Historic Preservation Services
Community Development & Neighborhood Services
281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250
preservation@fcgov.com
fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE
Site Number/Address: 321 E. Olive Street
Laurel School National Register Historic District
ISSUED: October 18, 2021

ATTN: Tony Hartwell
Michell & Charles Hartwell Trust
321 E. Olive Street
Fort Collins, CO 80524

Dear Mr. Hartwell:

This report is to document proposed alterations to the C.S. Miner/Groshong Residence at 321 E. Olive Street, pursuant to Fort Collins Municipal Code Chapter 14, Article IV. A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include:
- Demolition of existing rear porch addition and rear (non-historic) deck
- Construction of a new, one-story rear porch addition

Our staff review of the proposed work finds the alterations do meet the SOI Standards for Treatment of Historic Properties. A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	*A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;* **The property will remain in single-family use.**	**Y**
SOI #2	*The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.* **The Miner House was constructed in 1903 by Charles Button (builder) for then owner Charles S. Miner. The construction included the main 6-room frame cottage valued at $2,000 and a barn valued at $300. Charles and his wife Sallie were from Michigan but Sallie passed away just after they and their**	**Y**

	daughter Lura/Laura moved into the house. Charles worked as a bookkeeper for the Mountain Supply Ditch Company, which was later acquired by the North Poudre Irrigation Company that still exists, headquartered in Wellington. Charles died in 1913 and is buried in Grandview Cemetery at the west end of Mountain Avenue along with Sallie. After that, the property sold to Clyde and Bertha Chenault who ran the Chenault Candy Co. out of a shop at 208 Linden (now part of the Domistyle shop). The Groshongs arrived sometime in the mid-1920s and were German immigrants to the U.S. – J.V. had passed away by 1930 but Kattie remained here with her grandson Donald into the 1930s. **An historic survey completed in 1995 shows the property mostly in the same condition as it is presently:**  **The rear porch, while apparently an original feature to the residence, has been modified significantly over time and no longer reflects its likely historic appearance. It is not a character-defining feature and its demolition does not conflict with this Standard. The new porch is located on the rear and will not features, spaces, or spatial relationships that define the property. This project meets this Standard.**	
SOI #3	*Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.* **The proposed new rear porch reflects common elements of Victorian-style porches in overall massing and fenestration pattern but includes elements not normally on such a feature to help reflect its status as new construction, including paired rear**	**Y**

	exit doors and a stone veneer below the window sills. However, the differentiation of the new rear porch could be improved by simplifying other decorative details, including potentially replacing the sash windows with single-light casements.	
SOI #4	*Changes to a property that have acquired historic significance in their own right will be retained and preserved.* **Research into building permit records found the following history of alterations at the property:** - **1903 – main house and rear barn constructed; 1906 Sanborn map shows main house in current configuration, including rear porch** - **1931 – repair barn damaged by fire** - **1949 – add insulation** - **1951 – wire fence added** - **2003 – garage constructed w/ 264 ft2 loft (barn presumably demolished at this time or before)** - **2007 – garage upstairs adapted to living space (410 ft2)** - **2005 – reroof** - **2019 – reroof house & garage** **As noted above, the existing rear porch is original to the house but has been heavily modified since construction. While conservation of building materials is encouraged, no significant historic features are being removed.**	**Y**
SOI #5	*Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.* **Although an original feature, the existing rear porch has been heavily modified, including being resided, and having its assumed window pattern (likely with a high number of windows), enclosed/infilled. No distinctive materials or features are proposed for removal as part of this project.**	**Y**
SOI #6	*Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*	**N/A**
SOI #7	*Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*	**N/A**
SOI #8	*Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*	**N/A**

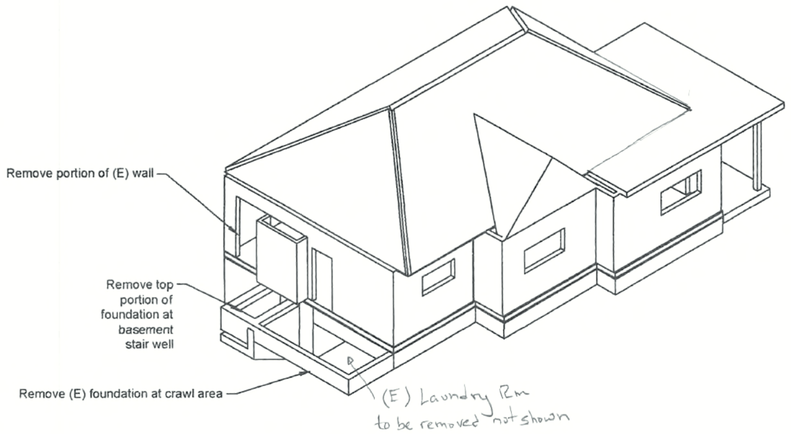
	While some excavation will be undertaken to construct the new foundation and basement entry, the ground is already heavily disturbed and unlikely to yield significant, diagnostic, archaeological resources.	
SOI #9	*New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.* **The existing rear porch, although original, is heavily modified and is no longer a character-defining feature. The new rear porch will be distinguished from the old through the use of stone veneer and dual rear patio doors. Differentiation could be improved by simplifying the windows to single-light casements, but the proposed windows will be aluminum-clad, making them sufficiently differentiated to meet this Standard. The new rear porch is placed on the rear and is a single story with basement access, making it compatible with the massing, size, scale, and overall architectural features of the property. It should have limited to no visibility from public rights-of-way.**	**Y**
SOI #10	*New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.* **Considering the historic construction of the property, a rear porch should remain on the Miner House to retain the historic layout and general spatial organization of the house. However, if removed and not replaced in the future, the essential form of the key features of the house would remain and it would likely remain a contributing resource in the Laurel School Historic District.**	**Y**

The Miner House is expected to remain a contributing resource to the Laurel School Historic District, listed in the National Register of Historic Places in 1980. It should retain access to financial incentive programs such as the Colorado Historic Tax Credit Program: https://www.historycolorado.org/preservation-tax-credits

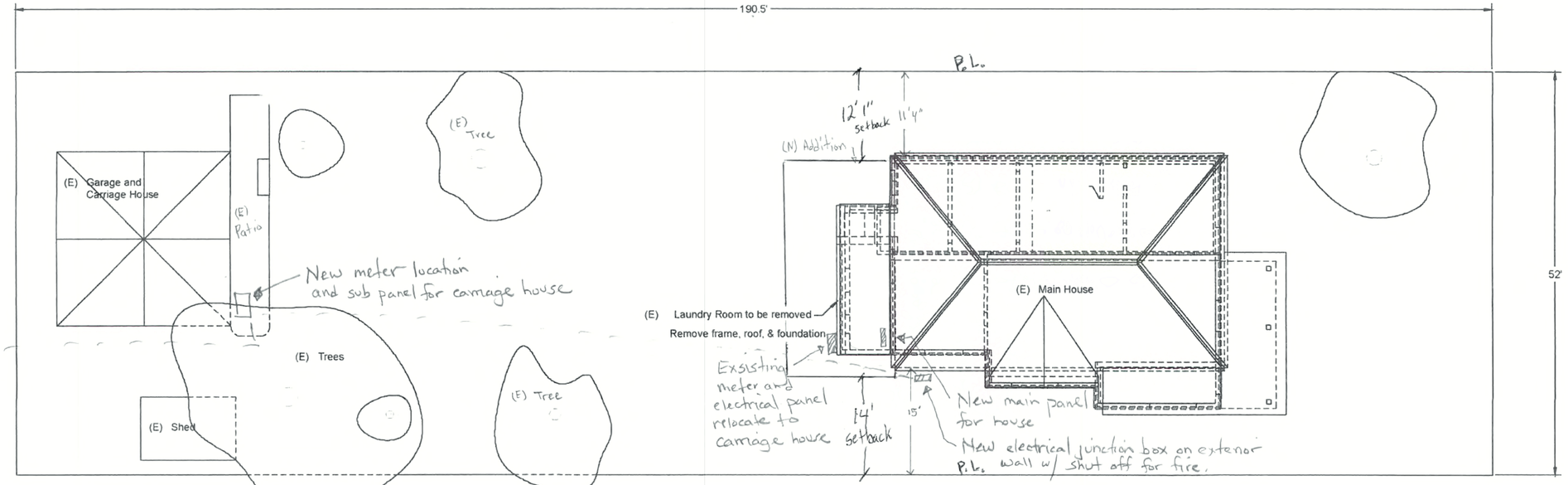
If you have any questions regarding this review, please contact me. I may be reached at jbertolini@fcgov.com, or at 970-416-4250.

Sincerely,

Jim Bertolini
Historic Preservation Planner



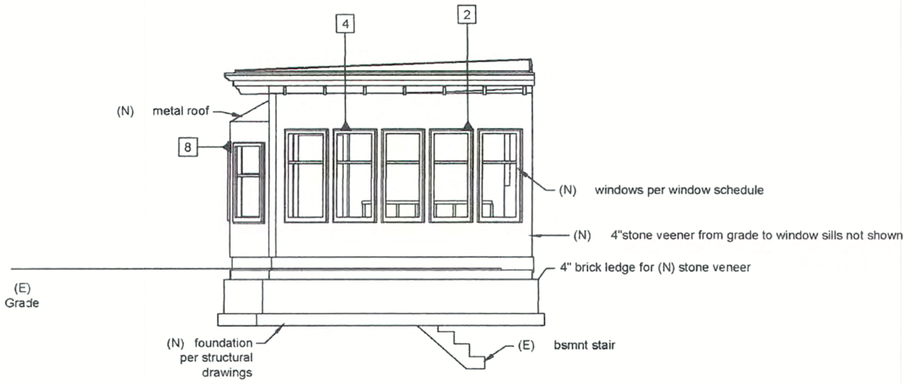
Main House - 1,365 sf
Carriage House - 356 sf
Garage - 451 sf
Addition - 256 sf

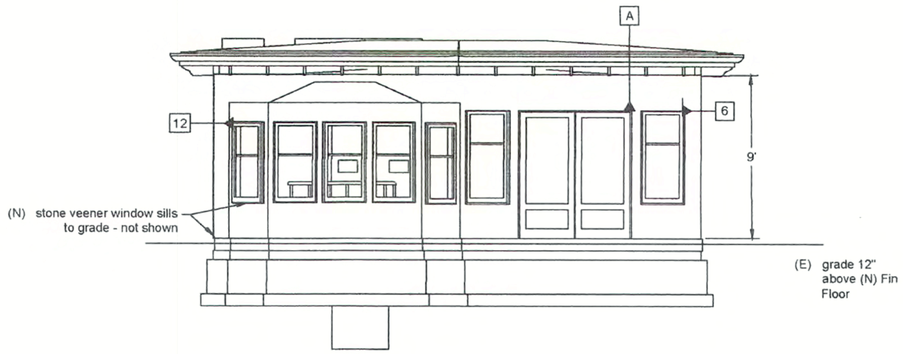


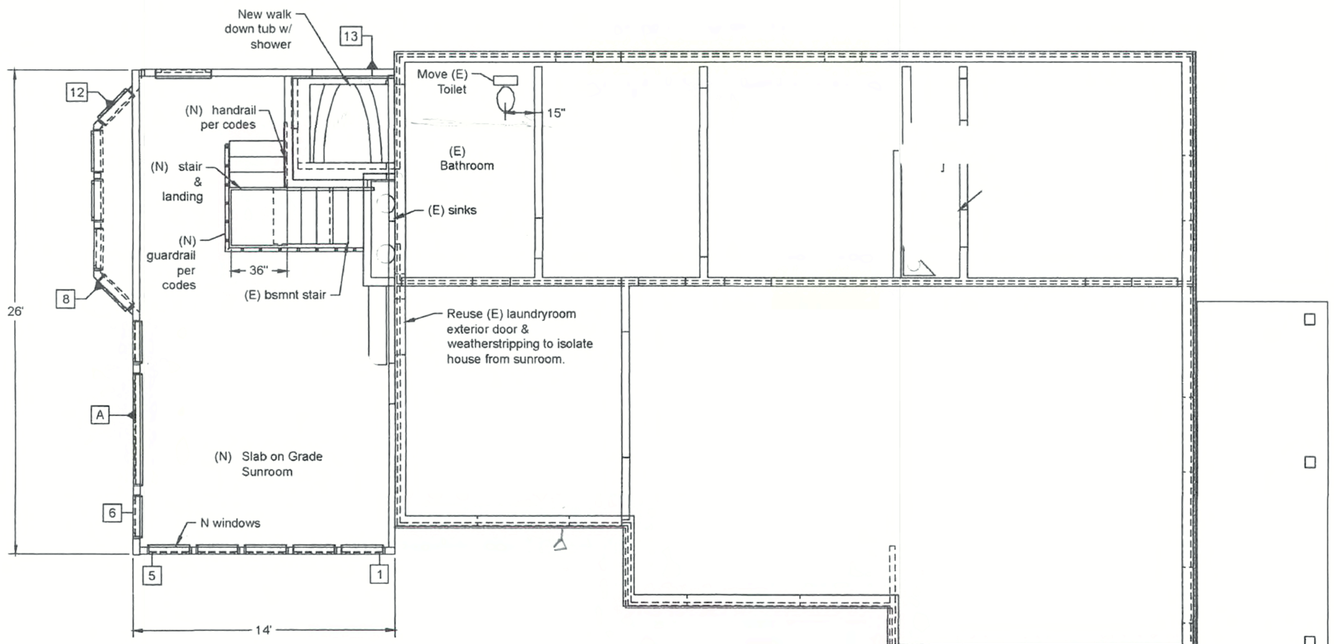
Electrical Trasformer in back alley

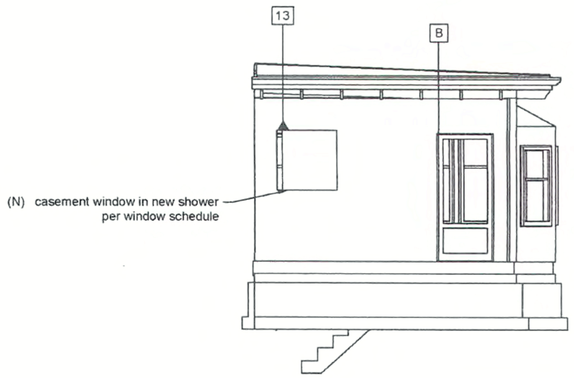
	PROJECT: Olive Street Adition			
	TITLE: Site Plan			
APPROVED	SIZE: D	CODE	DWG NO	REV
CHECKED				
DRAWN: Charles Hartwell 3/4/21	SCALE: 1/8" = 1'-0"	WEIGHT	SHEET 1/1	

Naming Convention "Site Plan - 321 E Olive St - v1"



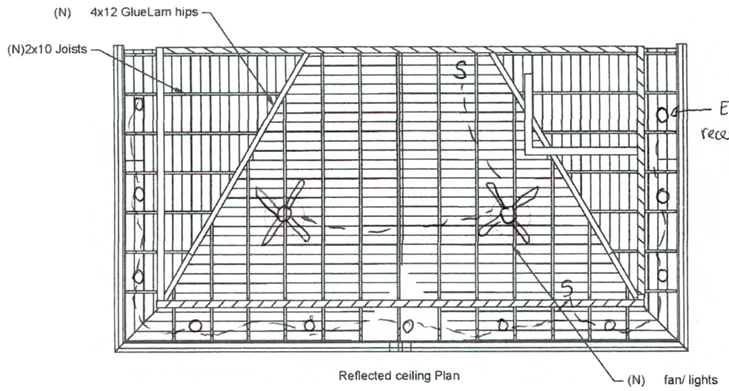






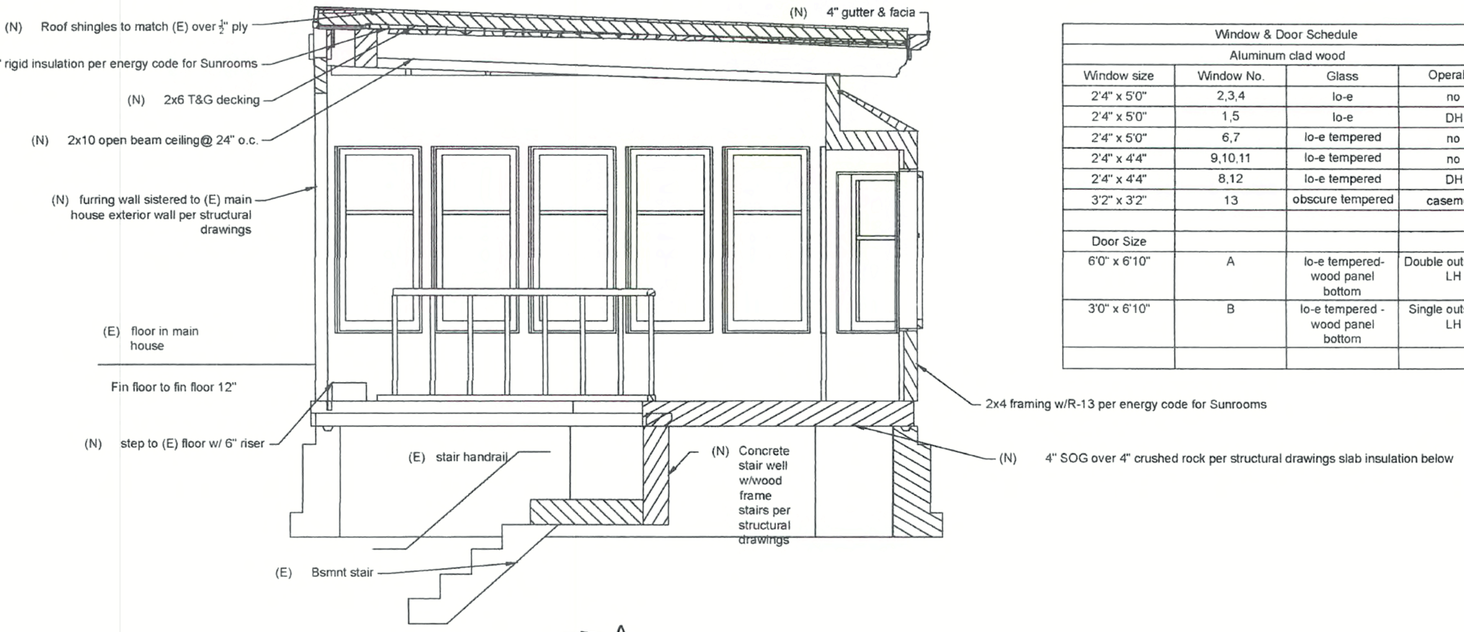
PROJECT: Admin Project				
Plan and Elevations				
APPROVED	SIZE	CODE	DWG NO	REV
CHECKED	D			
DRAWN Charles Hartwell 3/4/21	SCALE 1/4" = 1'-0"	WEIGHT	SHEET 1/1	

"plans - 321 E Olive St - v1

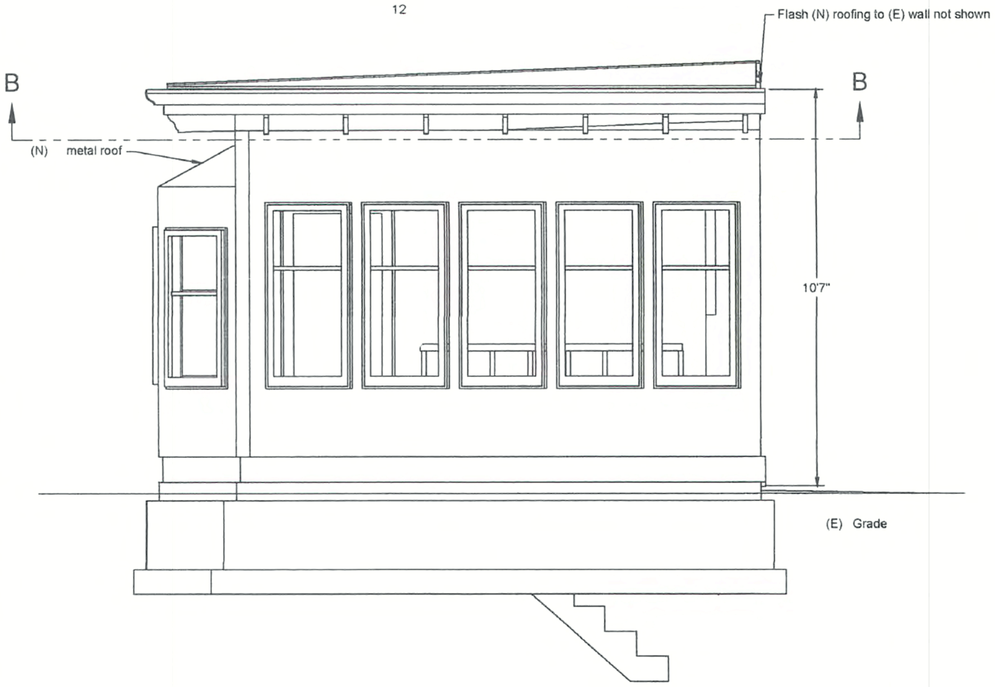


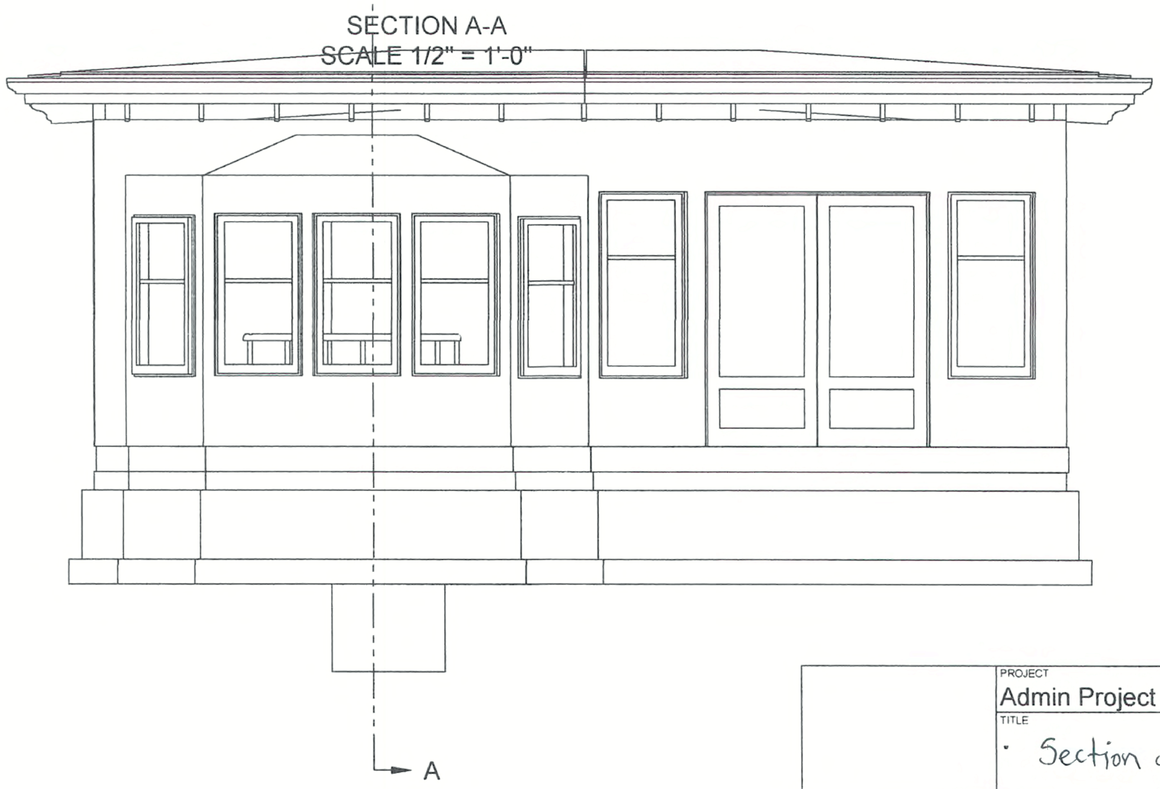
Reflected ceiling Plan

SECTION B-B
SCALE 1/4" = 1'-0"



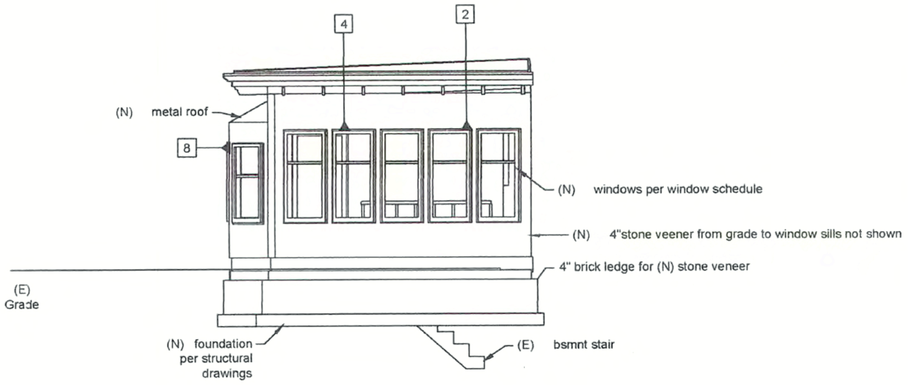
Window & Door Schedule			
Aluminum clad wood			
Window size	Window No.	Glass	Operable
2'4" x 5'0"	2,3,4	lo-e	no
2'4" x 5'0"	1,5	lo-e	DH
2'4" x 5'0"	6,7	lo-e tempered	no
2'4" x 4'4"	9,10,11	lo-e tempered	no
2'4" x 4'4"	8,12	lo-e tempered	DH
3'2" x 3'2"	13	obscure tempered	casement
Door Size			
6'0" x 6'10"	A	lo-e tempered-wood panel bottom	Double outswing - LH
3'0" x 6'10"	B	lo-e tempered - wood panel bottom	Single outswing-LH

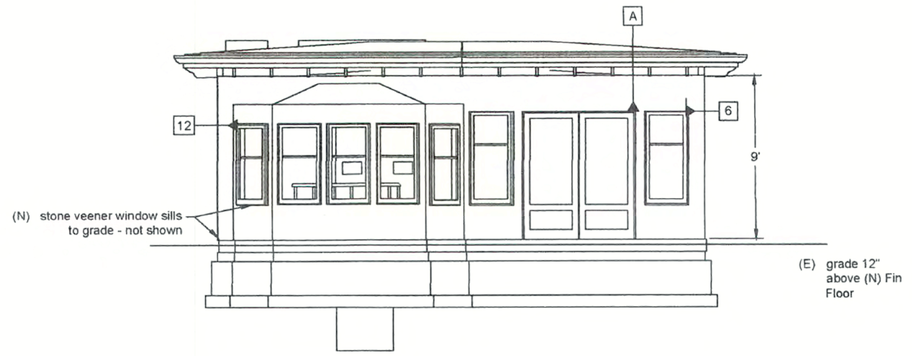


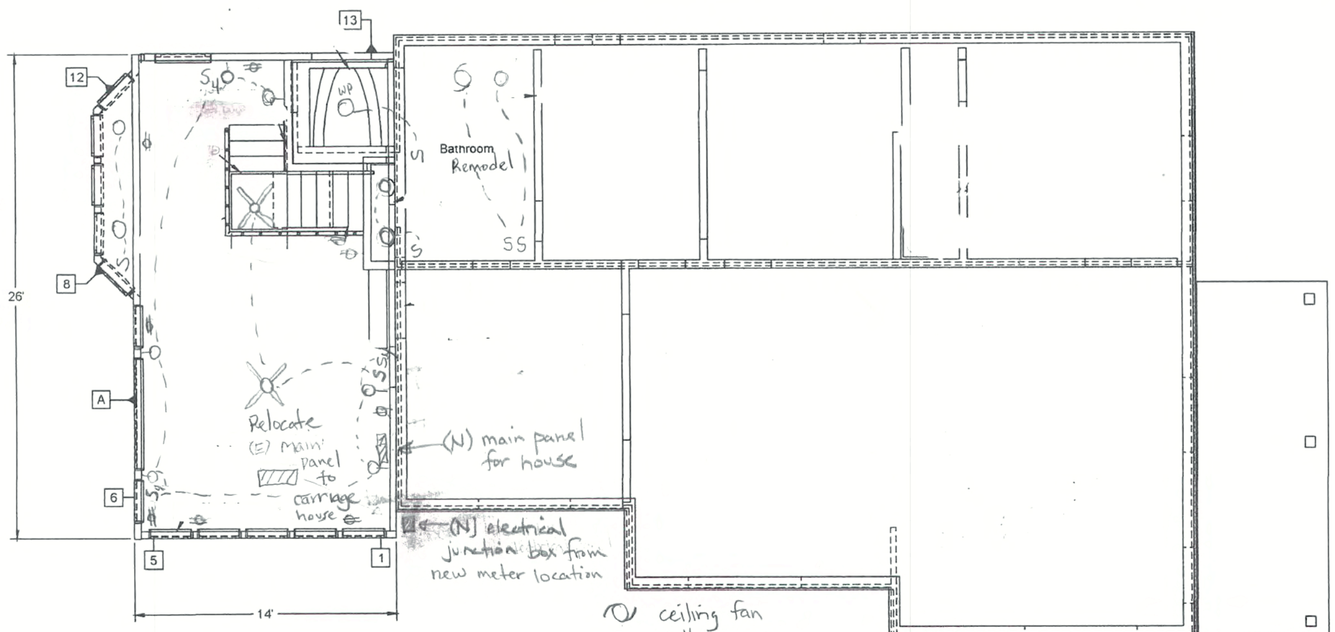


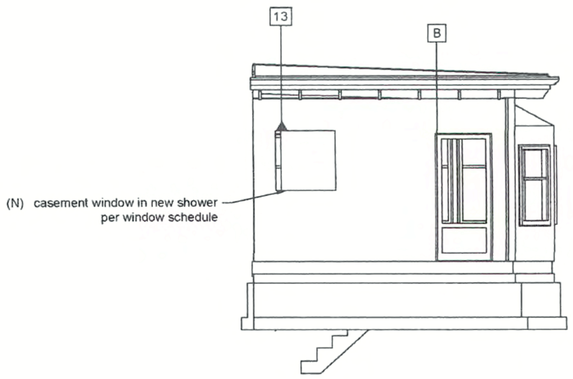
SECTION A-A
SCALE 1/2" = 1'-0"

	PROJECT: Admin Project			
	TITLE: Section and Reflected Ceiling Plan			
APPROVED	SIZE: D	CODE	DWG NO	REV
CHECKED				
DRAWN Charles Hartwell 3/4/21	SCALE 1/2" = 1'-0"	WEIGHT	SHEET 1/1	





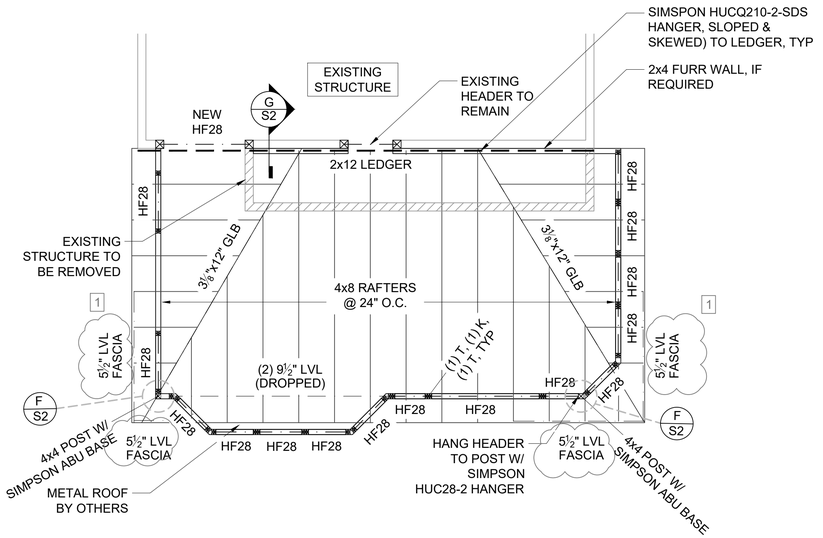




Electrical Plan

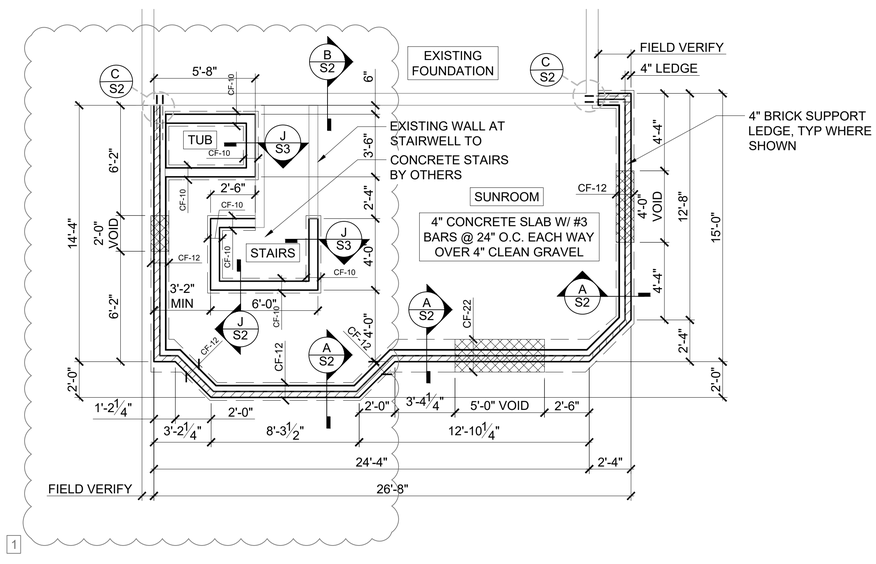
ceiling fan
wall sconce
recessed can
S switch
S_4 4-way switch
duplex outlet
ceiling fan

PROJECT: Admin Project				
TITLE: Electrial Plan				
APPROVED	SIZE	CODE	DWG NO	REV
CHECKED	D			
DRAWN Charles Hartwell 3/4/21	SCALE 1/4" = 1'-0"	WEIGHT	SHEET 1/1	



ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"



FOUNDATION PLAN

SCALE 1/4" = 1'-0"

BRACED WALL PANEL SCHEDULE - STUDS @ 16"

WALL DESIGNATION	RATED STRUC. SHEATHING TYPE	SHTH. THICKNESS MINIMUM	HORIZONTAL EDGES BLOCKED?	CONNECTOR TYPE (OR EQUAL)	EDGE SPACING	FIELD SPACING
ALL EXTERIOR UNLESS NOTED OTHERWISE	OSB or PLYWOOD EXTERIOR ONLY	7/16"	YES (NOTE 2)	8d COMMON	6"	12"
				16 ga 1 3/4" STAPLES	3"	6"

▲ INDICATES SIMPSON HOLD-DOWN STRAP. ATTACH PER DETAILS.

◆ INDICATES SIMPSON FLAT STRAP. EXTEND TO BEAM OR WALL BELOW.

NOTES:
1. ALL EXTERIOR SHEATHING VERTICAL EDGES SHALL FALL UPON 2X6 STUDS SPACED 16" O/C TYP (SEE PLAN).
2. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING EXCEPT WHERE WAIVED BY THE INSTALLATION REQUIREMENTS FOR THE SPECIFIC SHEATHING MATERIAL SHOWN ABOVE.
3. EXTERIOR WALL PANEL SOLE PLATES SHALL BE NAILED TO THE FLOOR FRAMING AND TOP PLATES SHALL BE CONNECTED TO THE FRAMING ABOVE IN ACCORDANCE WITH IRC TABLE 602.3 (1)
4. WHERE JOISTS ARE PERPENDICULAR TO INTERIOR BRACED WALL LINES ABOVE, BLOCKING SHALL BE PROVIDED UNDER AND IN-LINE WITH THE BRACED WALL PANELS.
5. WHERE JOISTS ARE PARALLEL TO THE INTERIOR BRACED WALL LINES ABOVE DOUBLE JOISTS SHALL BE INSTALLED UNDER AND IN-LINE WITH THE BRACED WALL LINE ABOVE.
6. ATTACH BOTTOM PLATE OF INTERIOR WIND SHEAR WALLS TO BLOCKING/BEAMS WITH (3) 16d COMMON NAILS AT 16" (in.) O.C. (OR (1) 16d COMMON NAIL AT 5" (in.) O.C.)

HOLDDOWN (HD) SCHEDULE

HD #	SYMBOL	MANUF. / MODEL	NOTES*
1	▲	SIMPSON STHD14 OR STHD14RJ	HD'S AS SHOWN ARE IN APPROXIMATE LOCATIONS. FIELD LOCATE HD'S AT CORNERS, EDGE OF OPENINGS ABOVE, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCH PLANS FOR DIMENSIONS)

HEADER SCHEDULE

HEADER	SIZE	MATERIAL	LSL OPTION	# OF TRIMMER STUDS PER SIDE UNLESS NOTED OTHERWISE ON PLANS
HF28	2-2X8	HF #2	3½" X 5½"	(1) 2x

#T #K
T= NUMBER OF TRIMMER STUDS EACH SIDE
K= NUMBER OF KING STUDS EACH SIDE

KING STUD SCHEDULE

OPENING WIDTH		# OF KING STUDS PER SIDE UNLESS NOTED OTHERWISE ON PLANS
FROM	TO	
12"	10'-0"	(1) 2x
10'-1"	14'-0"	(2) 2x

HANGER SCHEDULE

CONNECTION LOCATION	CONNECTOR
SAWN JOIST TO FLUSH WOOD BEAM	LUS-SERIES
SAWN RAFTER TO RIDGE BEAM	CJT3Z
WOOD POST TO FOUNDATION	ABU-SERIES
WOOD POST TO BEAM ABOVE	BC-SERIES

* - THIS HANGER MAY BE SPECIAL ORDER FOR THE APPLICATION LISTED ABOVE.

NOTE: FOR EXTERIOR APPLICATIONS WHERE ACQ TREATED LUMBER WILL BE USED, ALL HANGERS MUST HAVE ZMAX CORROSION PROTECTION.

DESIGN CRITERIA

Referenced Design Codes:	2018 IRC, ASCE 7-16	
	ACI 332, 2018 NDS	
	Risk Category II	
Roof Loads:		
Roof Dead Load	15	psf
Roof Live Load	20	psf
Ground Snow Load	30	psf
Flat Roof Snow Load	30	psf
Snow Exposure Factor	1	
Snow Importance Factor	1	
Snow Thermal Factor	1	
Wind Loads:		
Design Wind Speed	140	mph
Wind Speed Type	Vult	
Wind Exposure	B	
Internal Pressure Coefficient	0.18	(Enclosed)

RECOMMENDED QUALITY ASSURANCE OBSERVATIONS

RECOMMENDED OBSERVATIONS:	OBSERVATION PERFORMED BY:	NOTE:
OPEN-HOLE / SOIL VERIFICATION	CTL	OTHER OBSERVATIONS MAY BE REQUIRED BY THE CITY OR OTHER ENGINEERS WORKING ON THIS PROJECT.
FOOTING FORMWORK & SUBGRADE	CTL	
FOUNDATION REINFORCEMENT	CTL	

Soils: Assumed per 2018 IRC Table R401.4.1 and to be verified at Open-hole by CTL I THOMPSON.
Assumed allowable bearing pressure:
Max. 1,500 psf

CTL | THOMPSON INCORPORATED
CTL I THOMPSON INCORPORATED
4707 Innovation Drive
Fort Collins, CO 80524
P:970-206-9455
F:970-206-9441
www.ctlt.com

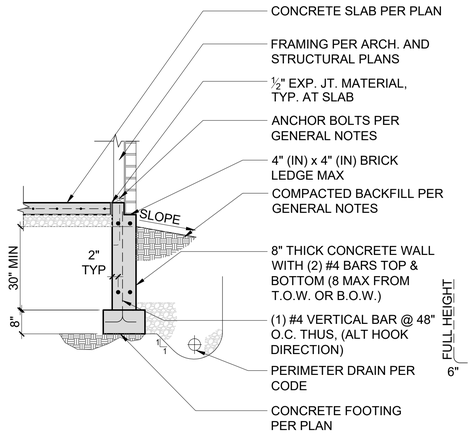
PROJECT LOCATION:
SUNROOM ADDITION
321 EAST OLIVE STREET
FORT COLLINS, COLORADO

SUNROOM ADDITION PLAN

NO	DATE	REVISION/ISSUE
1	08/18/2021	UPDATE PLANS FOR DROPPED TUB AND NEW STAIRS
2		
3		

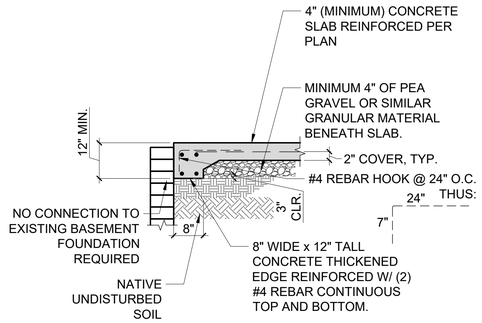
CLIENT:
TONY HARTWELL
321 EAST OLIVE STREET
FORT COLLINS, COLORADO
contact:
720-435-5266

DRAWN: DTH/NTR	SHEET NUMBER: S1
CHECKED: DTH	
PROJECT #: FC09855.000	
DATE: 06/18/2021	
SCALE: PER PLAN	OF 2 SHEETS



NOTE: SLAB SETTLEMENT MAY OCCUR WHERE THE TOP OF SLAB AND TOP OF FOUNDATION WALL ARE NO LONGER FLUSH. TAKE CARE WHEN COMPACTING SOIL BELOW SLAB TO HELP REDUCE THE POSSIBILITY OF SIGNIFICANT SLAB SETTLEMENT. IF A SUPPORTED SLAB IS REQUIRED TO HELP MINIMIZE POTENTIAL SETTLEMENT, CONTACT THIS OFFICE FOR A NEW DETAIL

A - TYPICAL FOUNDATION WALL

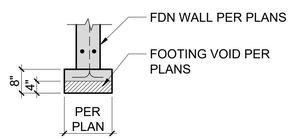


B - THICKENED SLAB AT EXISTING

TYPICAL NEW TO EXISTING FOUNDATION WALL TIE-IN DETAIL

N.T.S.

C - NEW TO EXISTING FOUNDATION TIE-IN



D - FOOTING VOID FORM

GENERAL NOTES

1. Materials:

This plan is based upon the following material properties:

Concrete: Concrete shall contain Type II cement, 6%+/-1.5% air entrainment, and a minimum 28 day compressive strength of 4000 psi for structural concrete, 3500 psi for interior slabs on grade, and 4500 psi exterior slabs on grade.

Void Form: Cardboard void form shall be of appropriate strength for wall and slab construction. Wall void shall not be used for support of structural slabs.

Reinforcing: Reinforcing shall be deformed grade 60 steel unless noted otherwise (U.N.O.) on the plan and shall conform to ASTM A615. Minimum concrete cover shall be 2" (in) U.N.O. on the plan. Overlaps shall be 40 bar diameters but not less than 24" (in). Detail reinforcing bars in accordance to the ACI detailing manual and ACI code, latest edition. All foundation wall reinforcement should be wired in place. Slab and footing reinforcement shall utilize chairs or other acceptable methods to achieve the required cross section location.

Wood: All dimensional lumber shall be Hem Fir #2 or better unless noted on the plan. All Laminated Veneer Lumber is 1¾" thick x depth shown on plans and shall have an allowable Flexural stress Fb = 2600 psi and Modulus of Elasticity of E = 1.9x10E6 psi or better. All Laminated Strand Lumber is 1¾" thick by depth shown on plans and shall have an allowable Flexural stress Fb = 2325 psi and Modulus of Elasticity of E = 1.55x10E6 psi or better. Glued Laminated Lumber shall have an allowable Flexural stress Fb = 2400 psi and Modulus of Elasticity of E = 1.8x10E6 psi or better.

Anchor Bolts: Foundation anchor bolts shall conform to ASTM A307 and be 1/2" (in) diameter by 10" (in) long spaced at 4'-0" maximum and 12" (in) from corners and splices. We recommend using engineered sill plate material.

Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G185 hot-dip galvanized, type 304 stainless steel or type 316 stainless steel.

2. Soils:

We require an open-hole observation be performed by a representative of a qualified geotechnical engineer. Open-hole observations are to verify that the soil conditions are consistent with the assumed soils. Soils conditions inconsistent with the assumed soils may require additional evaluation or a foundation redesign, and should be brought to the attention of the foundation engineer. All footings, pads, or piers (except interior basement pads) shall be a minimum of 30" (in) below grade, or per local code, and should bear upon undisturbed native soils.

3. Slabs-on-grade:

We recommend any areas with slab-on-grade type construction placed upon expansive soils not be finished. Provide control joints at 10'-0" on center maximum. Exterior slabs-on-grade should not be doweled to the foundation unless specifically noted otherwise on plans.

4. Backfill:

We recommend foundation walls not be backfilled for a minimum of eight days after placement of concrete. Prior to backfilling, damp-proofing all foundation walls that retain earth and enclose interior spaces, as required by local code. All floor systems should be in place before backfilling against any foundation wall, or as an alternative, adequately brace the foundation. We recommend imported granular (non-expansive) structural fill be used for backfilling around all foundation walls and beneath all slab-on-grade areas for sites where expansive soils are prevalent. In lieu of imported granular fill, the onsite soils could be used for backfill if the material and compaction process is acceptable to the geotechnical engineer. Backfill should be adequately compacted and graded to provide adequate drainage away from the foundation. Backfill adjacent to the foundation may settle over time. The backfill must be monitored and maintained to provide adequate drainage away from the foundation.

5. Framing: All framing shall be in accordance with the provisions of 2018 IRC. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturers specifications. Refer to the code for additional requirements.

Walls: All exterior wall framing shall be 7/16" Structural rated OSB sheathing over 2x4 HF#2 @ 16" on-center unless noted otherwise. Sheathing shall be attached per the braced wall panel schedule.

Built up columns are 3-2xwall thickness HF#2 or better unless noted otherwise on the plans.

Roof: Roof sheathing shall be 2x6 min horizontal sheathing w/ (3) 16d common nails at boundary edges (end supports where horizontal sheathing is spliced) and (2) 16d common nails at intermediate supports.

Dimensional lumber rafters are hem-fir #2 unless noted otherwise.

Misc: All wood in contact with concrete shall be pressure treated or redwood.

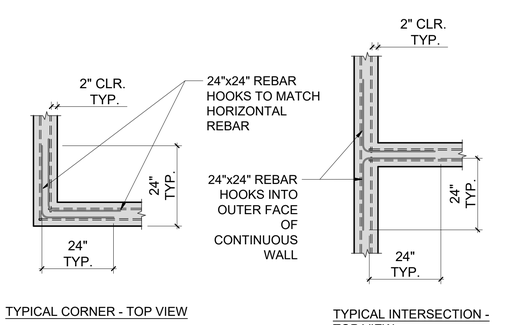
Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

If there are 20 percent of overdriven nails in sheathing, then sheathing must be renailed with proper gun pressure not to break surface of sheathing.

Wall sheathing must not break at wall top or bottom plates, instead break at middle of rim or 12" below wall top plate.

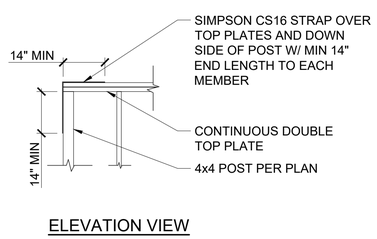
6. Limitations:

It is the contractors/owners responsibility to verify and coordinate all dimensions prior to construction. Brick ledges, foundation steps, insets, beam pockets, and basement windows, etc. may or may not be shown. These plans are based on the architects and/or contractor/owner furnished plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of the engineer. We recommends a copy of "A Guide to Swelling Soils for Colorado Home Buyers and Home Owners, Colorado Geological Survey Special Publication #43 be provided to any new or future owners of this property.



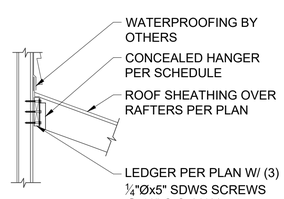
TYPICAL REINFORCING AT WALL CORNERS / INTERSECTIONS

E - TYPICAL REINFORCING

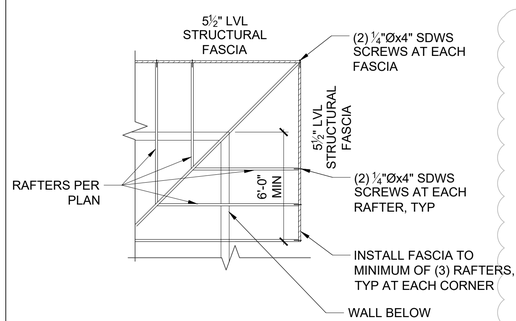


ELEVATION VIEW

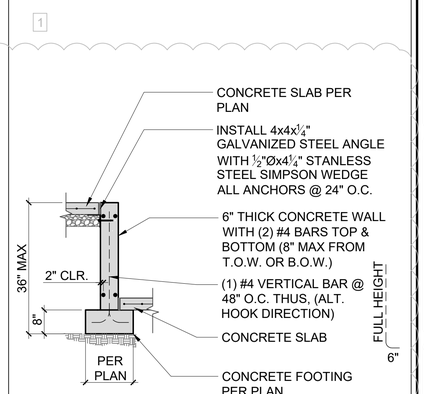
F - STRAP AT POST



G - RAFTER TO LEDGER ONNECTION



H - STRUCTURAL FASCIA AT CORNERS



J - INTERIOR FDN WALL

CTL | THOMPSON INCORPORATED
CTL | THOMPSON INCORPORATED
400 N. Link Lane
Fort Collins, CO 80524
P:970-206-8455
F:970-206-8441
www.ctlt.com

PROJECT LOCATION:
SUNROOM ADDITION
321 EAST OLIVE STREET
FORT COLLINS, COLORADO

NOTES & DETAILS

NO	DATE	REVISION/ISSUE
1	08/19/2021	UPDATE PLANS FOR DROPPED TUB AND NEW STAIRS
2		
3		

CLIENT:
TONY HARTWELL
321 EAST OLIVE STREET
FORT COLLINS, COLORADO
contact:
720-435-5266

DRAWN BY	DTH/NTR
DESIGN	DTH
PROJECT #	FC09855.000
DATE	06/18/2021
ISSUE	PER PLAN

SHEET NUMBER: D1

OF 2 SHEETS

Photos from Owner/Applicant: