



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue

P.O. Box 580

Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE
Site Number/Address: 200 Jefferson Street / Union Pacific Passenger Depot
Old Town National Register Historic District
ISSUED: October 18, 2021

ATTN: Robin Busteded
200 Jefferson, LLC
401 Mountain Ave, Suite 200
Fort Collins, CO 80521

Dear Property Owner:

This report is to inform you of the results of this office's review of proposed alterations to the Union Pacific Railroad Passenger Depot at 200 Jefferson Street, pursuant to Fort Collins Municipal Code, Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation as well.

The alterations reviewed include:

- In-kind roof replacement (asphalt shingle)
- Galvanized metal cap on brick chimney (Pre-Weathered Galvalume style)
- *Note 1 – Chimney – Metal caps on “mothballed” chimneys is a common way to seal them and prevent water infiltration into the building. In-kind replacement of the damaged concrete cap is encouraged; if executed, care should be taken to match existing/historic mortar strengths to avoid long-term damage to the brick and joinery underneath the cap. From submitted photos, repointing of the chimney masonry by a qualified mason appears warranted and is encouraged.*
- *Note 2 – Roof ridge – The building includes a distinctive masonry roof ridge that should be retained/preserved as part of the project.*

Our staff review of the proposed work finds the alterations do meet the SOI Standards for Rehabilitation. The requirement for a design review application has been waived because the project appears to be routine in nature with minimal effects to the historic resource, and meets the requirements of Article IV cited above.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work. Please consider National Park Service Preservation Brief #4, [Roofing for Historic Buildings](#) as you complete this project.

Please note that work beyond that indicated in your permit application/correspondence requires additional approval. Items requiring further approval include, but are not limited to, the following activities:

- ~~Work affecting, or repair of, a chimney;~~ (addressed, see note above and attachments)
- Repair or replacement of historic decorative or functional features on or near the roof, such as fascia, purlins, brackets, eaves, gutters, and dormers;
- Installation of roof insulation above the sheathing that will result in more than a 4-inch increase in the roof height; (note: uncovered portions at the eave should be covered with plain fascia or drip edge);
- Addition of new rooftop features including skylights, dormers, and large new vents (note: no further review is needed to install standard edge, ridge, or "turtle" vents required for meeting ventilation standards on new roofs).

If you have any questions regarding this report, or if I may be of any assistance, please do not hesitate to contact me. I may be reached at jbortolini@fcgov.com or 970-416-4250.

Sincerely,

Jim Bertolini
Historic Preservation Planner



Photos submitted from contractor October 13, 2021



200Jef50 & 200Jef78, 200 Jefferson Street in 1950 (left) and 1978 (right), showing chimney with concrete cap and distinctive roof ridge (Fort Collins Museum of Discovery archives).

Environmentally Smart Colors – Designed Energy Efficient



TERRA COTTA



AGED COPPER



SOLAR WHITE



SANDSTONE



SURREY BEIGE



COLONIAL RED



PATINA GREEN



REGAL WHITE



ASH GRAY



SIERRA TAN



REGAL RED *



HEMLOCK GREEN *



STONE WHITE



DOVE GRAY



MEDIUM BRONZE



BURGUNDY *



HARTFORD GREEN *



SLATE BLUE



SLATE GRAY



MANSARD BROWN



MATTE BLACK



EVERGREEN



REGAL BLUE *

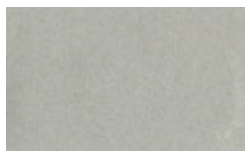


CHARCOAL GRAY

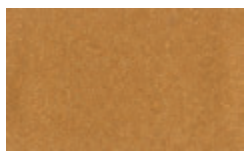


DARK BRONZE

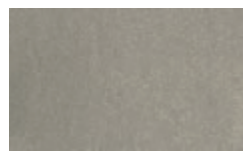
Metallic Colors



SILVER *



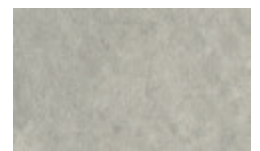
COPPER *



CHAMPAGNE *



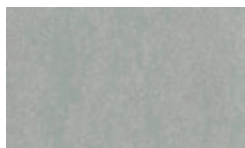
PRE-WEATHERED *
GALVALUME



ACRYLIC COATED
GALVALUME®

Non-Painted

Weathered Colors



GALV-TEN™ RAW *



COPPER-TEN™ RAW *



COR-TEN AZP® RAW *



VINTAGE®

* Available at a slight price premium

* Also available in Robust

Colors shown are matched as accurately as possible, but may vary slightly from finished product. These rich and vibrant colors are produced with Kynar 500® or Hylar 5000® resins, which provide superior color retention and allow Sheffield Metals to offer non-prorated coating warranties for most applications. Coating warranty varies for Regal Red, Matte Black, Copper, Champagne, Silver, and Pre-Weathered Galvalume. Steelscape's Vintage carries a 20-year Finish Warranty. Please contact your representative for more information.

Stock Availability Matrix

	LEED 2013	ISR	EMI	3 Yr.	SRI	GALVALUME				ALUMINUM				
						22 ga.	24 ga.	24 ga.	24 ga.	.032 nom.	.032 nom.	.040 nom.	.050 nom.	.063 nom.
						48.375"	40.375"	44.375"	48.375"	40.500"	48.000"	48.000"	48.000"	48.000"
Aged Copper	L	0.47	0.85	0.46	53		●		●	●	●			
Ash Gray	L	0.39	0.84	0.39	41	●	●		●	●	●			
Burgundy		0.25	0.85	0.23	23		●		●					
Champagne Metallic		0.37	0.80	0.35	37		●		●					
Charcoal Gray		0.29	0.84	0.28	28	●	●		●	●	●			
Colonial Red		0.30	0.85	0.29	30		●	●	●	●	●	●		
Copper Metallic	L	0.49	0.86	0.47	56		●		●	●				
Dark Bronze		0.26	0.84	0.25	24	●	●	●	●	●	●	●	●	●
Dove Gray	L	0.49	0.86	N/A	56	●	●		●	●	●			
Evergreen		0.27	0.86	0.26	26		●	●	●	●	●	●		
Hartford Green		0.26	0.85	0.25	24		●		●	●	●	●		
Hemlock Green		0.29	0.86	0.29	29		●		●					
Mansard Brown		0.27	0.86	0.25	26	●	●		●	●	●	●		
Matte Black		0.29	0.83	0.27	27	●	●		●	●	●	●		
Medium Bronze		0.30	0.87	0.28	31	●	●	●	●	●	●	●	●	●
Patina Green		0.28	0.87	0.28	28		●		●					
Pre-weathered Galvalume®		0.30	0.79	0.28	27		●		●	●				
Regal Blue		0.26	0.85	0.25	24		●		●					
Regal Red		0.42	0.83	0.41	45		●		●	●		●		
Regal White		0.67	0.86	0.67	81	●	●	●	●	●	●	●	●	●
Sandstone	L	0.54	0.86	0.53	63	●	●	●	●	●	●	●	●	●
Sierra Tan		0.35	0.86	0.34	37	●	●	●	●	●	●	●	●	●
Silver Metallic	L	0.59	0.79	0.60	67		●		●	●	●	●		
Slate Blue		0.29	0.85	0.28	28		●		●					
Slate Gray		0.33	0.84	0.33	33	●	●	●	●	●	●	●		
Solar White	L	0.68	0.85	0.66	82		●		●	●	●	●	●	●
Stone White		0.60	0.86	0.56	71		●		●	●	●	●	●	●
Surrey Beige	L	0.42	0.85	0.41	46		●		●	●				
Terra Cotta		0.35	0.86	0.35	37		●		●	●	●			
Acrylic Coated Galvalume®	L	0.67	0.14	0.55	56	●	●		●					
Cor-Ten AZP® Raw		0.32	0.89	N/A	34		●		●					
Copper-Ten™ Raw		0.45	0.88	N/A	51		●		●					
Galv-Ten™ Raw		0.49	0.84	N/A	55		●		●					
Vintage®		0.30	0.70	0.27	22		●		●					
Custom Colors							▲	▲	▲	▲	▲	▲	▲	▲

Notes:

- All of Sheffield's CoolR® metal is painted with a .20 mil primer and .70 - .90 mil Top Coat of 70% Kynar 500® PVDF resin-based coating or Hylar 5000®. The reverse side has a .20 primer and .30 - .40 backer coating.
- 22 gauge steel available in 44.375" and 48.375" widths upon request.
- .050 aluminum available in 48.000" width upon request.
- For low slope roofing to meet Energy Star requirements, the ISR must be ≥0.65. After 3 years, the solar reflectance must be ≥0.50.
- For steep slope roofing to meet Energy Star requirements, the ISR must be ≥0.25. After 3 years, the solar reflectance must be ≥0.15.
- For low slope roofing to meet LEED 2013 requirements, the SRI must be ≥78.
- For steep slope roofing to meet LEED 2013 requirements, the SRI for 100% of the roof must be ≥ 29.
- Low slope is defined as ≤2:12.
- Steep slope is defined as >2:12.

Key:

- = Stocked Item
- ▲ = Available on Custom Order Basis
- L = LEED 2013 Compliant
- ISR = Initial Solar Reflectance
- EMI = Emissivity
- SRI = Solar Reflectance Index

Oil canning is an aesthetic issue and is an inherent part of light gauge cold formed metal products. By using coil that has been processed properly, designing for thermal movement, following stringent specifications for installation and proper handling most oil canning can be eliminated. Oil canning is not grounds for coil/panel rejection.

Galvalume® is a registered trademark of BIEC International Inc. | Hylar 5000® is a registered trademark of Solvay Solexis, Inc. | Kynar 500® is a registered trademark belonging to Arkema Inc.

Cor-Ten AZP® is a registered trademark and the USS in Circle, Weathered Metal Series™, Galv-Ten™, and Copper-Ten™ are trademarks of United States Steel Corporation. All trademarks are used under license of the United States Steel Corporation.

