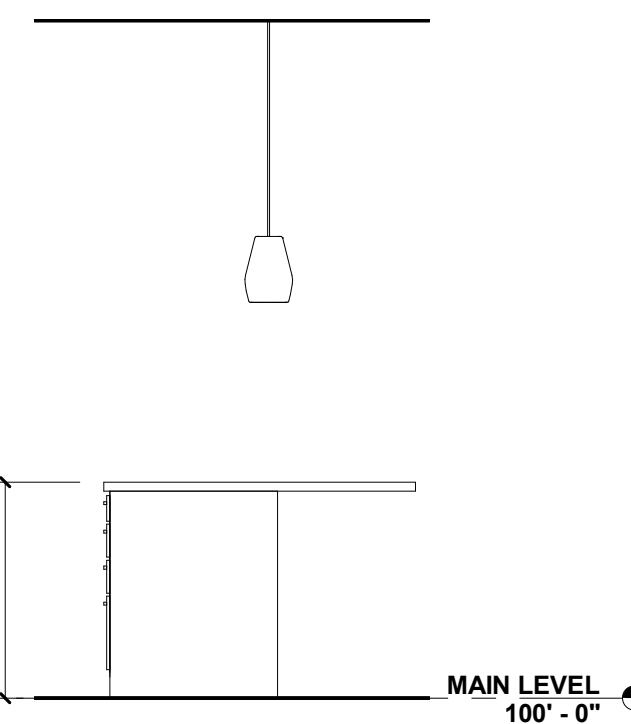
7 KITCHEN - SOUTH  
3/8" = 1'-0"



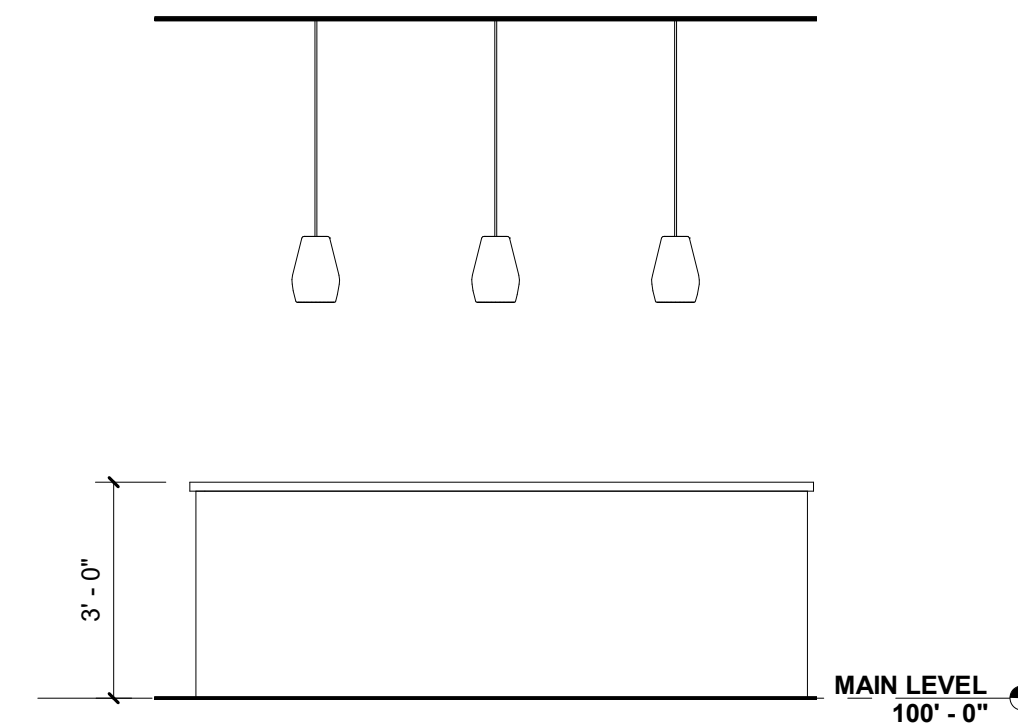
6 KITCHEN - WEST  
3/8" = 1'-0"



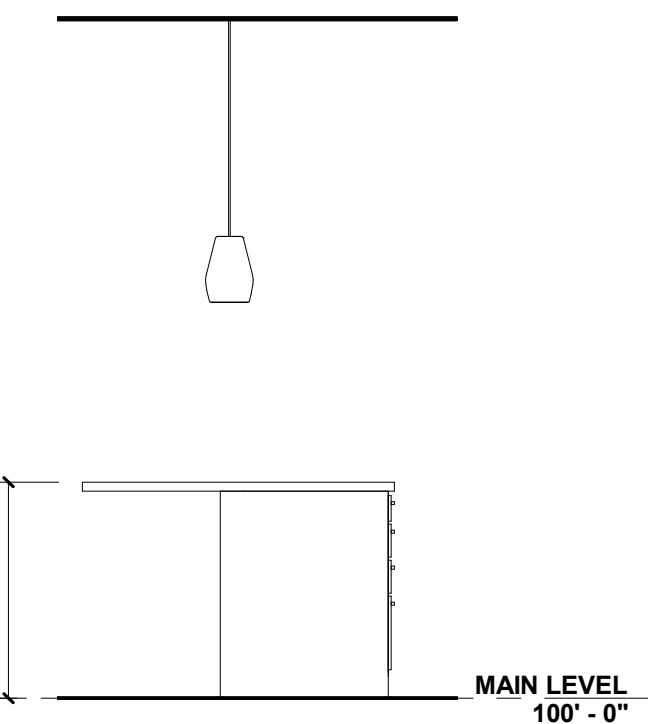
5 ENTRY - NORTH  
3/8" = 1'-0"



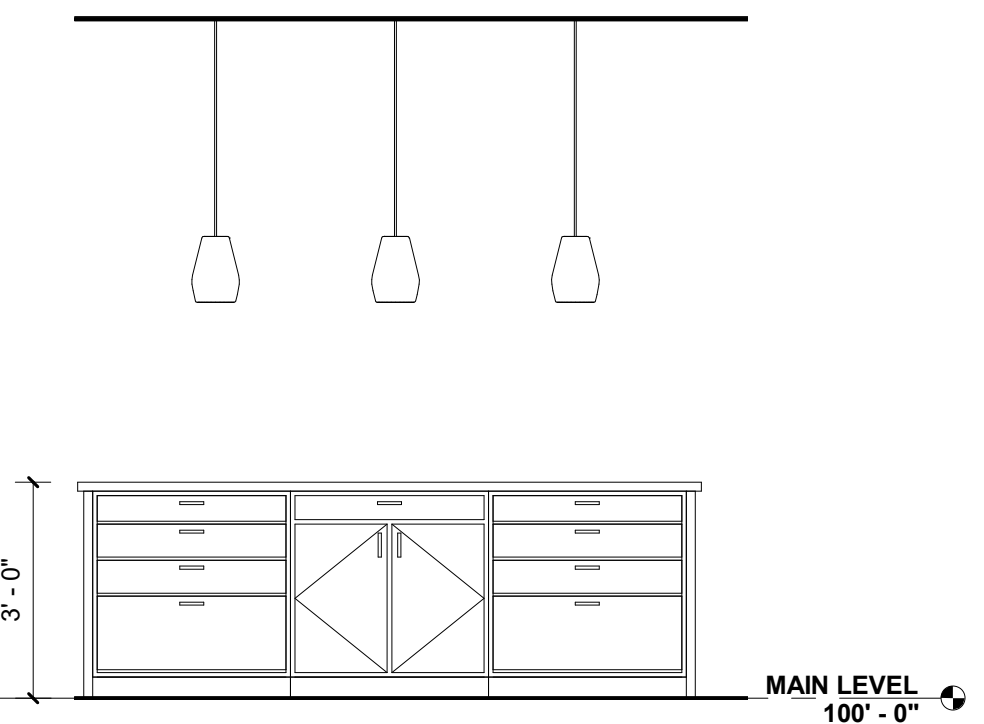
4 KITCHEN ISLAND - SOUTH SIDE  
3/8" = 1'-0"



3 KITCHEN ISLAND - EAST SIDE  
3/8" = 1'-0"



2 KITCHEN ISLAND - NORTH SIDE  
3/8" = 1'-0"



1 KITCHEN ISLAND - WEST SIDE  
3/8" = 1'-0"

**NAFFZIGER RESIDENCE**

600 MATHEWS STREET  
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IN ASSOCIATION WITH:



PHONE: (307) 421-7888  
tuck@elevation-sd.com  
CONTACT: JEREMY TUCK

**CONSTRUCTION SET 11-13-2020**

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**INTERIOR ELEVATIONS**

DRAWING NUMBER:

**A8.2**

# NAFFZIGER RESIDENCE

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IN ASSOCIATION WITH:

## DESIGN CRITERIA

- CODES AND STANDARDS**
  - INTERNATIONAL RESIDENTIAL CODE (IRC) 2018
  - INTERNATIONAL BUILDING CODE (IBC) 2018
  - ASCE/SEI 7-16 'MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES'
  - ACI 332-14 'RESIDENTIAL CODE REQUIREMENTS FOR STRUCTURAL CONCRETE'
  - NDS 2018 EDITION 'NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION'
- DEAD, LIVE AND SNOW LOADS**
  - DEAD LOADS**
    - FLOOR = 20 PSF
    - ROOF = 20 PSF
  - LIVE LOADS**
    - FLOOR = 40 PSF
    - ROOF = 20 PSF
  - SNOW LOADS**
    - GROUND SNOW (Pg) = 30 PSF
    - DESIGN FLAT ROOF SNOW (Pf) = 30 PSF (UNREDUCIBLE)
- WIND AND SEISMIC DESIGN CRITERIA**
  - WIND LOAD DESIGN CRITERIA**
    - BASIC ULTIMATE WIND SPEED = 125 MPH (BASED ON FRONT RANGE WIND CONTOUR MAP)
    - BASIC NOMINAL WIND SPEED = 97 MPH
    - EXPOSURE CATEGORY = B
  - SEISMIC LOAD DESIGN CRITERIA**
    - SEISMIC DESIGN CATEGORY = B
    - SITE CLASS = D (ASSUMED)
- FOUNDATION DESIGN CRITERIA**
  - FOUNDATION DESIGN IS BASED ON THE SOILS REPORT PROVIDED BY CDS ENGINEERING (PROJECT NO. 20-0425) DATED JULY 23, 2020.
    - ALLOWABLE BEARING PRESSURE = 1500 PSF
    - MINIMUM DEAD LOAD PRESSURE = 500 PSF
    - FROST DEPTH = 30 IN
    - LATERAL (AT-REST) PRESSURE = 55 PCF
- BRACED WALL PANELS**
  - BRACED WALL PANEL DESIGN IS BASED ON THE REQUIREMENTS OF SECTION 602.10 OF THE 2018 IRC.
  - BRACED WALL PANEL TYPES AND LOCATIONS ARE SHOWN ON PLAN.

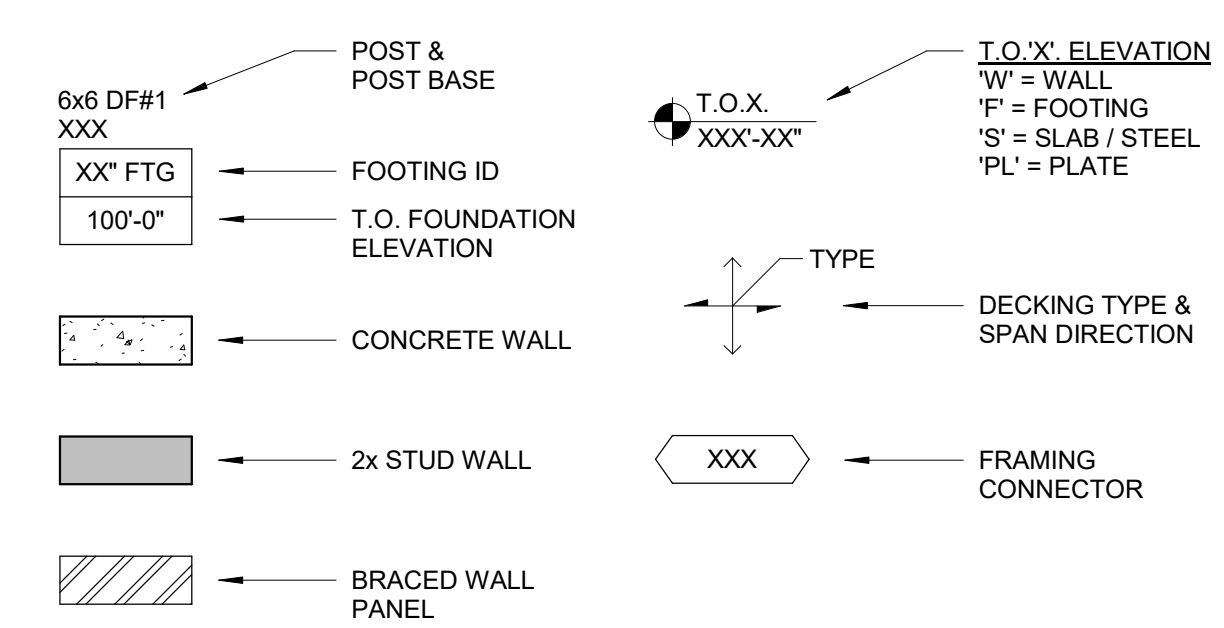
## WOOD NOTES & SPECIFICATIONS

- GENERAL**
  - ALL CONNECTIONS NOT SPECIFICALLY DETAILED WITHIN THE CONTRACT DOCUMENTS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE SHOWN IN TABLE R602.3.1 OF THE 2018 IRC.
  - ALL LUMBER AND SHEATHING MATERIALS SHALL BE PROTECTED FROM WEATHER SUCH THAT THEY CAN BE INSTALLED IN A DRY SERVICE CONDITION WITH A MOISTURE CONTENT  $\leq$  19%.
  - OPENINGS, NOTCHES, HOLES, ETC., SHALL NOT BE PLACED IN LUMBER AND/OR SHEATHING WITHOUT PRIOR WRITTEN CONSENT FROM THE ENGINEER.
- FRAMING LUMBER AND MATERIALS**
  - ALL FRAMING LUMBER AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED BELOW, UNLESS SPECIFICALLY NOTED OTHERWISE WITHIN THE PLANS AND DETAILS.
    - SOLID SAW LUMBER
      - DIMENSION LUMBER (2" - 4" THICK) = HEM-FIR (HF) #2 OR BETTER
      - TIMBERS (5" THICK & GREATER) = DOUGLAS-FIR (DF) #1 OR BETTER
    - FABRICATED LUMBER:
      - WOOD I-JOISTS = RE-PLAN
      - LAMINATED VENEER LUMBER (LVL) = E = 2800 PSI (MIN), E = 2.0 (MIN)
  - STRUCTURAL SHEATHING (WOOD STRUCTURAL PANELS USED FOR WALL, FLOOR OR ROOF SHEATHING) SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC PS 1 & DOC PS 2.
- METAL FRAMING CONNECTORS**
  - SIMPSON STRONG-TIE METAL FRAMING CONNECTORS ARE USED FOR THE BASIS OF DESIGN. ALL METAL CONNECTORS CALLED OUT IN PLANS & DETAILS ARE MANUFACTURED BY SIMPSON STRONG-TIE.
  - ALL METAL FRAMING CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. FILL ALL NAIL AND/OR BOLT HOLES, INCLUDING OPTIONAL LOCATIONS FOR UPLIFT FORCES.

## CONCRETE NOTES & SPECIFICATIONS

- GENERAL**
  - ALL WORK SHALL CONFORM WITH ACI 301, LATEST EDITION.
- CONCRETE MATERIALS AND MIX DESIGNS**
  - CONCRETE MIX DESIGNS FOR FOOTINGS & FOUNDATION WALLS SHALL MEET THE FOLLOWING REQUIREMENTS:
    - MINIMUM COMPRESSIVE STRENGTH ( $f'_c$ ) = 3500 PSI AT (28) DAYS
    - PORTLAND CEMENT (ASTM C150) = TYPE III
    - NORMAL WEIGHT AGGREGATES (ASTM C33) = 3/4" MAX
    - AIR CONTENT = 6%  $\pm$  1%
  - CONCRETE MIX DESIGNS FOR SLABS ON GRADE SHALL MEET THE FOLLOWING REQUIREMENTS:
    - MINIMUM COMPRESSIVE STRENGTH ( $f'_c$ ) = 3500 PSI AT (28) DAYS
    - PORTLAND CEMENT (ASTM C150) = TYPE III
    - NORMAL WEIGHT AGGREGATES (ASTM C33) = 3/4" MAX
    - AIR CONTENT = NO ENTRAINED AIR
- CONCRETE MIX DESIGN NOTES:**
  - THE CONTRACTOR SHALL PROPORTION MIX DESIGNS TO CONFORM WITH THE REQUIREMENTS SHOWN IN THE CONCRETE MIX DESIGN TABLE. IF REQUIRED, ADJUST THE MIX'S SLUMP TO ACHIEVE THE CONSISTENCY AND WORKABILITY REQUIRED FOR THE MEANS AND METHODS OF PLACEMENT. THE USE OF ADMIXTURES CONFORMING TO ASTM C494 IS ACCEPTABLE.
- CONCRETE REINFORCING**
  - REINFORCING MATERIALS:
    - TYP REINFORCING = ASTM A615
    - DEFORMED WELDED WIRE FABRIC = ASTM A497
  - THE CONTRACTOR SHALL PROVIDE ALL ACCESSORIES (I.E. - CHAIRS, STANDEES, TIES, STIRRUPS, ETC.) REQUIRED TO SECURE REINFORCEMENT DURING CONCRETE PLACEMENT.

## SYMBOLS LEGEND



## FOUNDATION PLAN NOTES

- EXISTING CONDITIONS:**
  - DIMENSIONS SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED AND COORDINATED WITH EXISTING CONDITIONS PRIOR TO PLACEMENT OF THE NEW FOUNDATION.
  - CONTACT ENGINEER IF SIGNIFICANT DISCREPANCIES ARE DISCOVERED.
- FOOTINGS:**
  - FOR TOP ELEVATIONS, RE: DETAILS.
  - STRIP FOOTING WIDTHS ARE DIMENSIONED IN PLAN, FOR REINFORCING, RE: 3 / S2.0
- FOUNDATION WALLS:**
  - ALL FOUNDATION WALLS ARE 0'-8" THICK, TYP UNO.
  - FOR TYP ANCHOR BOLT & TOW REQUIREMENTS, RE: 1 / S2.0
- REINFORCING:**
  - PLACE REINFORCING WITH THE CONCRETE CLEAR COVER INDICATED BELOW, TYP UNO IN PLANS & DETAILS.
    - CAST AGAINST EARTH = 3" CLR, TYP
    - ALL OTHER CONC = 1 1/2", TYP UNO
  - MINIMUM SPLICE LENGTH = 36"
  - MINIMUM HOOK LENGTH = 12"
  - CORNER BARS = 36" x 36"

## FOUNDATION PLAN KEYNOTES

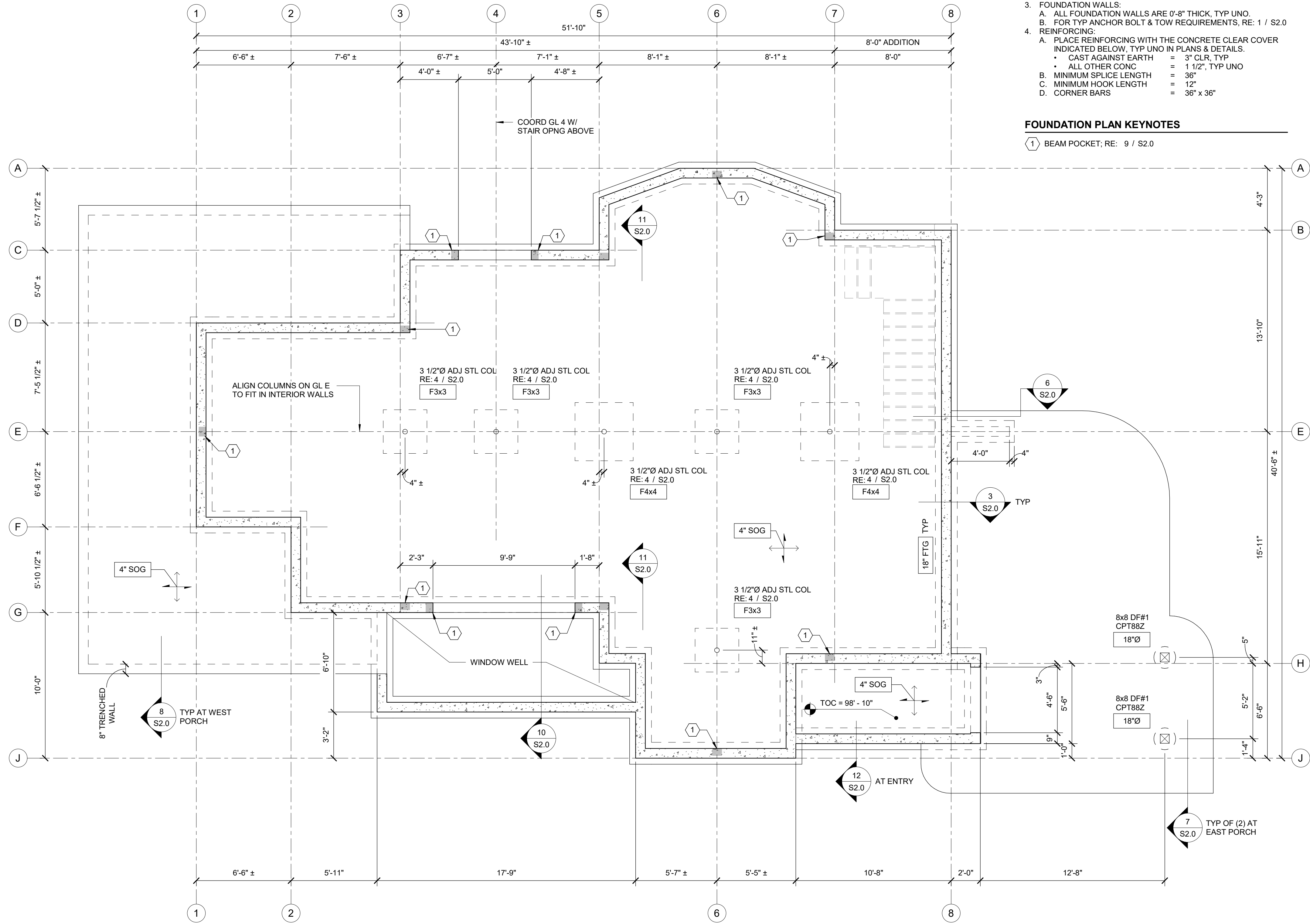
- BEAM POCKET: RE: 9 / S2.0

## GENERAL NOTES & REQUIREMENTS

- GENERAL**
  - THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. NOTHING SHOWN IN STRUCTURAL DRAWINGS SHALL BE INFERRED TO ALLEVIATE THE NEED FOR TEMPORARY BRACING, SHORING, ETC., WHICH MAY ARISE FROM THE CONTRACTOR'S MEANS, METHODS AND/OR SEQUENCING.
  - DO NOT SCALE DRAWINGS.
- FOUNDATION NOTES**
  - EXISTING SITE CONDITIONS**
    - ALL UTILITIES SHALL BE LOCATED PRIOR TO EXCAVATION. IF UTILITIES ARE DISCOVERED WITHIN THE BUILDING PAD FOOTPRINT, CONTACT ARCHITECT & ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
    - ALL EXISTING SOILS CONTAINING VEGETATION, ORGANIC MATTER OR OTHER FOREIGN DEBRIS SHALL BE REMOVED FROM THE BUILDING PAD FOOTPRINT.
  - SUBGRADE PREPARATION**
    - ALL FOOTINGS & FOUNDATIONS SHALL BEAR ON PROPERLY COMPACTED STRUCTURAL FILL. REFER TO THE PROJECT'S GEOTECHNICAL REPORT FOR STRUCTURAL FILL & COMPACTION REQUIREMENTS.
    - COMPACT ALL SOFT SPOTS IN FOOTING EXCAVATIONS.
    - ALL FOUNDATION EXCAVATIONS SHALL BE FREE OF LOOSE MATERIAL PRIOR TO FORMING OR PLACING CONCRETE.
  - OPEN HOLE INSPECTIONS**
    - OPEN HOLE INSPECTIONS ARE NOT PROVIDED BY ELEVATION STRUCTURAL DESIGN AND ARE THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
    - A GEOTECHNICAL ENGINEERING, LICENSED IN THE STATE OF COLORADO, SHALL BE OBTAINED TO PROVIDE THE OPEN HOLE INSPECTION AND VERIFY THAT THE ON-SITE SOIL CONDITIONS MEET OR EXCEED FOUNDATION DESIGN CRITERIA SHOWN ABOVE. IF THE ON-SITE SOIL CONDITIONS DO NOT MEET OR EXCEED THE FOUNDATION DESIGN CRITERIA, CONTACT THE ARCHITECT & ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - PROVIDE FOUNDATION DRAINS MEETING THE REQUIREMENTS OF THE GEOTECHNICAL REPORT AND THE 2018 IBC.
- EXISTING CONDITIONS**
  - THE CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL EXISTING CONDITIONS PRIOR TO THE PREPARATION OF SHOP DRAWINGS AND PRIOR TO PROCEEDING WITH THE WORK.
  - STRUCTURAL DOCUMENTS HAVE BEEN PREPARED WITH THE USE OF EXISTING DRAWINGS AVAILABLE DURING DESIGN AND THROUGH VISUAL SITE OBSERVATIONS WHEN ACCESSIBLE. DURING CONSTRUCTION, THE CONTRACTOR MAY DISCOVER UNFORESEEN EXISTING CONDITIONS WHICH COULD BE IN CONFLICT WITH THE CONTRACT DOCUMENTS.
  - IN THE EVENT OF SUCH DISCOVERIES, THE CONTRACTOR SHALL SUBMIT A DETAILED, DIMENSIONED SKETCH SHOWING ALL EXISTING STRUCTURE AND OTHER RELEVANT MATERIALS AND CONDITIONS TO THE ARCHITECT AND FOR PRIOR TO PROCEEDING WITH THE WORK.
  - THE CONTRACTOR SHALL TAKE CARE TO NOT DAMAGE, SCUFF, SCAR OR MAR EXISTING SURFACES TO REMAIN IN THE FINAL CONDITION. ALL DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

## STRUCTURAL STEEL NOTES & SPECIFICATIONS

- GENERAL**
  - ALL WORK SHALL CONFORM WITH THE AISC CODE OF STANDARD PRACTICE, LATEST EDITION.
  - FABRICATOR QUALIFICATIONS:
    - THE FABRICATOR SHALL BE A COMPANY SPECIALIZING IN THIS TYPE OF WORK WITH (8) YEARS DOCUMENTED EXPERIENCE ON PROJECTS OF SIMILAR SIZE & COMPLEXITY.
- STRUCTURAL STEEL MATERIALS**
  - ALL STRUCTURAL STEEL MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED BELOW, UNLESS SPECIFICALLY NOTED OTHERWISE WITHIN THE PLANS & DETAILS.
    - FRAMING MEMBERS:**
      - WIDE FLANGE (W) = ASTM A992
      - PLATE (PL) = ASTM A36
      - ANGLE (L) = ASTM A36
    - ADJUSTABLE STEEL COLUMNS:**
      - ADJUSTABLE STEEL COLUMNS SHALL BE FABRICATED WITH ASTM A53, Gr. B PIPE MATERIAL OR BETTER.
      - MINIMUM AXIAL CAPACITY =  $P_{min} = 24,000$  LBS
    - CONNECTION MATERIALS:**
      - ANCHOR RODS = ASTM F1554, Gr. 55 (WELDABLE)
      - BOLTS = ASTM A325
      - THREADED ROD = ASTM A36
      - WELDING ELECTRODES = E70XX
- STRUCTURAL STEEL CONNECTIONS**
  - ALL BOLTS SHOWN IN STRUCTURAL STEEL CONNECTIONS SHALL BE SNUG-TIGHT AS DEFINED BY THE 'SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS', RCSC SPECIFICATION SECTION 4.1.
  - WELDERS SHALL HAVE, IN THEIR POSSESSION, CURRENT EVIDENCE PASSING THE APPROPRIATE A.W.S. QUALIFICATION TESTS.
  - ALL GROOVE WELDS SHOWN SHALL BE COMPLETE JOINT PENETRATION (CJP) WELDS UNLESS SPECIFICALLY NOTED OTHERWISE IN THE PLANS & DETAILS.
  - FIELD WELDING SYMBOLS INDICATE SUGGESTED CONSTRUCTION PROCEDURES.
- STRUCTURAL STEEL FINISH**
  - ALL STRUCTURAL STEEL SHALL BE SURFACE PREPPED SUCH THAT IT IS FREE OF RUST, LOOSE MILL SCALE, DIRT AND OTHER DEBRIS IN ACCORDANCE WITH SSPC-SP2 OR SSPC-SF3.
  - UNLESS OTHERWISE SPECIFIED WITHIN THE PLANS & DETAILS, THE FABRICATORS STANDARD SHOP PRIMER SHALL BE APPLIED TO ALL STRUCTURAL STEEL.
  - EXPOSED STRUCTURAL STEEL BE SURFACE PREPPED, PRIMED AND PAINTED TO THE ARCHITECT'S SATISFACTION.



FOUNDATION PLAN  
1/4" = 1'-0"

## Project Status

| DESCRIPTION           | DATE     |
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| CONSTRUCTION DRAWINGS | 07/30/20 |
| STRUCTURAL CDS        | 11/13/20 |

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## GENERAL NOTES & FOUNDATION PLAN

DRAWING NUMBER:

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# NAFFZIGER RESIDENCE

600 MATHEWS ST.  
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IN ASSOCIATION WITH:

### Project Status

| SHEET ISSUANCES       |          |
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| DESCRIPTION           | DATE     |
| CONSTRUCTION DRAWINGS | 07/30/20 |
| STRUCTURAL CDS        | 11/13/20 |

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## EXISTING MAIN FLOOR SUPPORT FRAMING PLAN

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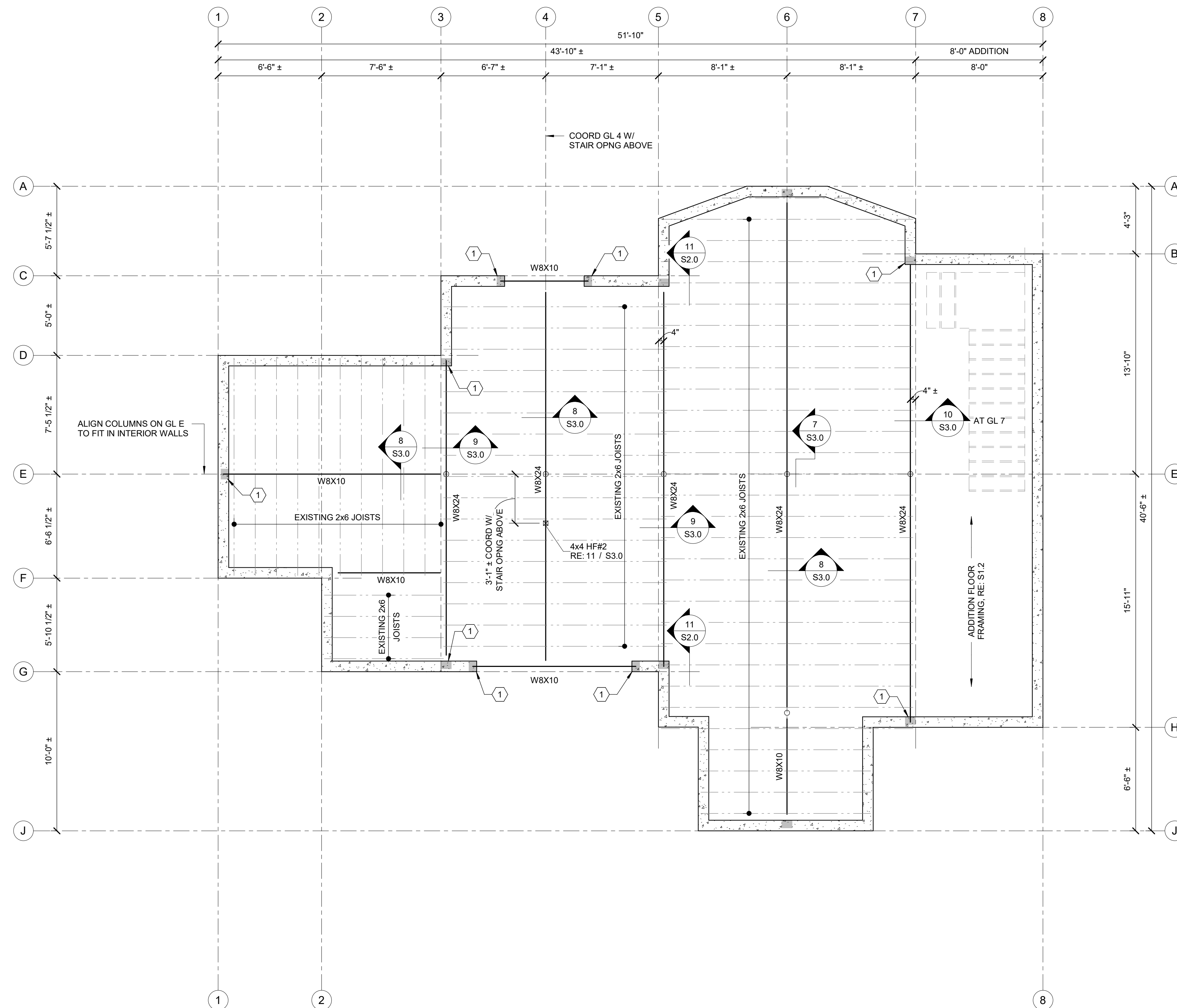
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### MAIN FLOOR SUPPORT FRAMING PLAN NOTES

- EXISTING CONDITIONS:
  - THE EXISTING FLOOR JOIST LAYOUT SHOWN IS OUR UNDERSTANDING OF THE FRAMING SYSTEM. WE WERE UNABLE TO VERIFY ALL EXISTING FLOOR FRAMING, AND AS A RESULT, THE CONTRACTOR MAY DISCOVER FRAMING CONDITIONS WHICH DO NOT MATCH THE PLAN.
  - CONTACT ENGINEER IF SIGNIFICANT DISCREPANCIES ARE DISCOVERED.
  - DIMENSIONS SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED AND COORDINATED WITH EXISTING CONDITIONS PRIOR TO FABRICATION OF STRUCTURAL STEEL.
- COLUMNS & BASEPLATES:
  - FOR BASEPLATE TYPES, ANCHOR BOLT SIZES AND LOCATIONS, RE:
- STEEL BEAMS:
  - TOP OF STEEL ELEVATION SHALL BE SET SUCH THAT THE NAILER PLATE FLUSHES OUT WITH THE TYPICAL SILL PLATE.

### MAIN FLOOR SUPPORT FRAMING PLAN KEYNOTES

- 1 BEAM POCKET; RE: 9 / S2.0



EXISTING MAIN FLOOR SUPPORT FRAMING PLAN  
1/4" = 1'-0"



# NAFFZIGER RESIDENCE

800 MATHEWS ST.  
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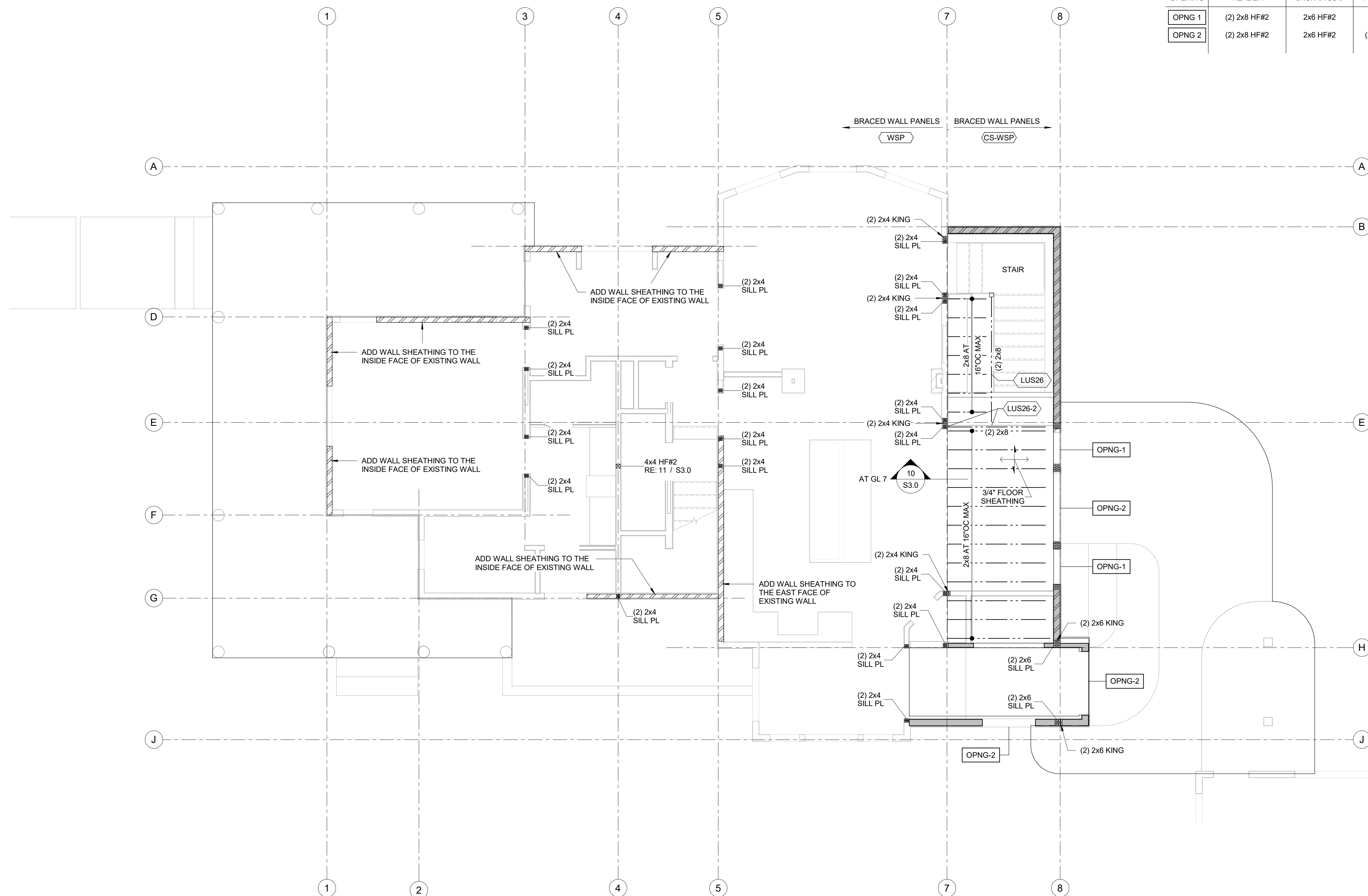
IN ASSOCIATION WITH:

### FRAMING PLAN NOTES

1. WALLS:
  - A. ALL EXTERIOR WALLS SHOWN IN PLAN ARE 2x6 HF#2 AT 16"OC, TYP UNO.
  - B. PROVIDE TREATED SILL PLATE, TYP.
  - C. PROVIDE 7/16" APA RATED WALL SHEATHING. NAIL TO WALL STUDS W/ 8d COMMONS: 6"OC AT EDGE & 12"OC IN FIELD, TYP UNO IN PLANS & DETAILS.
2. FLOORS:
  - A. FOR FRAMING MEMBER SIZES & LOC(S), RE: PLAN.
  - B. PROVIDE 3/4" APA RATED, T&G, FLOOR SHEATHING, TYP UNO. GLUE & NAIL TO SUPPORTING MEMBERS W/ 8d COMMONS: 6"OC AT EDGE & 12"OC IN FIELD, TYP UNO IN PLANS & DETAILS.
3. ROOFS:
  - A. FOR ROOF FRAMING MEMBER SIZES & LOC(S), RE: PLAN.
  - B. PROVIDE 5/8" APA RATED ROOF SHEATHING, TYP UNO. NAIL TO SUPPORTING MEMBERS W/ 8d COMMONS: 6"OC AT EDGE & 12"OC IN FIELD, TYP UNO IN PLANS & DETAILS.
4. OPENINGS:
  - A. COORD SIZE & LOC(S) OF OPENINGS W/ ARCHITECTURAL DRAWINGS.
  - B. FOR TYP OPENING FRAMING REQUIREMENTS, RE: 4 / S3.0
  - C. FOR OPENING FRAMING, RE: WALL OPENING SCHEDULE BELOW AND PLAN.

### WALL OPENING SCHEDULE

| OPENING | HEADER       | JACK STUDS | KING STUDS   |
|---------|--------------|------------|--------------|
| OPNG 1  | (2) 2x8 HF#2 | 2x6 HF#2   | 2x6 HF#2     |
| OPNG 2  | (2) 2x8 HF#2 | 2x6 HF#2   | (2) 2x6 HF#2 |



MAIN FLOOR REMODEL & ADDITION FRAMING PLAN  
1/4" = 1'-0"

### Project Status

| SHEET ISSUANCES       |          |
|-----------------------|----------|
| DESCRIPTION           | DATE     |
| CONSTRUCTION DRAWINGS | 07/30/20 |
| STRUCTURAL CDS        | 11/13/20 |

| REVISIONS |             |      |
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## MAIN FLOOR REMODEL & ADDITION FRAMING PLAN

DRAWING NUMBER:

# S1.2

# NAFFZIGER RESIDENCE

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IN ASSOCIATION WITH:

### FRAMING PLAN KEYNOTES

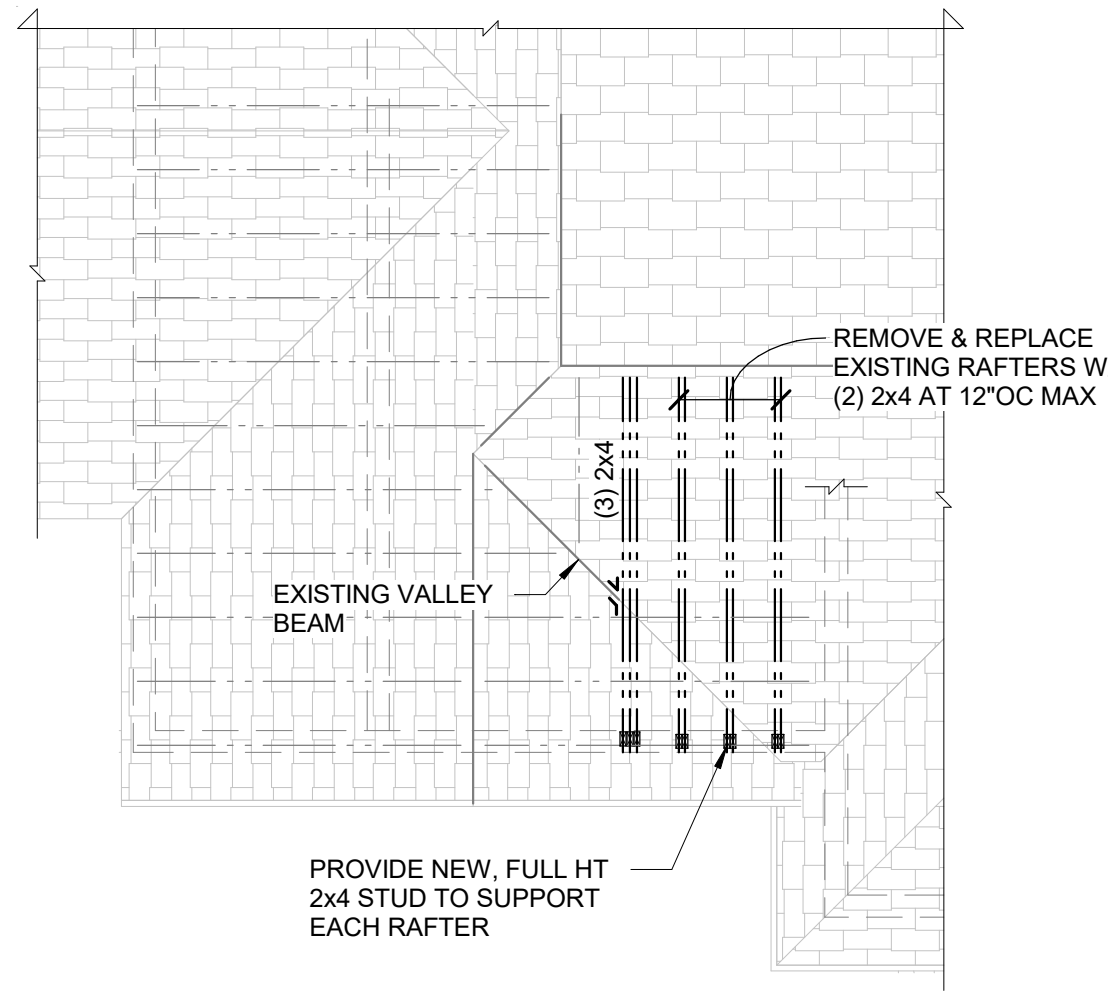
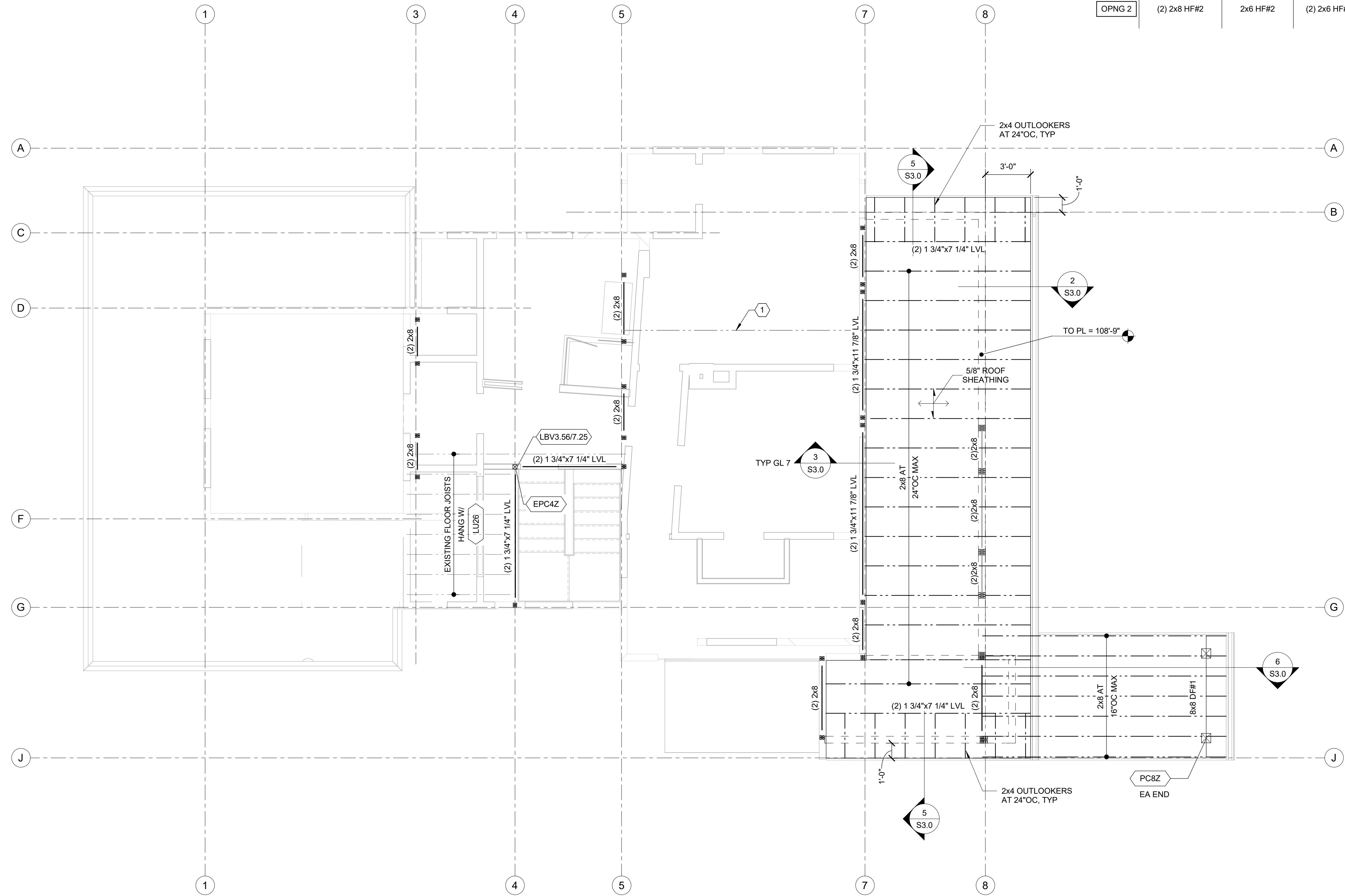
- 1. EXISTING CEILING JOIST SPAN DIRECTION, CONTACT ENGINEER IF DIFFERENT FRAMING CONDITIONS ARE DISCOVERED

### FRAMING PLAN NOTES

1. WALLS:
  - A. ALL EXTERIOR WALLS SHOWN IN PLAN ARE 2x6 HF#2 AT 16"OC, TYP UNO.
  - B. PROVIDE TREATED SILL PLATE, TYP.
  - C. PROVIDE 7/16" APA RATED WALL SHEATHING. NAIL TO WALL STUDS W/ 8d COMMONS: 6"OC AT EDGE & 12"OC IN FIELD, TYP UNO IN PLANS & DETAILS.
2. FLOORS:
  - A. FOR FRAMING MEMBER SIZES & LOC(S), RE: PLAN.
  - B. PROVIDE 3/4" APA RATED, T&G, FLOOR SHEATHING, TYP UNO. GLUE & NAIL TO SUPPORTING MEMBERS W/ 8d COMMONS: 6"OC AT EDGE & 12"OC IN FIELD, TYP UNO IN PLANS & DETAILS.
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  - A. FOR ROOF FRAMING MEMBER SIZES & LOC(S), RE: PLAN.
  - B. PROVIDE 5/8" APA RATED ROOF SHEATHING, TYP UNO. NAIL TO SUPPORTING MEMBERS W/ 8d COMMONS: 6"OC AT EDGE & 12"OC IN FIELD, TYP UNO IN PLANS & DETAILS.
4. OPENINGS:
  - A. COORD SIZE & LOC(S) OF OPENINGS W/ ARCHITECTURAL DRAWINGS.
  - B. FOR TYP OPENING FRAMING REQUIREMENTS, RE: 4 / S3.0
  - C. FOR OPENING FRAMING, RE: WALL OPENING SCHEDULE BELOW AND PLAN.

### WALL OPENING SCHEDULE

| OPENING | HEADER       | JACK STUDS | KING STUDS   |
|---------|--------------|------------|--------------|
| OPNG 1  | (2) 2x8 HF#2 | 2x6 HF#2   | 2x6 HF#2     |
| OPNG 2  | (2) 2x8 HF#2 | 2x6 HF#2   | (2) 2x6 HF#2 |



EXISTING CONDITIONS MAY DIFFER FROM THAT SHOWN. CONTACT ENGINEER TO OBSERVE CONDITIONS IN FIELD BEFORE COVERING W/ FINISHES

UPPER FLOOR & ADDITION ROOF FRAMING PLAN  
1/4" = 1'-0"

### Project Status

| SHEET ISSUANCES       | DATE     |
|-----------------------|----------|
| CONSTRUCTION DRAWINGS | 07/30/20 |
| STRUCTURAL CDS        | 11/13/20 |

### REVISIONS

| No. | Description | Date |
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### UPPER FLOOR & ADDITION ROOF FRAMING PLAN

DRAWING NUMBER:

# S1.3

# NAFFZIGER RESIDENCE

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### Project Status

| SHEET ISSUANCES       |          |
|-----------------------|----------|
| DESCRIPTION           | DATE     |
| CONSTRUCTION DRAWINGS | 07/30/20 |
| STRUCTURAL CDS        | 11/13/20 |

| REVISIONS |             |      |
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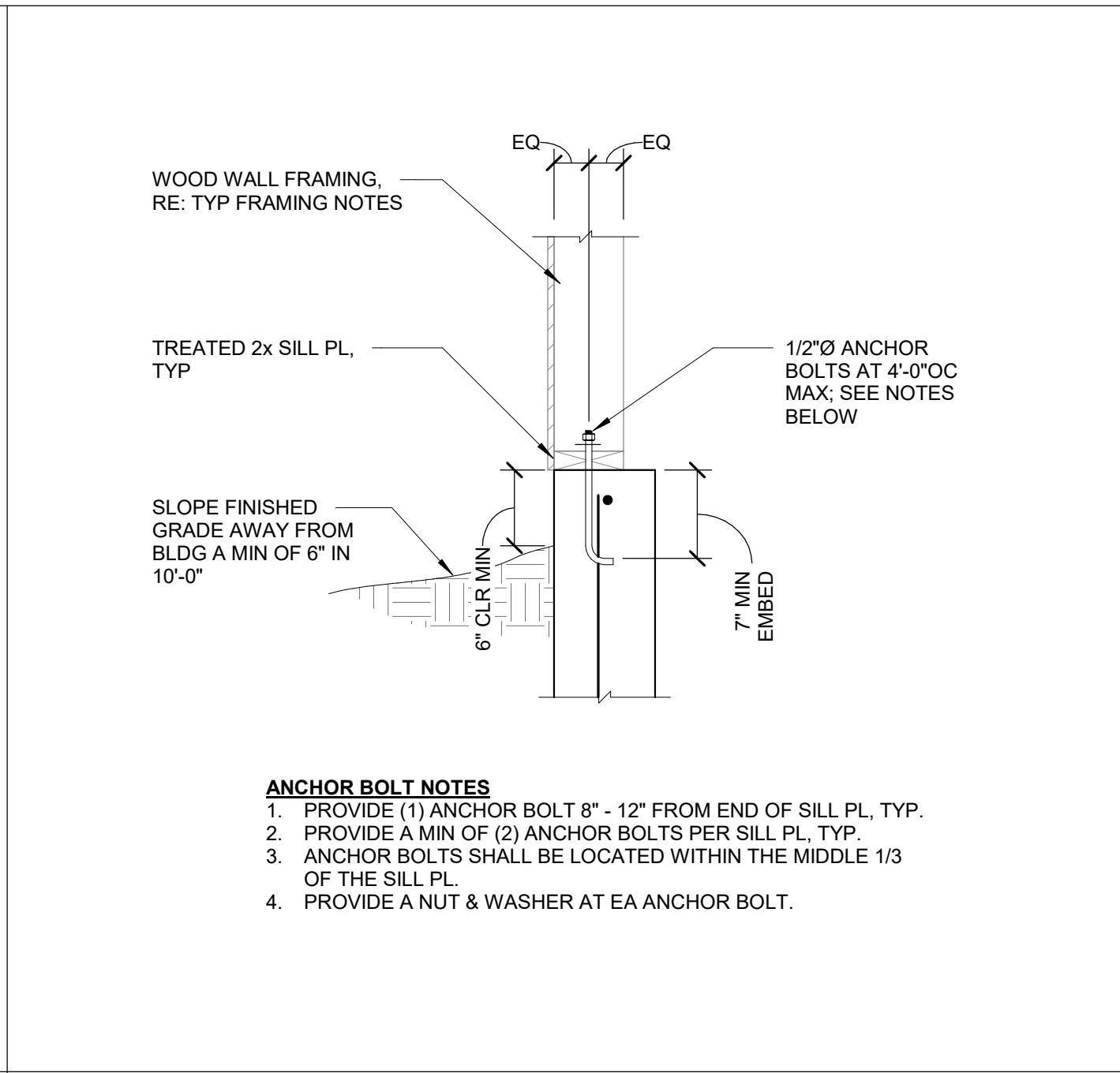


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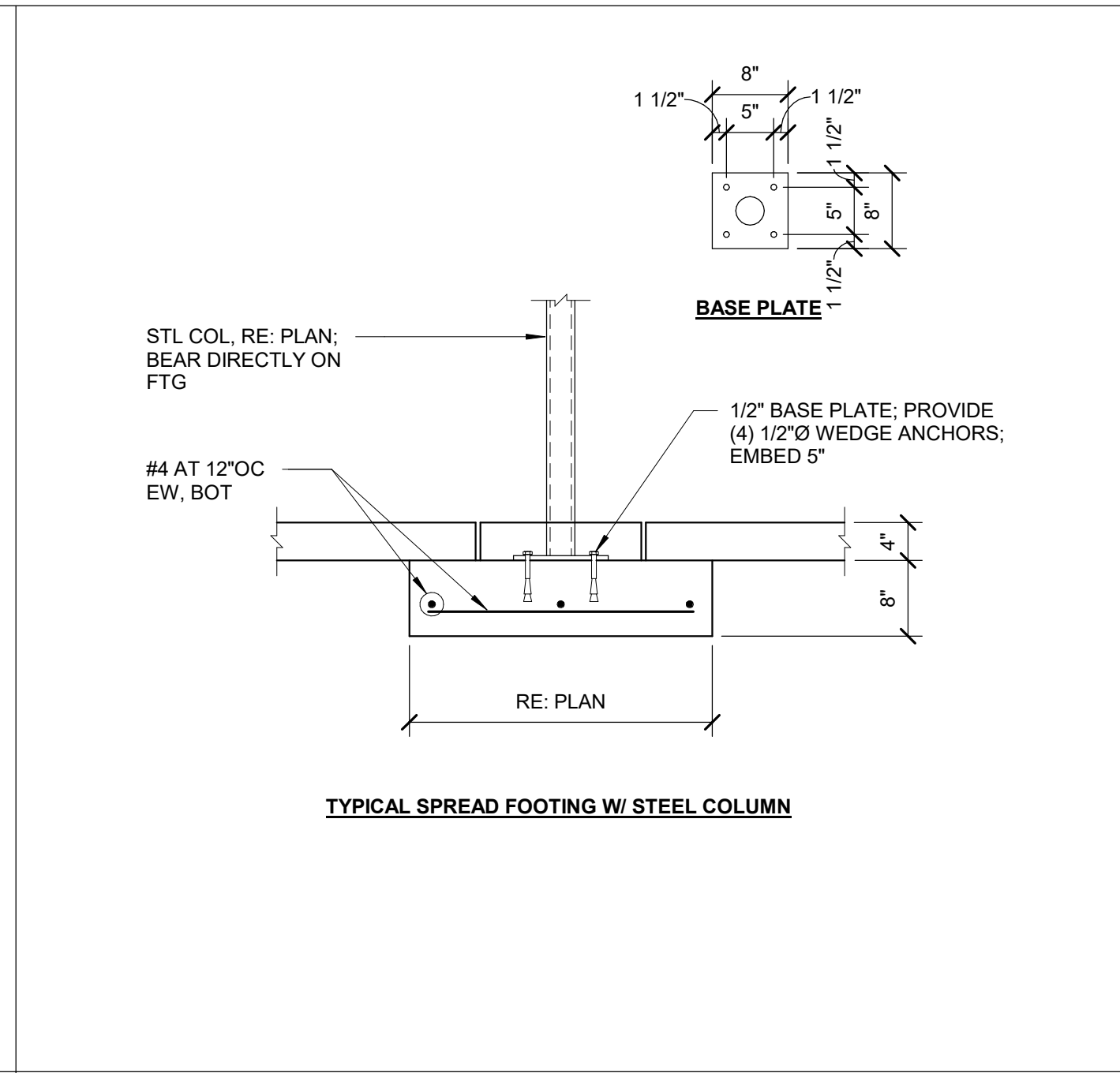
## FOUNDATION DETAILS

DRAWING NUMBER:

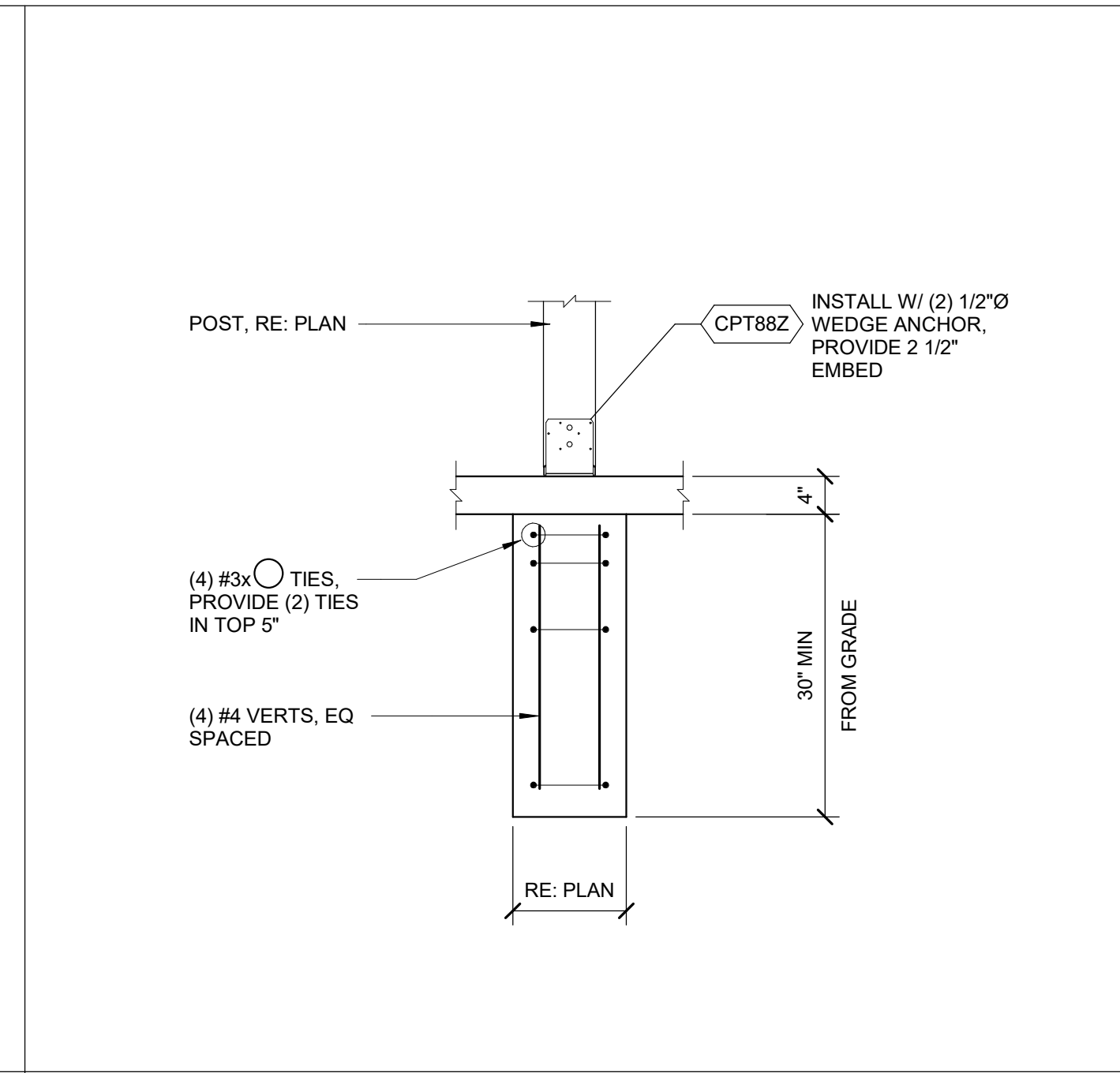
# S2.0



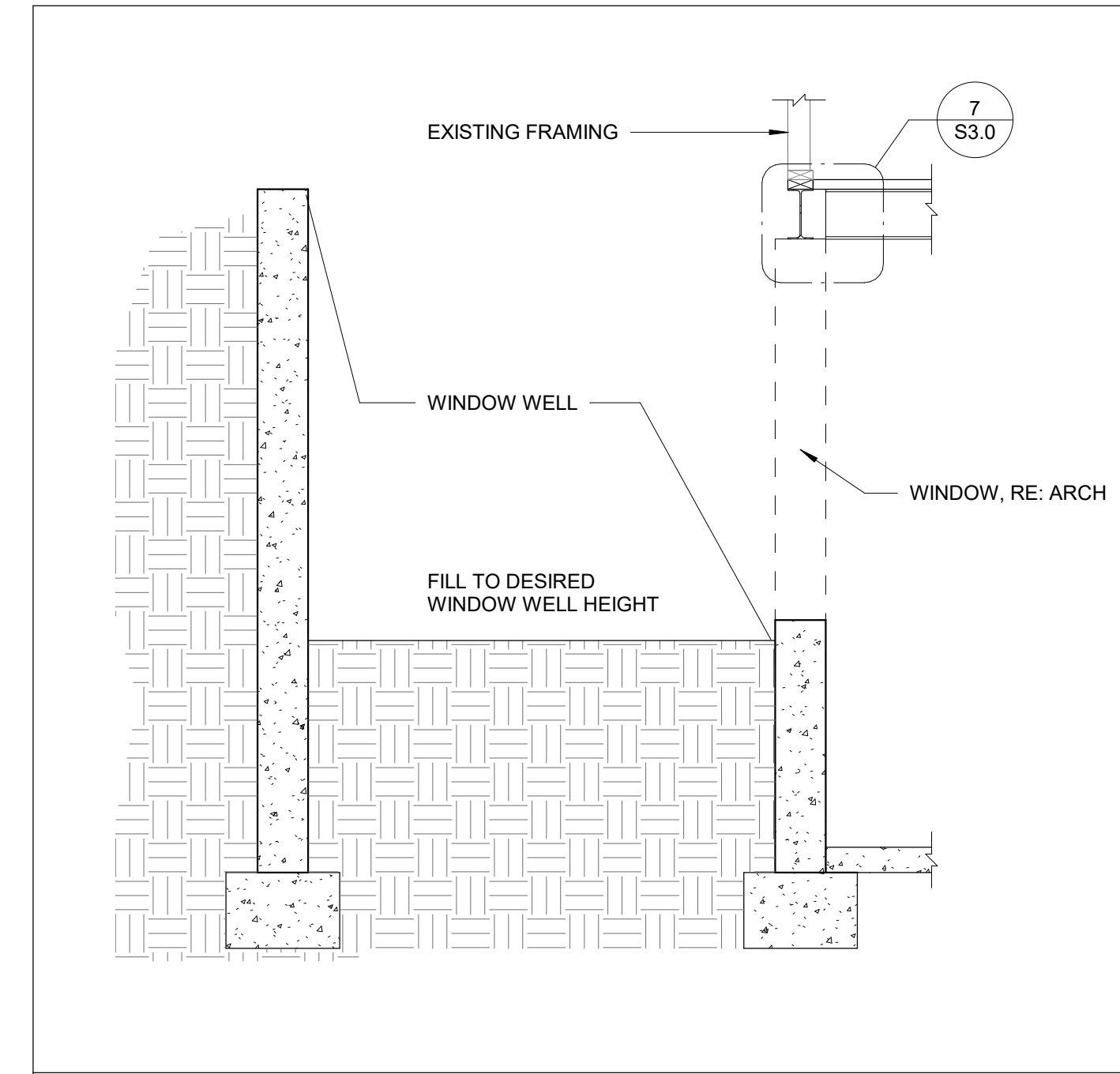
**1** TYP ANCHOR BOLT & T.O.W. RQMTS  
NO SCALE



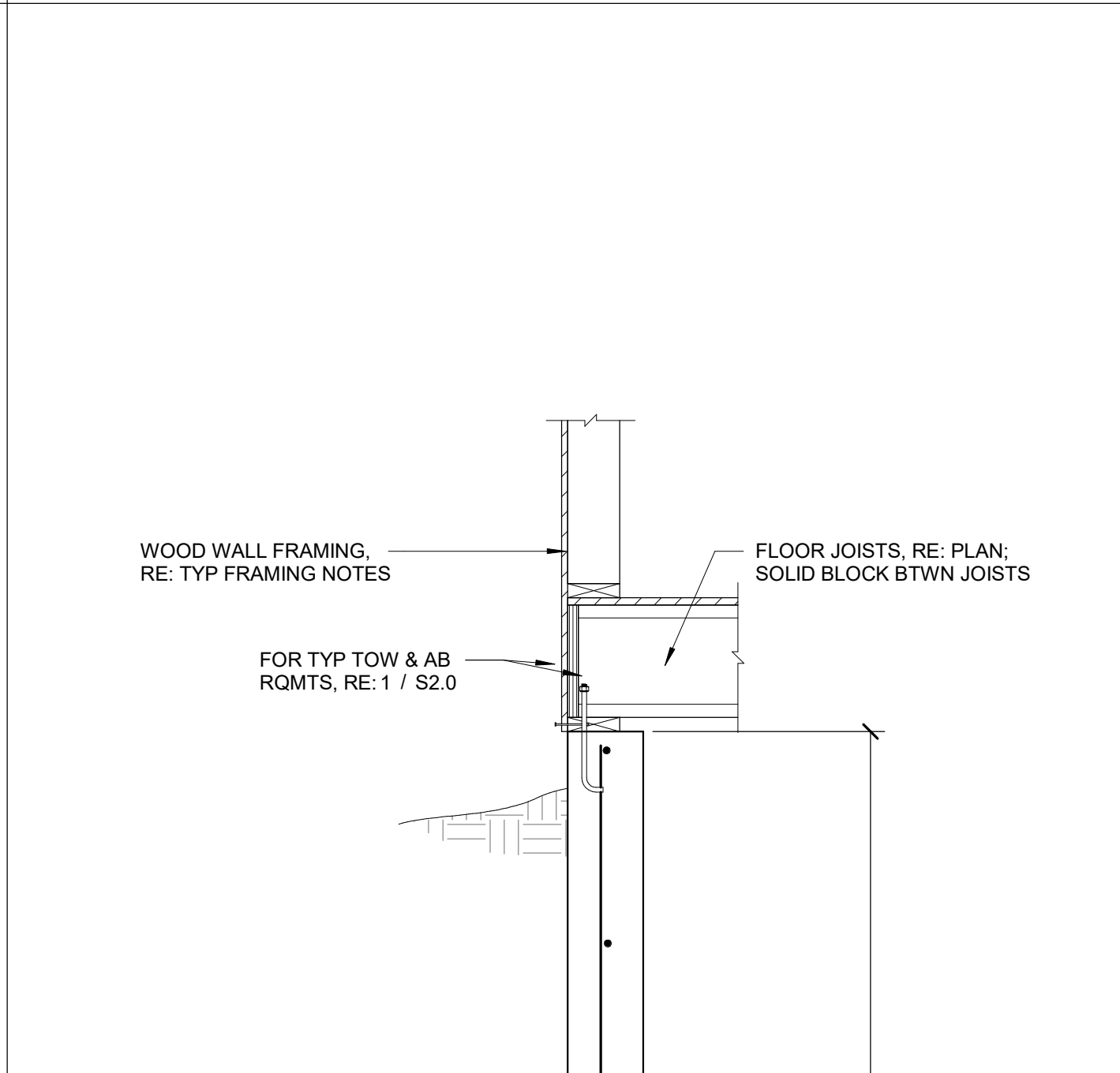
**4** TYP INTERIOR FOUNDATIONS  
NO SCALE



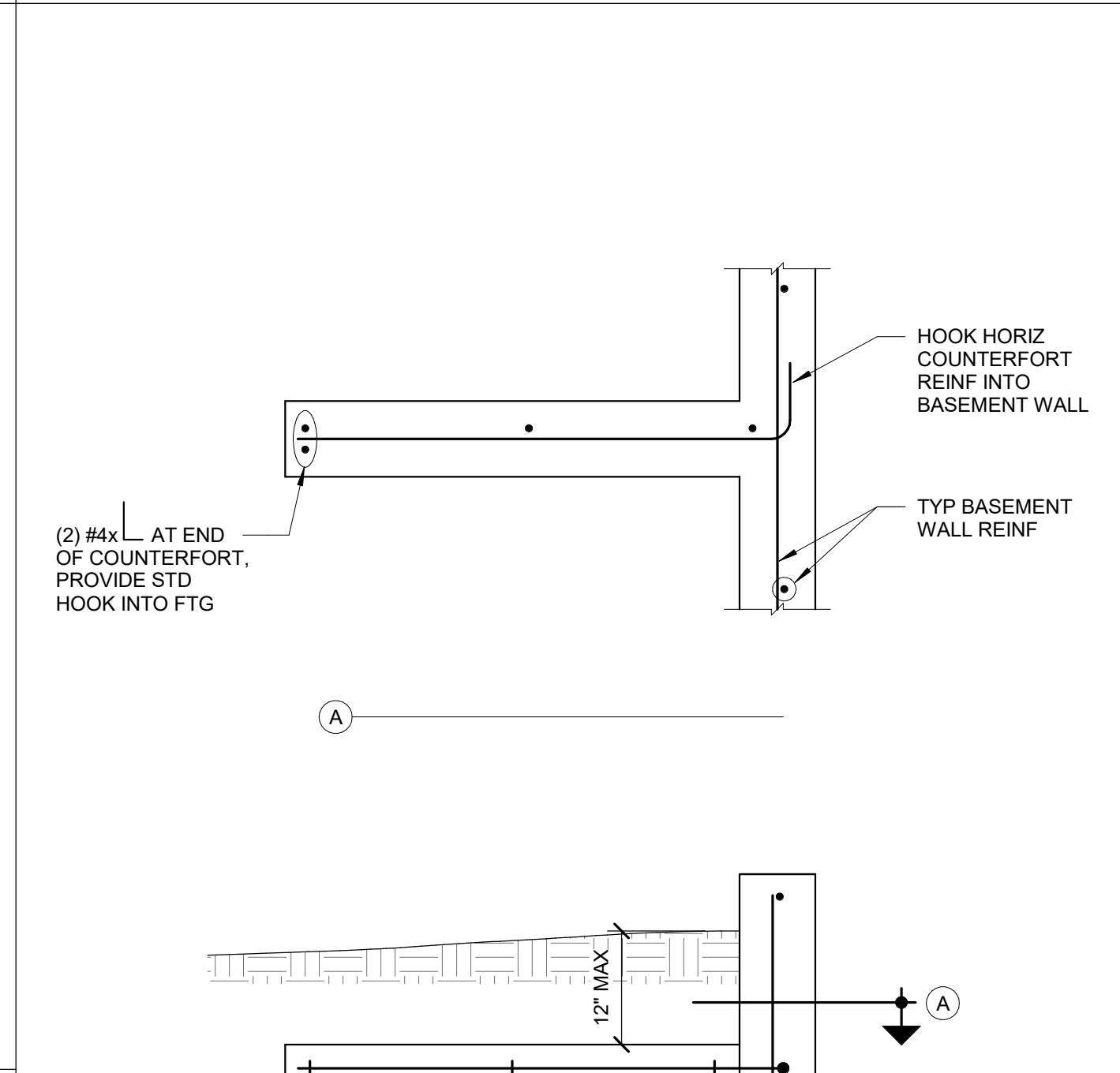
**7** TYP DECK PIER  
NO SCALE



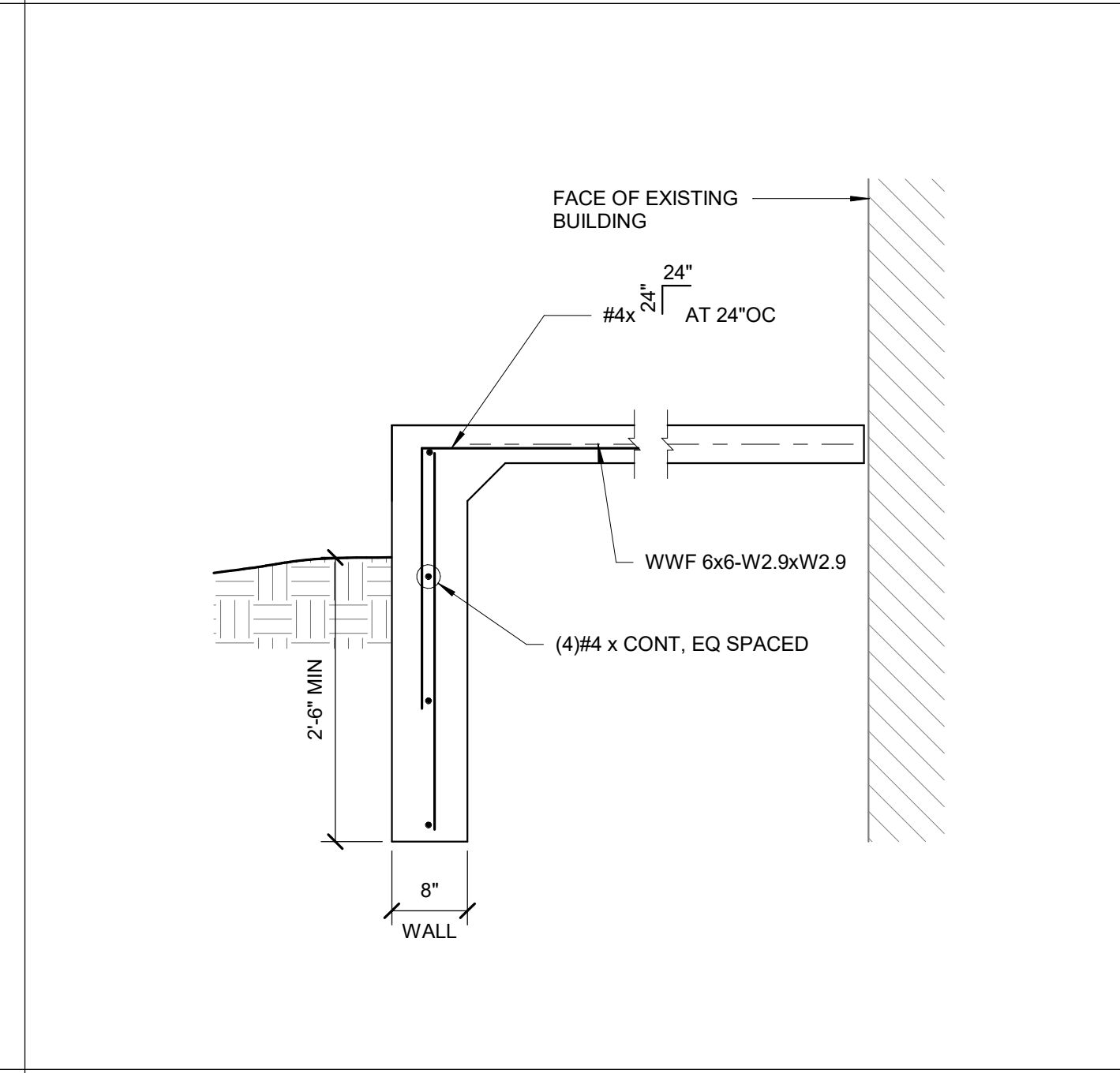
**10** SECTION AT WINDOW WELL  
NO SCALE



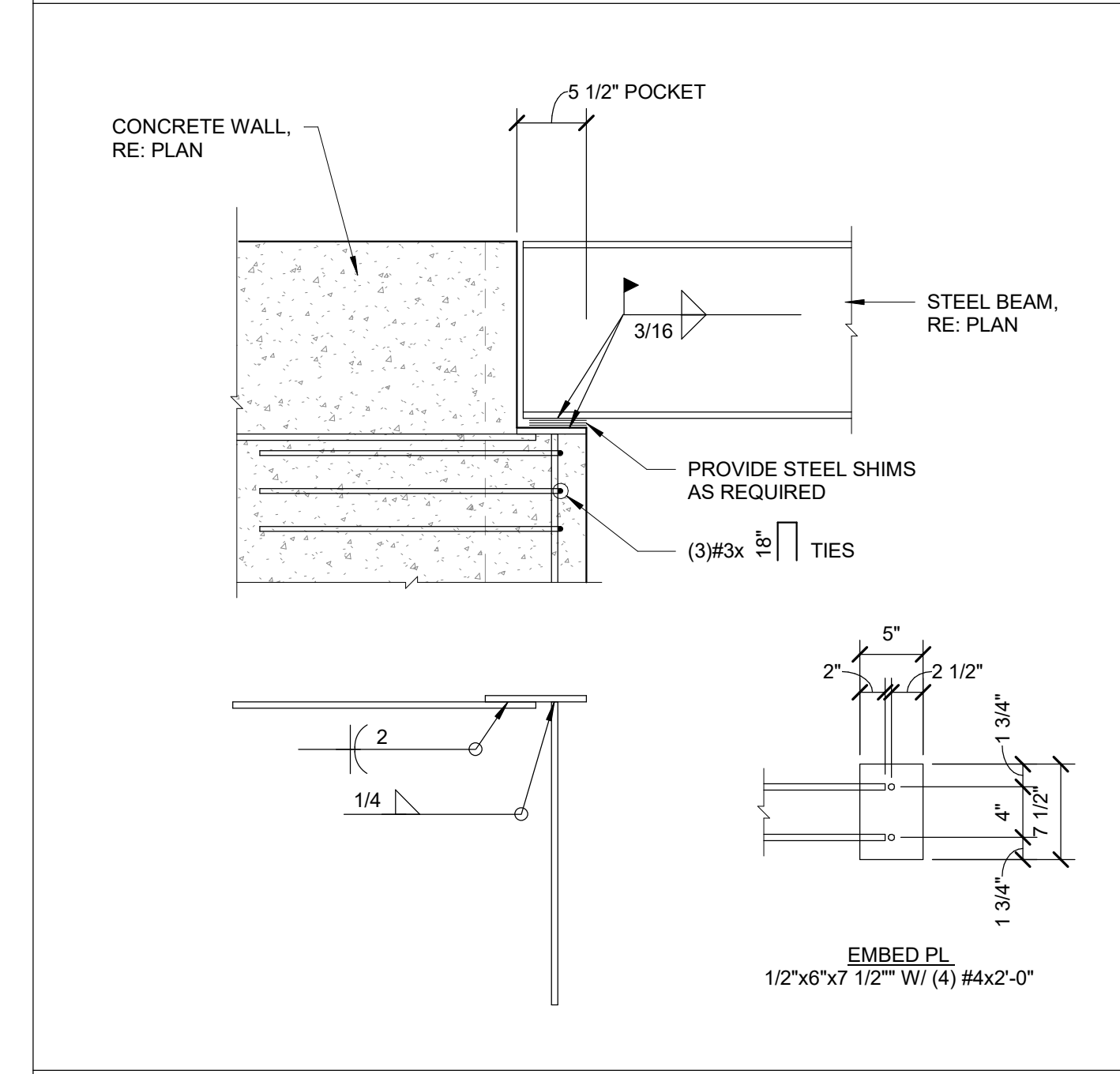
**3** TYP BASEMENT WALL  
NO SCALE



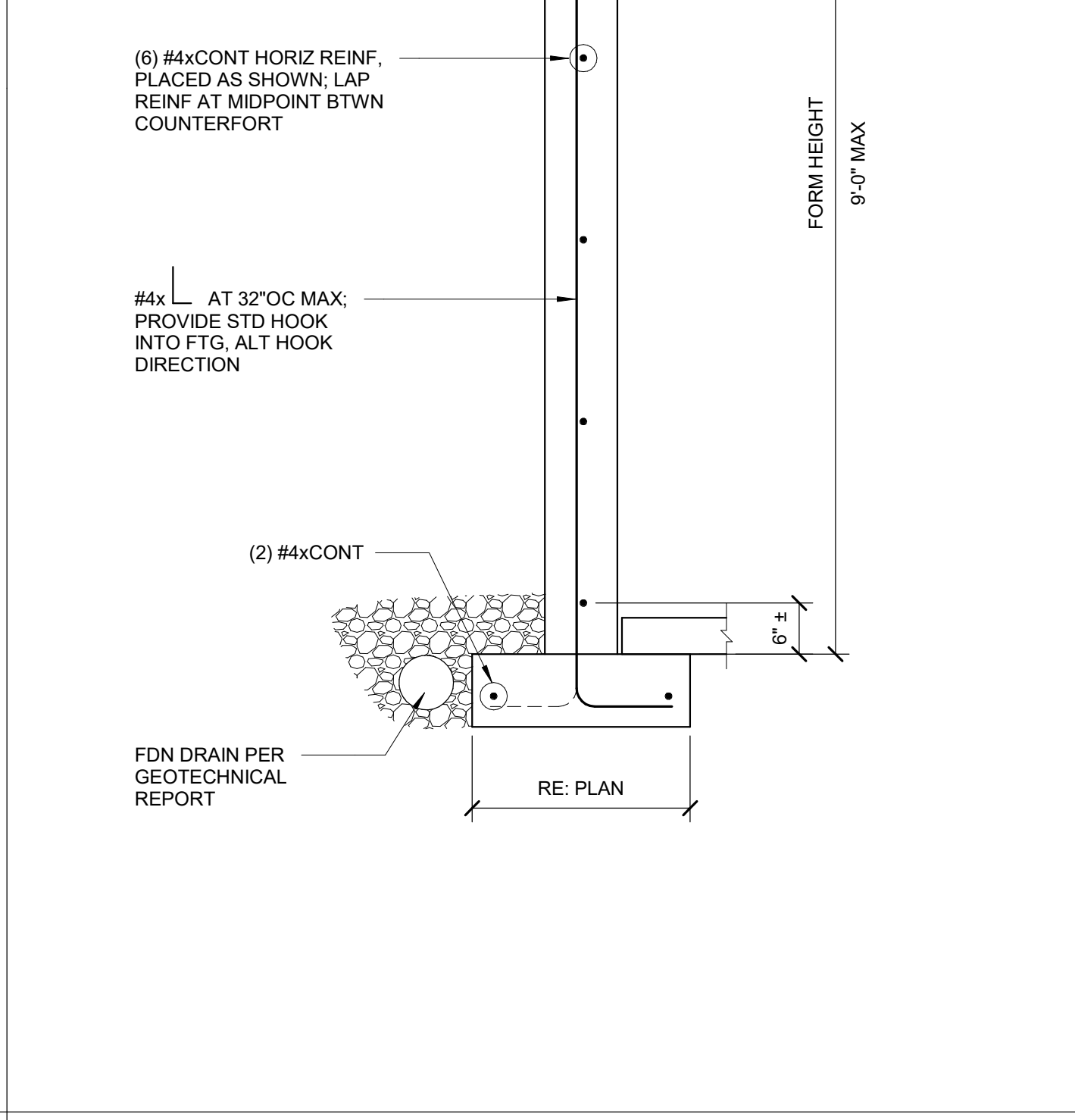
**6** TYP COUNTERFORT AT BASEMENT WALL  
NO SCALE



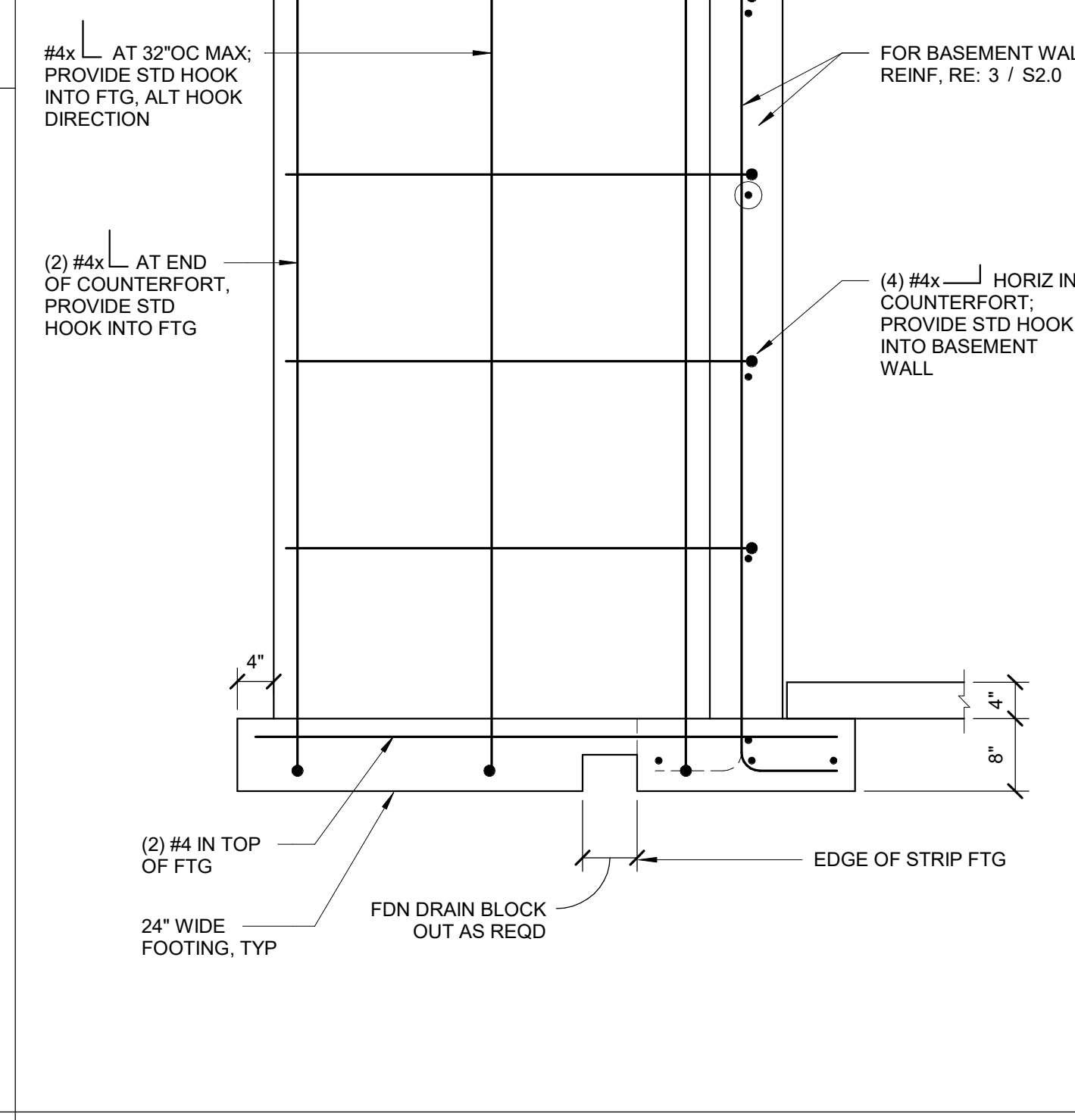
**8** TRENCHED FOUNDATION WALL AT WEST PORCH  
NO SCALE



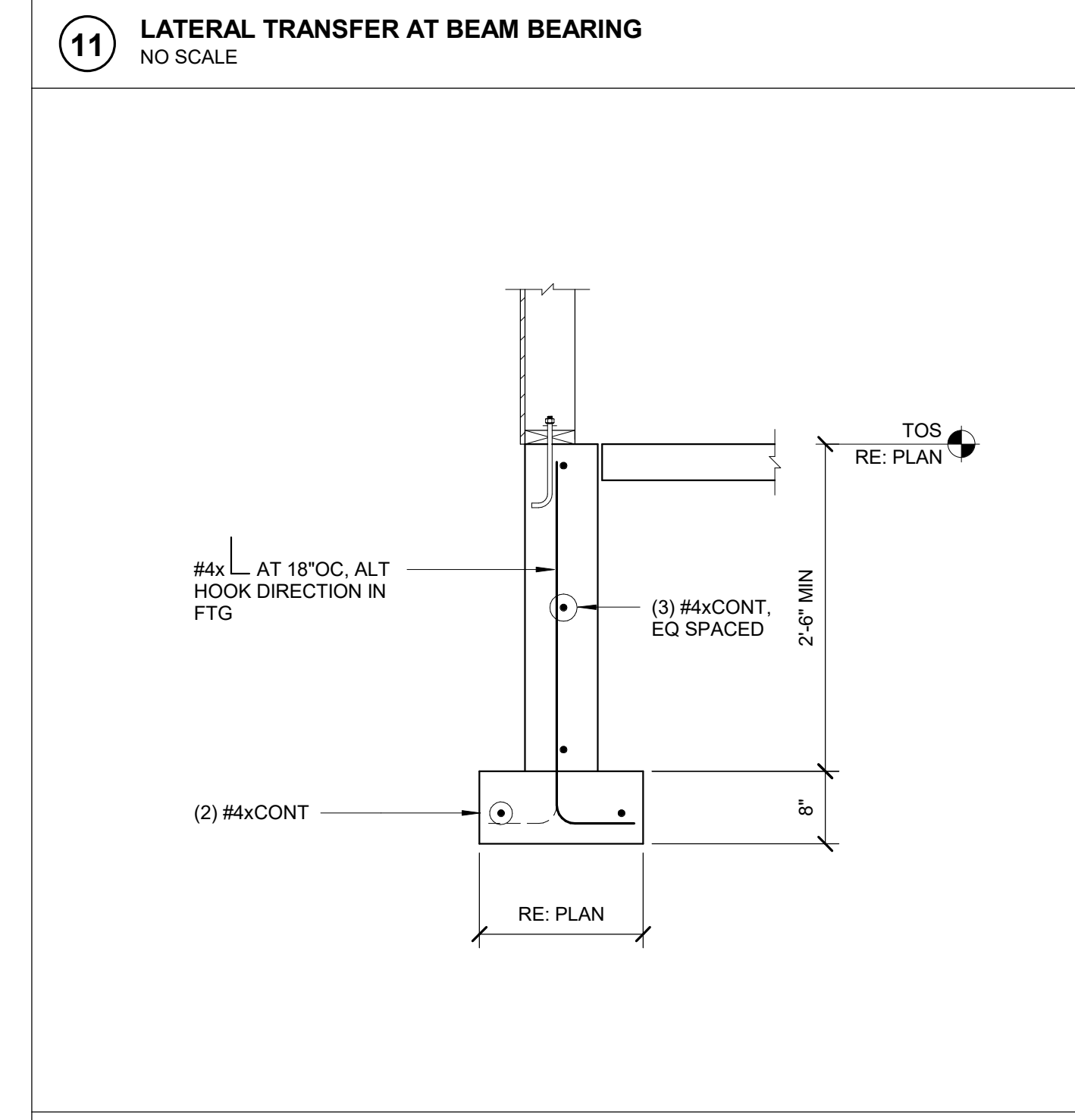
**11** LATERAL TRANSFER AT BEAM BEARING  
NO SCALE



**9** TYP BEAM POCKET  
NO SCALE



**12** FOUNDATION WALL AT MUD ROOM  
NO SCALE

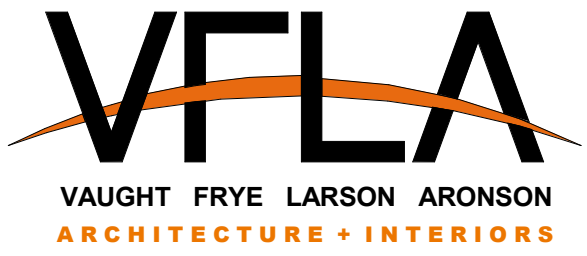


**1** TYP ANCHOR BOLT & T.O.W. RQMTS  
NO SCALE

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# NAFFZIGER RESIDENCE

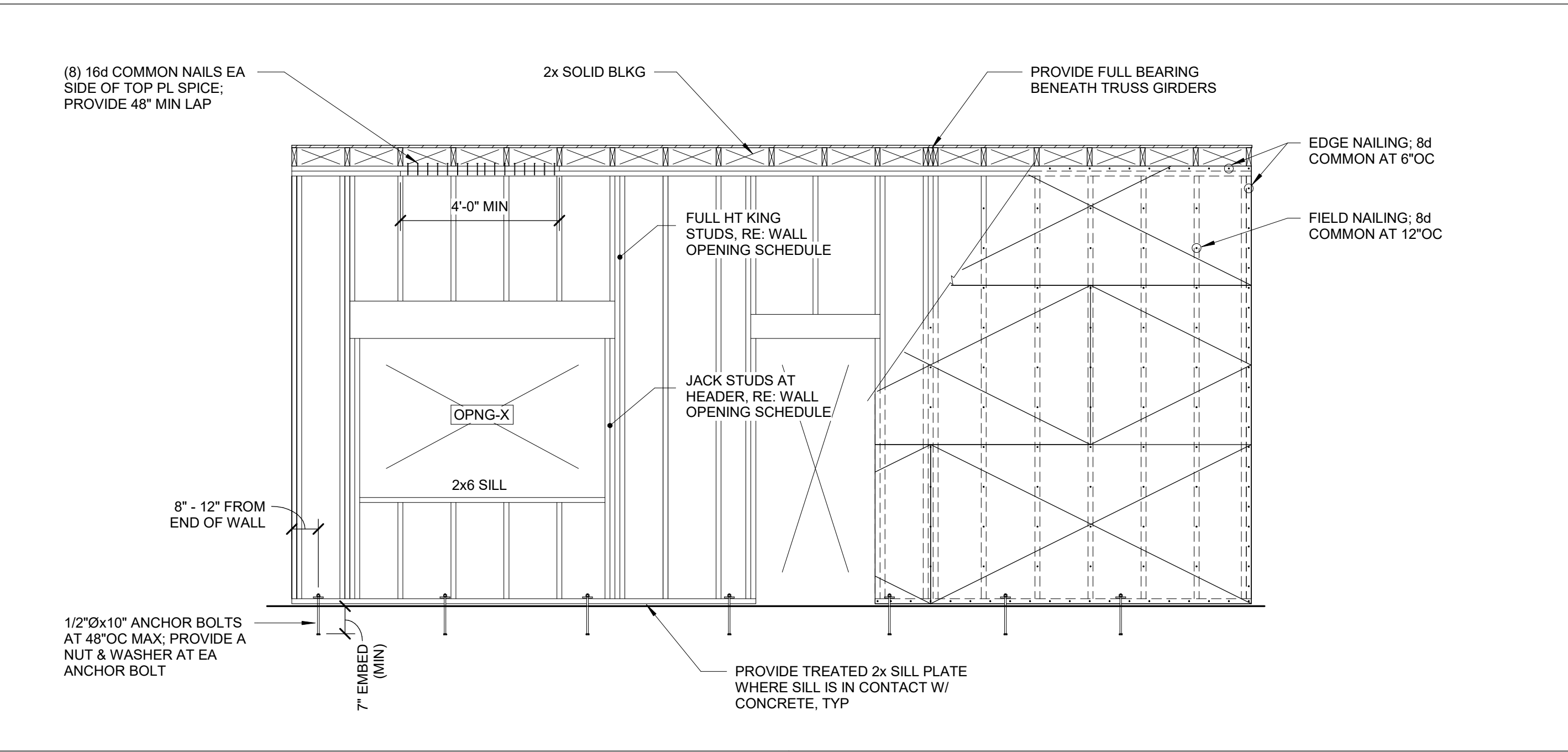
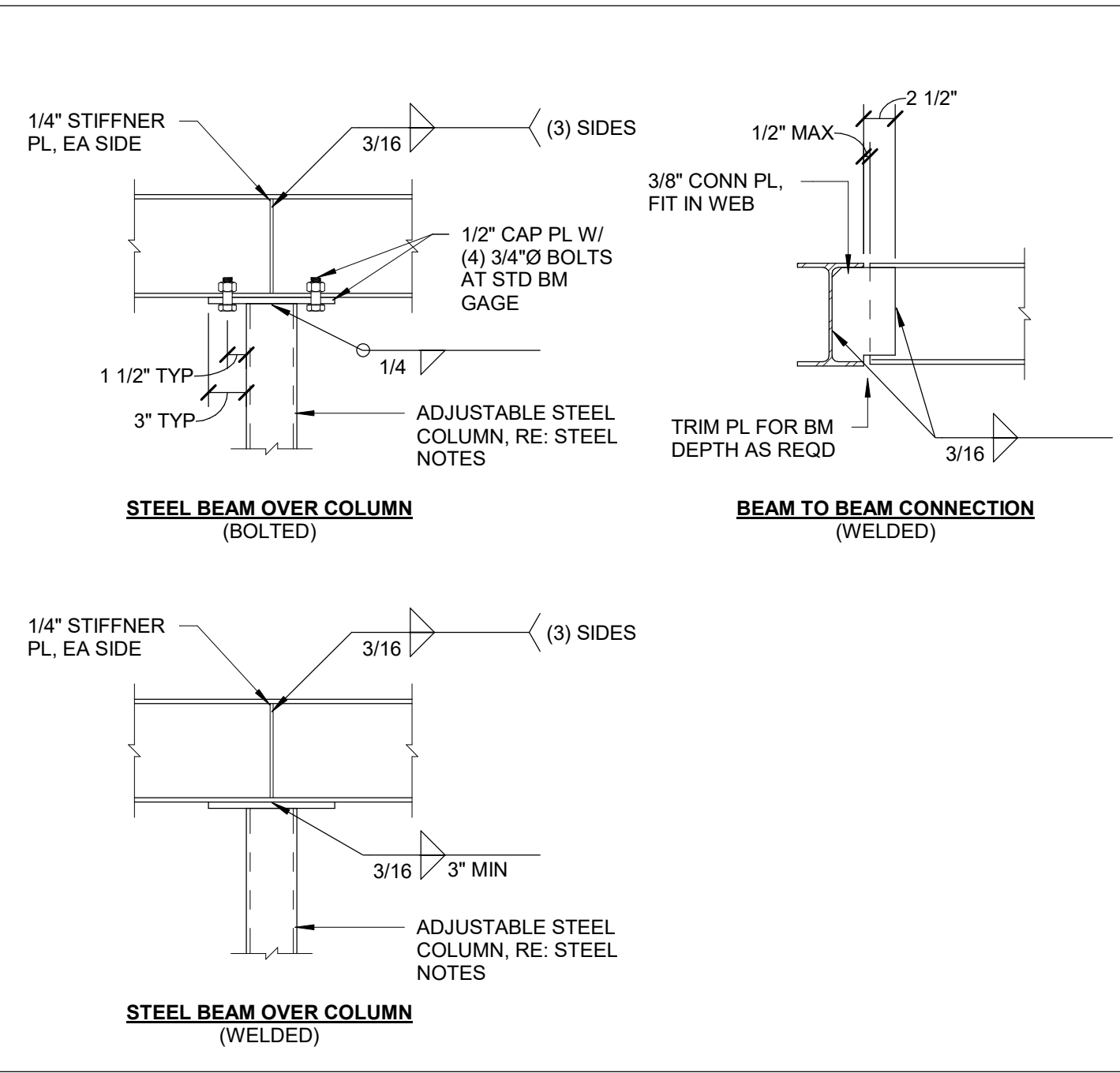
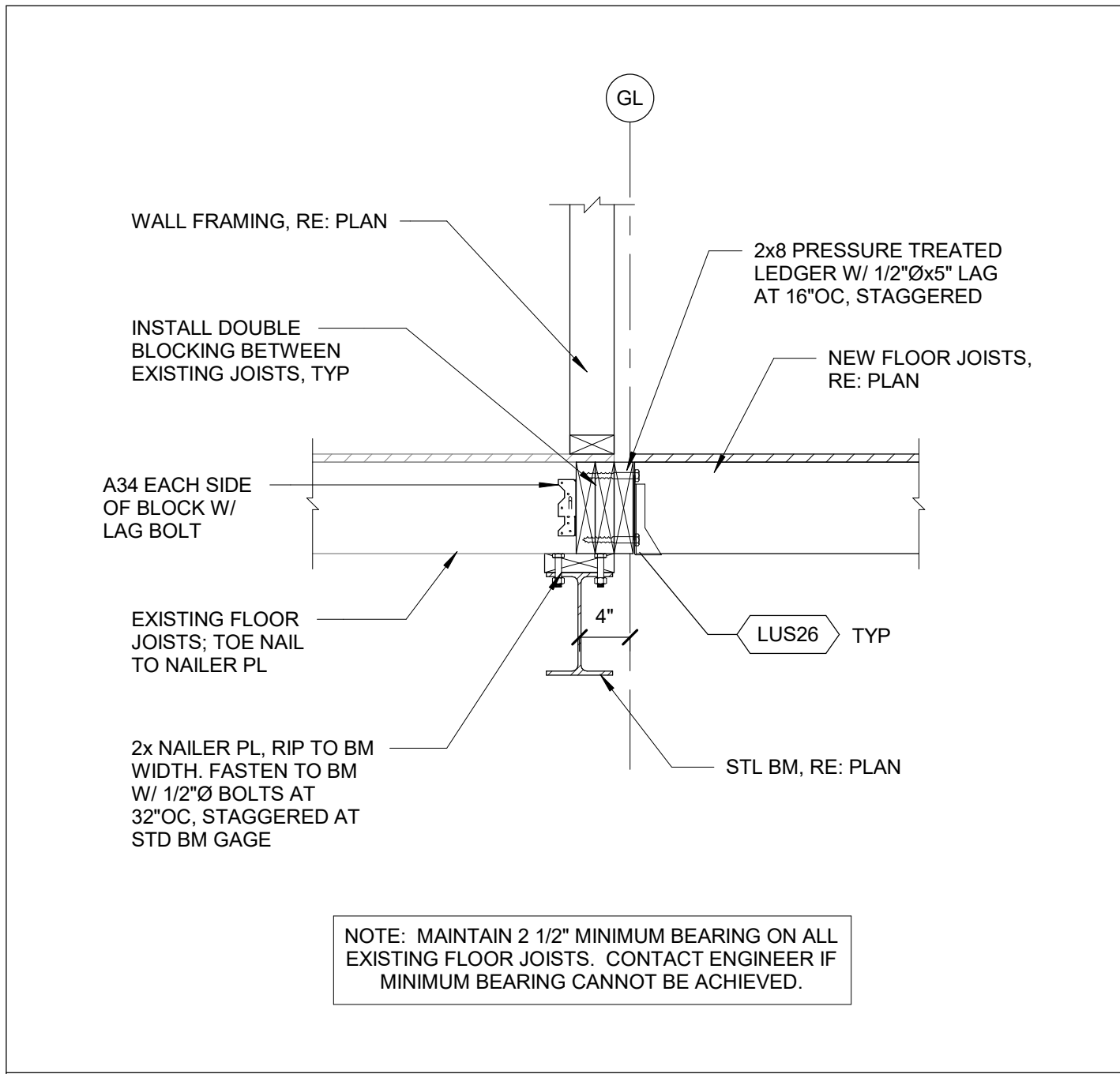
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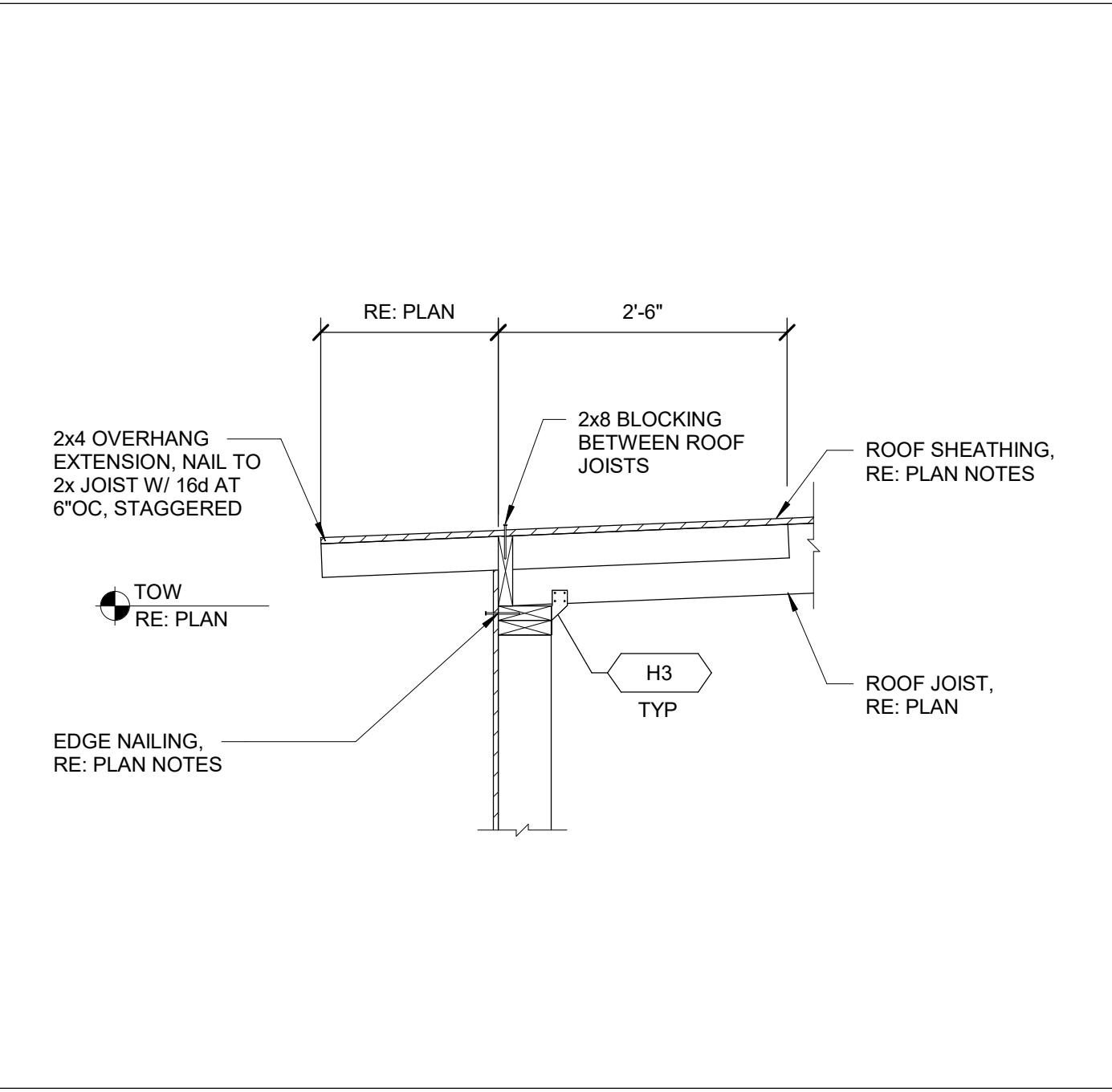
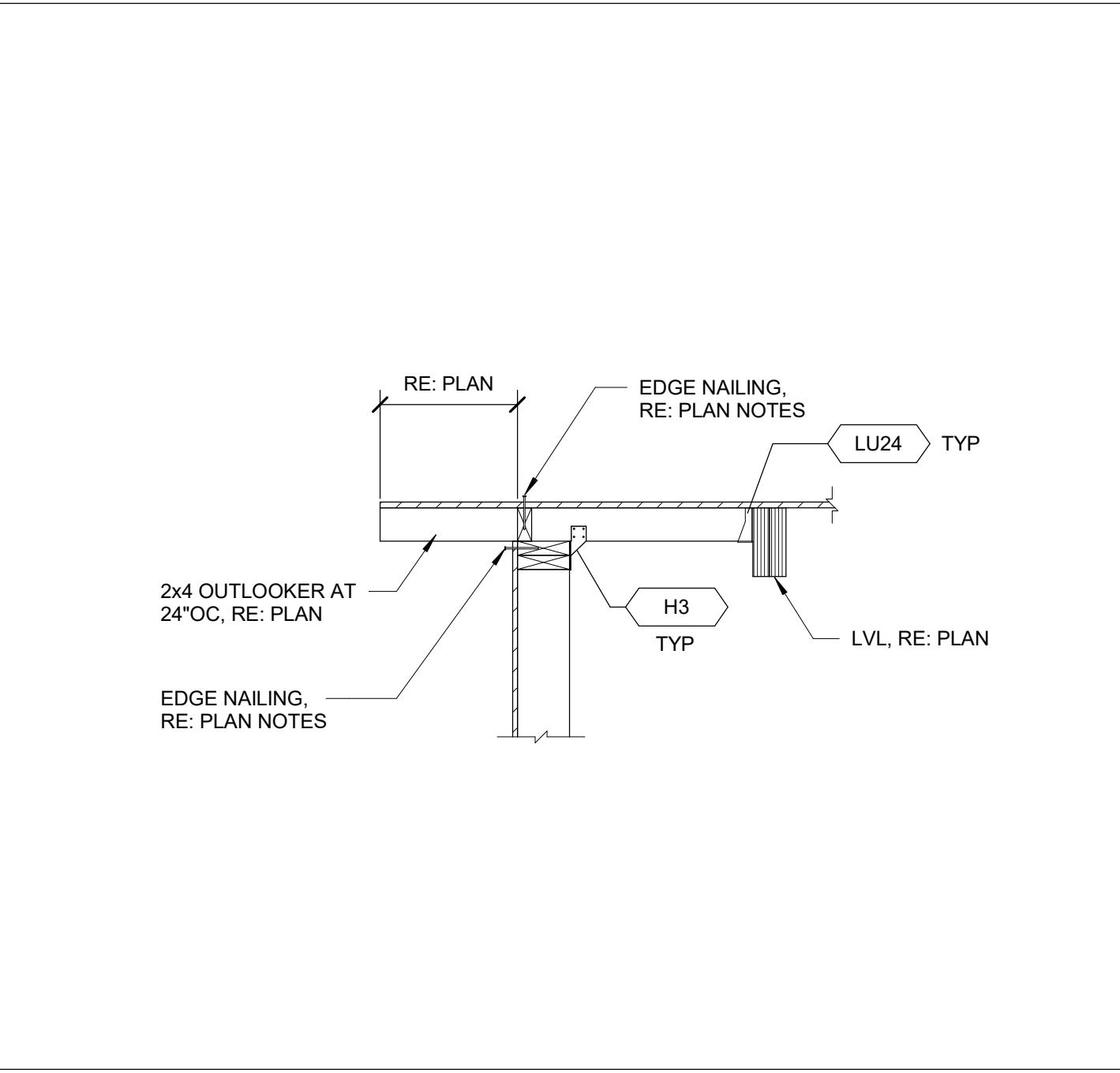
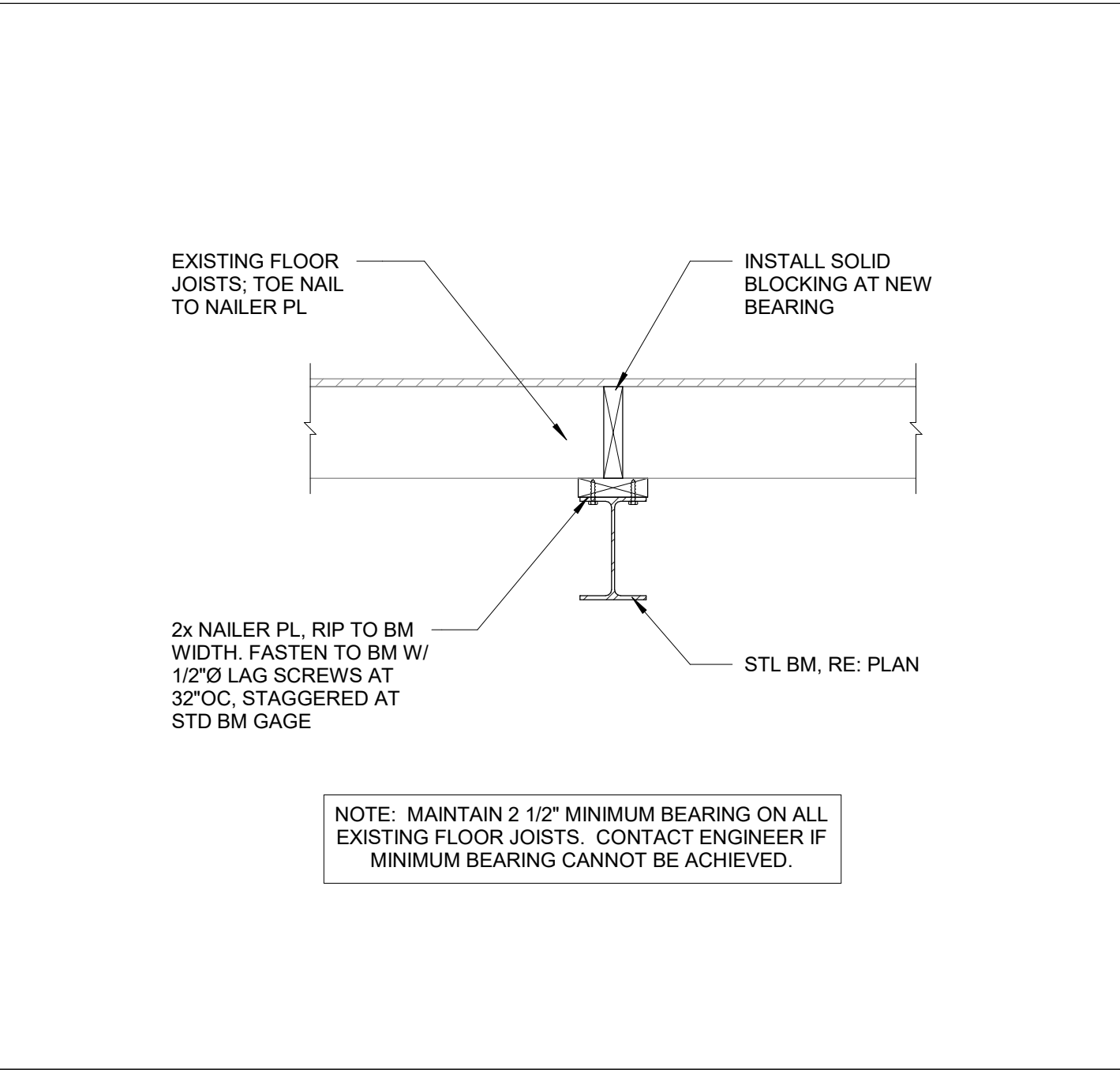
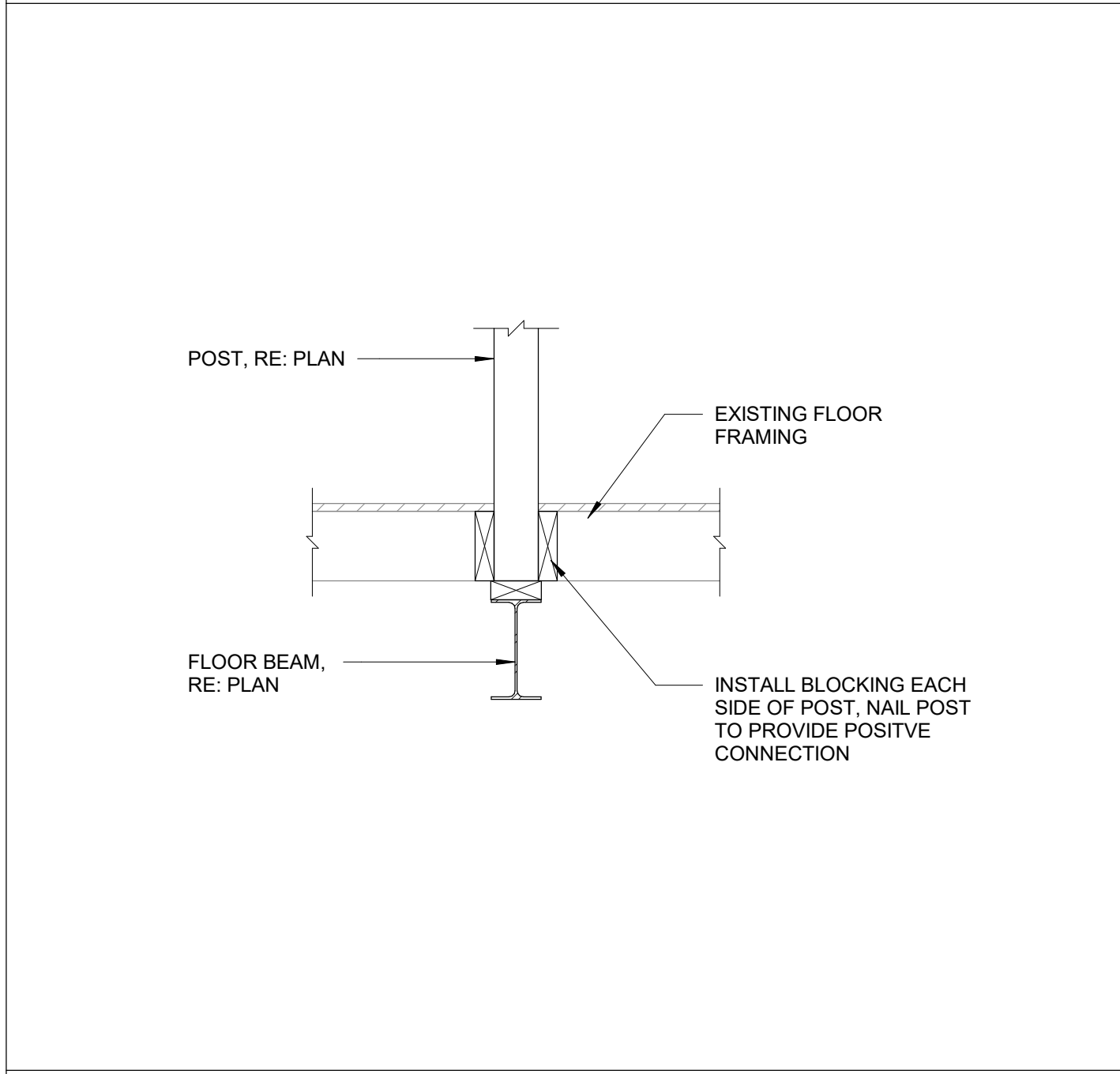
IN ASSOCIATION WITH:



**10** EXISTING FLOOR JOISTS AT STEEL BEAM - 3  
NO SCALE

**7** BEAM BEARING AT STEEL COLUMN  
NO SCALE

**4** TYP WOOD WALL FRAMING  
NO SCALE

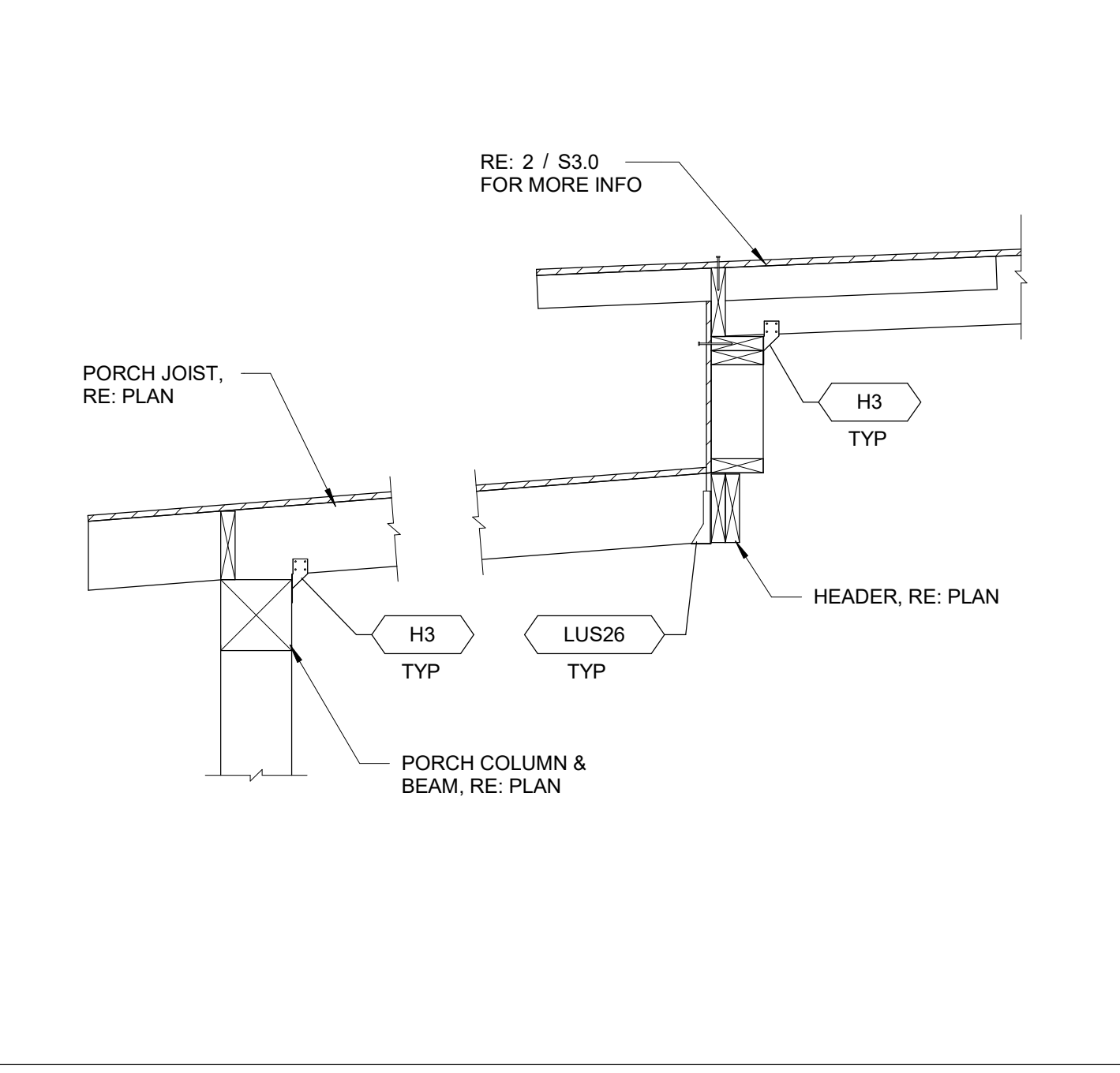
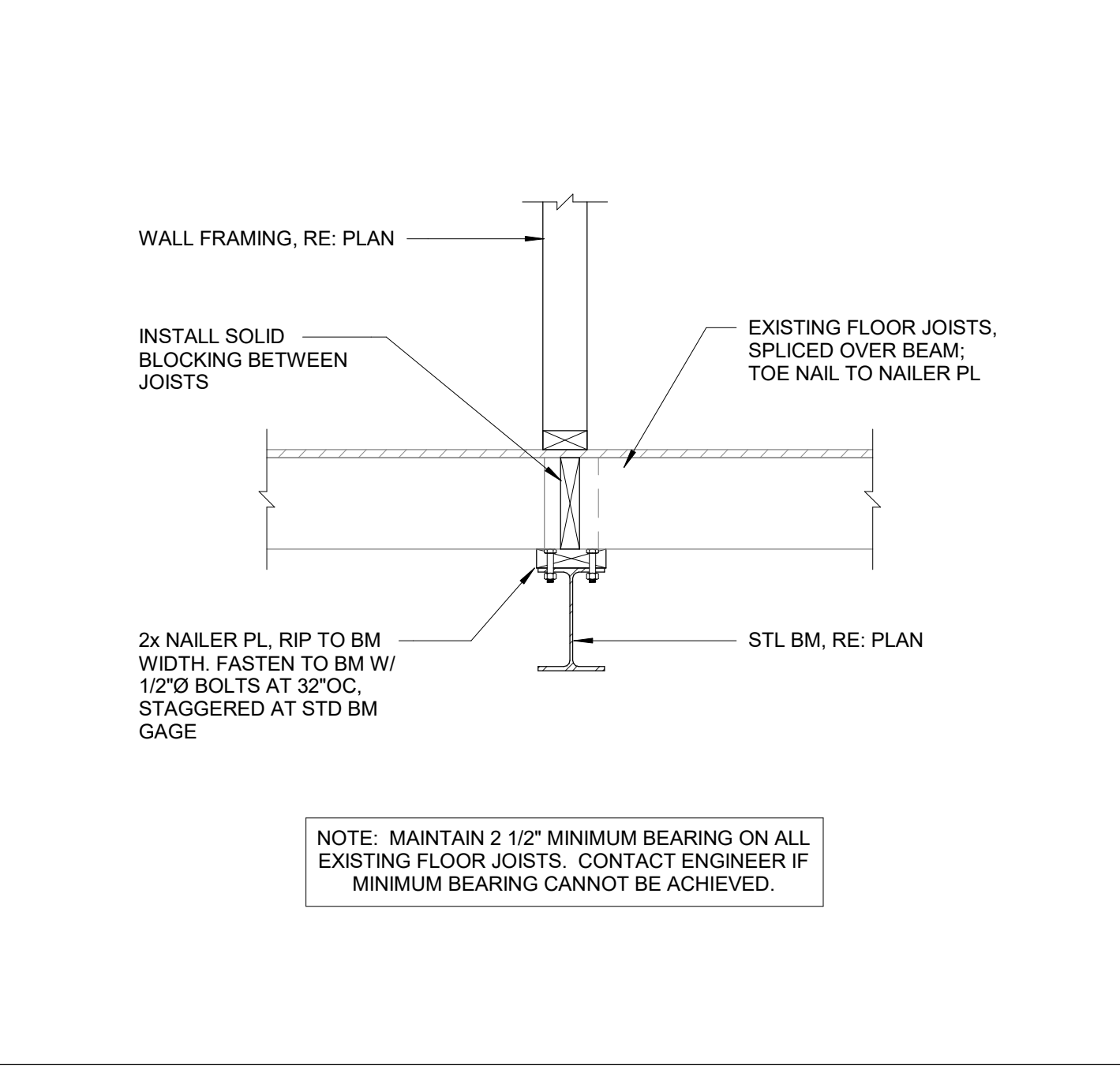
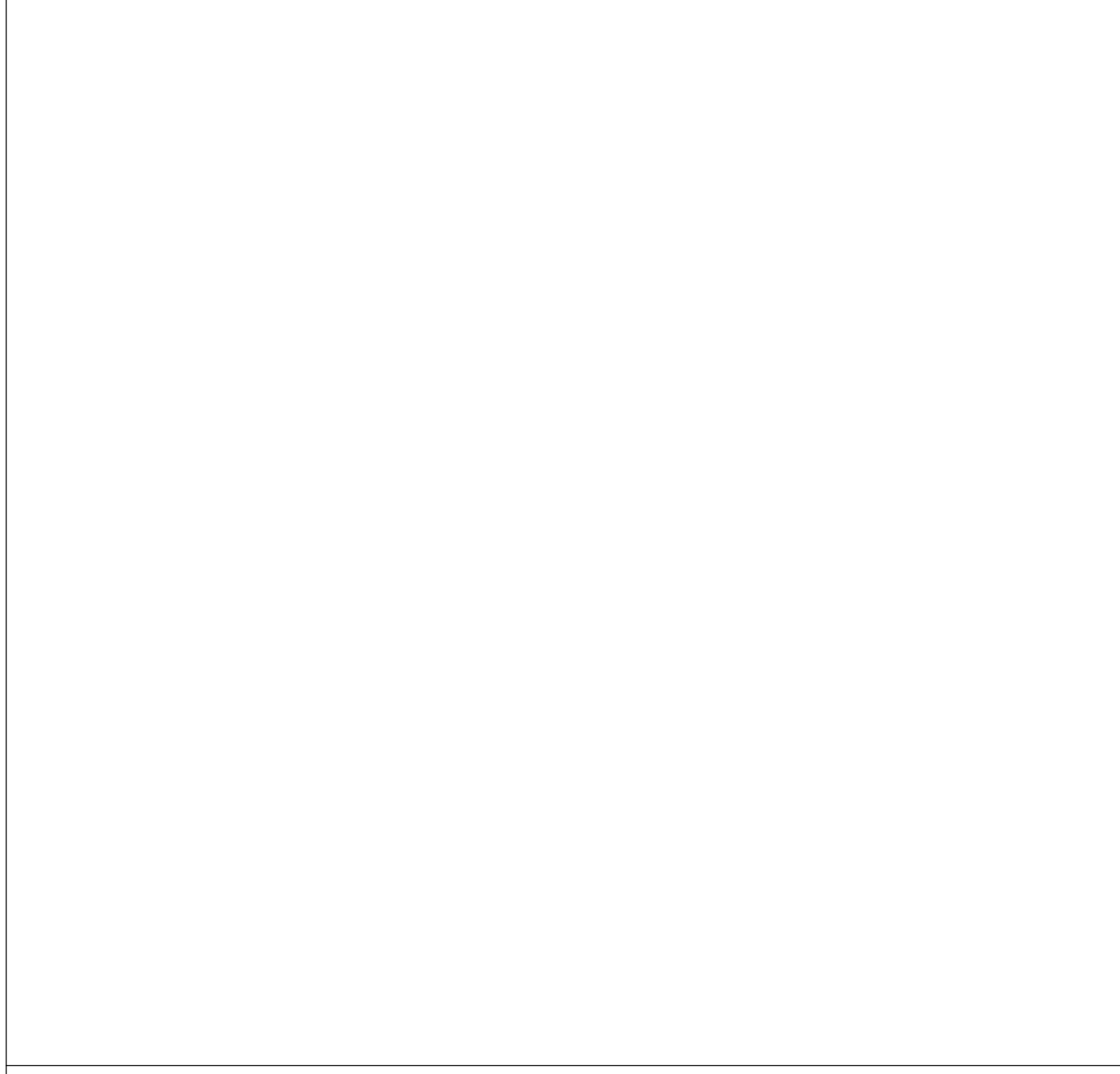


**11** STAIR POST BEARING ON STEEL BEAM  
NO SCALE

**8** EXISTING FLOOR JOISTS AT STEEL BEAM - 1  
NO SCALE

**5** 2x ROOF JOIST AT NON-BEARING WALL  
NO SCALE

**2** 2x ROOF JOIST AT BEARING WALL  
NO SCALE



**9** EXISTING FLOOR JOISTS AT STEEL BEAM - 2  
NO SCALE

**6** COVERED PORCH FRAMING  
NO SCALE

**3** ADDITION ROOF FRAMING AT EXISTING WALL  
NO SCALE

Project Status

| DESCRIPTION           | DATE     |
|-----------------------|----------|
| CONSTRUCTION DRAWINGS | 07/30/20 |
| STRUCTURAL CDS        | 11/13/20 |

REVISIONS

| No. | Description | Date |
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## FRAMING DETAILS

DRAWING NUMBER:

# S3.0