



Historic Preservation Services
 Community Development & Neighborhood Services
 281 N. College Ave.
 Fort Collins, CO 80524
 970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE
Site Number/Address: 628 Peterson St.
Laurel School National Register Historic District
ISSUED: 6/10/2024

Douglas J. and Kristi D. Buffington
 628 Peterson St.
 Fort Collins, CO 80524

Dear Property Owners:

This report is to document proposed alterations to the Hardinger Residence, at 628 Peterson St., pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include: Screened porch rear addition

Our staff review of the proposed work finds the alterations meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i> This addition will not change the residential use of the property.	Y
SOI #2	<i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i> Because this addition is on the rear of the property, behind another modern addition, the historic character of the property is retained, and distinctive materials or spatial relationships on the property are not negatively impacted.	Y

<p>SOI #3</p>	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>Attached to another modern addition from the early 2000s, the proposed addition does not create a false sense of historical development.</p>	<p>Y</p>
<p>SOI #4</p>	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	<p>N/A</p>
<p>SOI #5</p>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>Because this screened porch addition is entirely attached to a non-historic part of the house, distinctive materials, features, finishes, construction techniques and examples of craftsmanship characteristic of the historic home are preserved.</p>	<p>Y</p>
<p>SOI #6</p>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	<p>N/A</p>
<p>SOI #7</p>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<p>N/A</p>
<p>SOI #8</p>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>Although there is not reason to believe that there is a likelihood of uncovering archaeological resources during any excavation needed for this project, the applicant should be advised of this standard and, should any such resources be found, please contact Historic Preservation Services immediately for assistance at 970-224-6078 or preservation@fcgov.com.</p>	<p>Y</p>

<p>SOI #9</p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>Again, due to the placement of this addition, no historic materials will be destroyed to accommodate its construction. The attachment of the addition to the home through an existing window opening and the attempt to salvage floor beam material also minimizes the loss of materials in general. The work is differentiated from the old primarily in its roof form and in the simplicity of some design choices, such as the gable-end shingles, which reference those on the front of the house but are less complicated in pattern. The design of the addition is also compatible with the historic home in several ways, such as through using the same siding and through the proportion/type of the screened openings, which refer to those openings on the house's façade.</p>	<p>Y</p>
<p>SOI #10</p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>Due to the placement of the addition on the rear of the house, attached to another addition, if it were desired to remove it in the future, the essential form and integrity of the historic house and its environment would be unimpaired.</p>	<p>Y</p>

If you have any questions regarding this review, please contact me. I can be reached at yjones@fcgov.com or at 970-224-6078.

Sincerely,

Yani Jones
Historic Preservation Planner



BUILDING PERMIT APPLICATION

FOR OFFICE USE
APPLICATION NUMBER: _____ APPLICATION DATE: _____

Job Site Address _____ Unit# _____

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name _____ First Name _____ Middle _____

Street Address _____ City _____ State _____ Zip _____

Phone # _____ Email _____

Name of Business (COMMERCIAL USE ONLY) _____

CONTRACTOR INFO: Company Name _____

License Holder Name _____ LIC # _____ CERT # _____

LEGAL INFO:

Subdivision/PUD _____ Filing # _____ Lot # _____ Block # _____ Lot Sq Ft _____

CONSTRUCTON INFO: Total Building Sq Ft (NOT including basement) _____ Total Garage Sq. Ft. _____

Residential Sq Ft _____ Commercial Sq Ft _____ # of Stories _____ Bldg Ht _____ # of Dwelling Units _____

1st Floor Sq Ft _____ 2nd Floor Sq Ft _____ 3rd Floor Sq Ft _____ Unfinished Basement Sq Ft _____

Finished Basement Sq Ft _____ # of Bedrooms _____ # of Full Baths _____

3/4 Baths _____ 1/2 Baths _____ # Fireplaces _____

ENERGY INFORMATION: (CHECK ONE)

Prescriptive [] Performance [] U/Arescheck [] ERI [] ASHRAE [] Component/Comcheck [] IDAP []

Air Conditioning? YES [] NO []

City of Fort Collins Approved Stock Plan # SPO _____ List Option #s _____

Utilities INFO:

New Electric Service [] Electric Service Upgrade [] Electric Meter Relocation []

Electric Main Breaker Size (Residential Only): 150 amps or less [] 200 amps [] Other: []

Gas [] Electric [] Electric Temp Pedestal? Yes [] No []

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.) _____

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant [] New Tenant []

If for a new tenant, is this the first tenant to occupy this space?

Yes [] No [] If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes [] No []

If yes, please describe: _____

Value of Construction (materials and labor): \$ _____

Description of Work: _____

JOBSITE SUPERVISOR CONTACT INFO: Name _____ Phone _____

SUBCONTRACTOR INFO: Electrical _____ Mechanical _____

Plumbing _____ Framing _____ Roofing _____

Fireplace _____ Solar _____ Other _____

ASBESTOS STATEMENT DISCLOSURE: *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) _____
- An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature  _____ Type or Print Name _____

Phone # _____ Email _____

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE

Building permit fees are based on Occupancy Category and Square Footage. Occupancy Categories are typically located on the architectural plans for submittal. A summary of each occupancy category is also included in the following pages as well.

Required for permit submittal - Fill out the following table:

Occupancy Category (See Description of Occupancies Below)	Square Footage	Multiply square foot by cost per square foot.	Cost per Square Foot	Total
A (Assembly)		x	\$0.40	
B (Business)		x	\$0.50	
E (Education/Schools)		x	\$0.50	
F (Factory)		x	\$0.35	
I (Institutional)		x	\$0.50	
M (Mercantile)		x	\$0.40	
R-1 (Hotel)		x	\$0.35	
R-2 (Apartment)		x	\$0.35	
R-3 (Single Family Detached/Duplex)		x	\$0.65	
R-4 (Assisted Living)		x	\$0.55	
S (Storage)		x	\$0.40	
U (Utility)		x	\$0.40	
H High hazard		x	\$0.60	
Core and Shell Buildings (No designated occupancy type at construction)		x	\$0.45	
Total				

****Occupancies and fees will be verified at plan review to ensure occupancy categories and square footages are accurate. Fees will be re-assessed if occupancies and square footages do not match plans.****

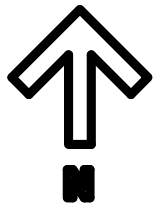
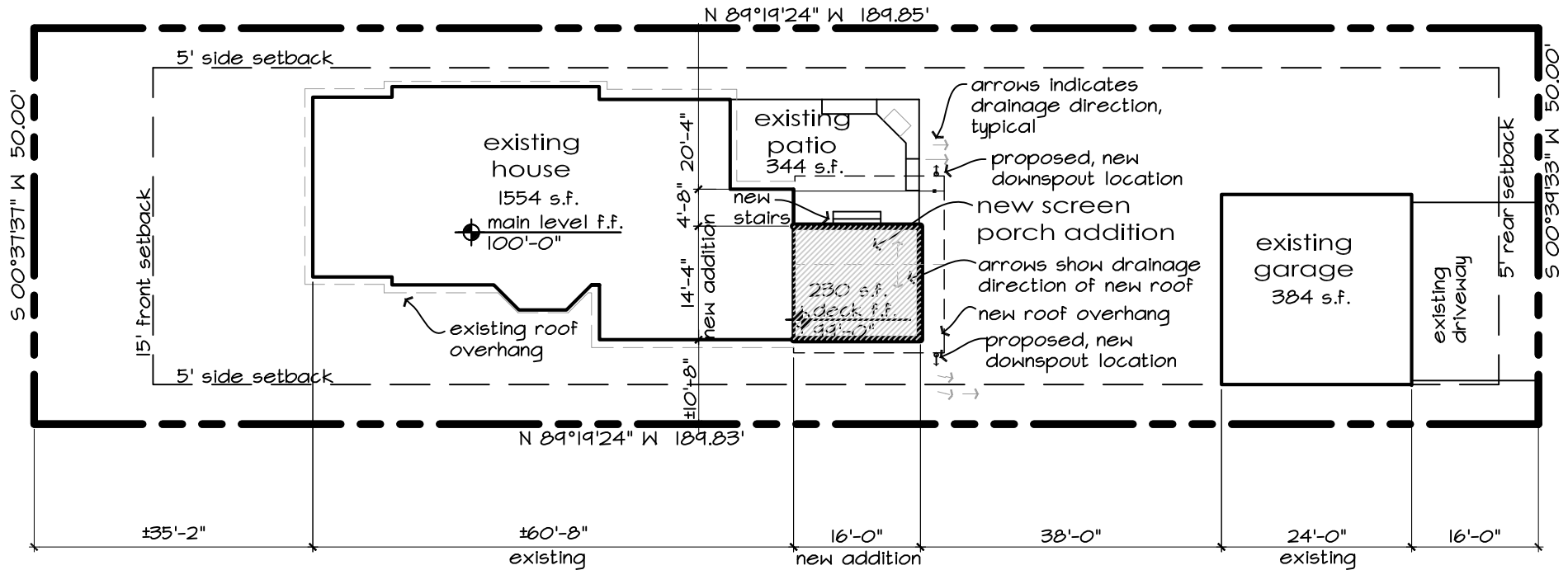
For additions that include interior remodel: please provide addition square footage above and remodel only valuation here _____.

Please note: overall valuation provide on building permit application will be used for taxes only. Remodel only valuation will be used to calculate plan check fee and building permit fee for addition.

For New Multi-family buildings fill out the following:

1. Are there any areas/functions, other than dwelling units in this building (examples: leasing office, gym, community gather areas, storage, garage, facilities office)?
 - Yes - there are other functions/occupancy areas. *Required: list each in the table above*
 - No - only dwelling units

2. Are these other areas/functions/ occupancy types available to the public (examples: public gym or pool, event spaces, store/shops/salons, etc.)?
 - Yes (Mixed Use Building) - there are other occupancies/amenities available to the public.
 - No (Multi-Family Building) - the other occupancies/amenities are only available to the residents of the building.



site plan

1"=20'

SITE NOTES

Builder shall provide positive drainage away from structure and across site.

Property lines, the location of the existing structures and property lines are based on an iplot plan completed by Landmark Engineering dated July 30, 2019.

Builder shall provide proper compaction of all backfill areas.

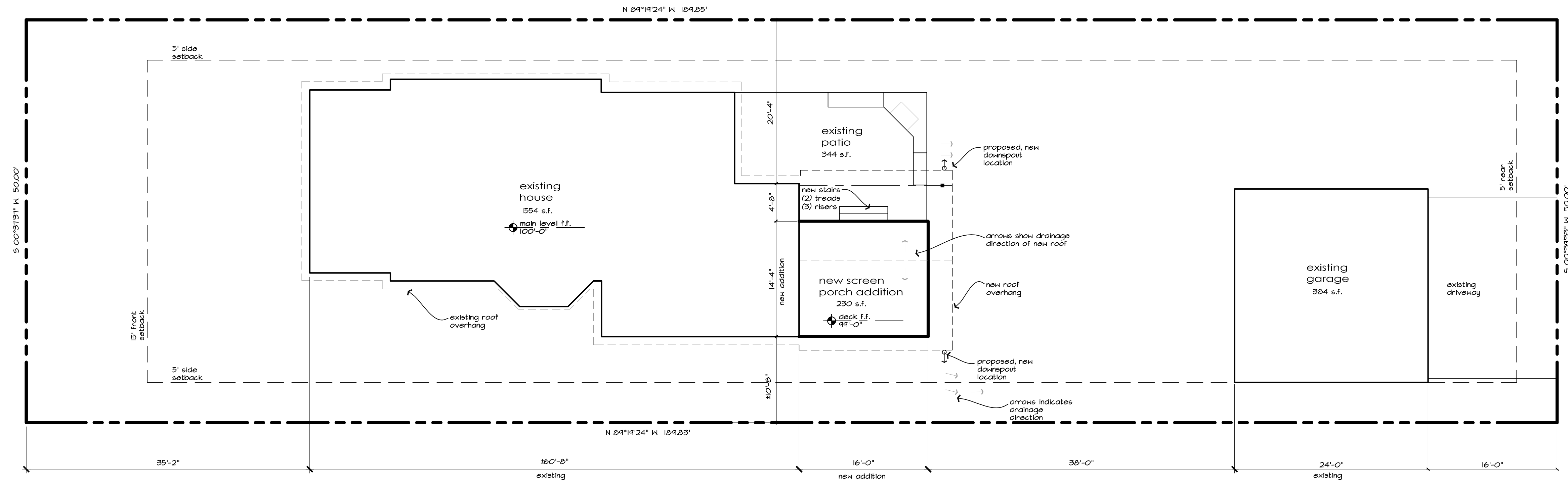
Builder shall coordinate utility services and relocation of meters if deemed necessary.

LEGAL DESCRIPTION

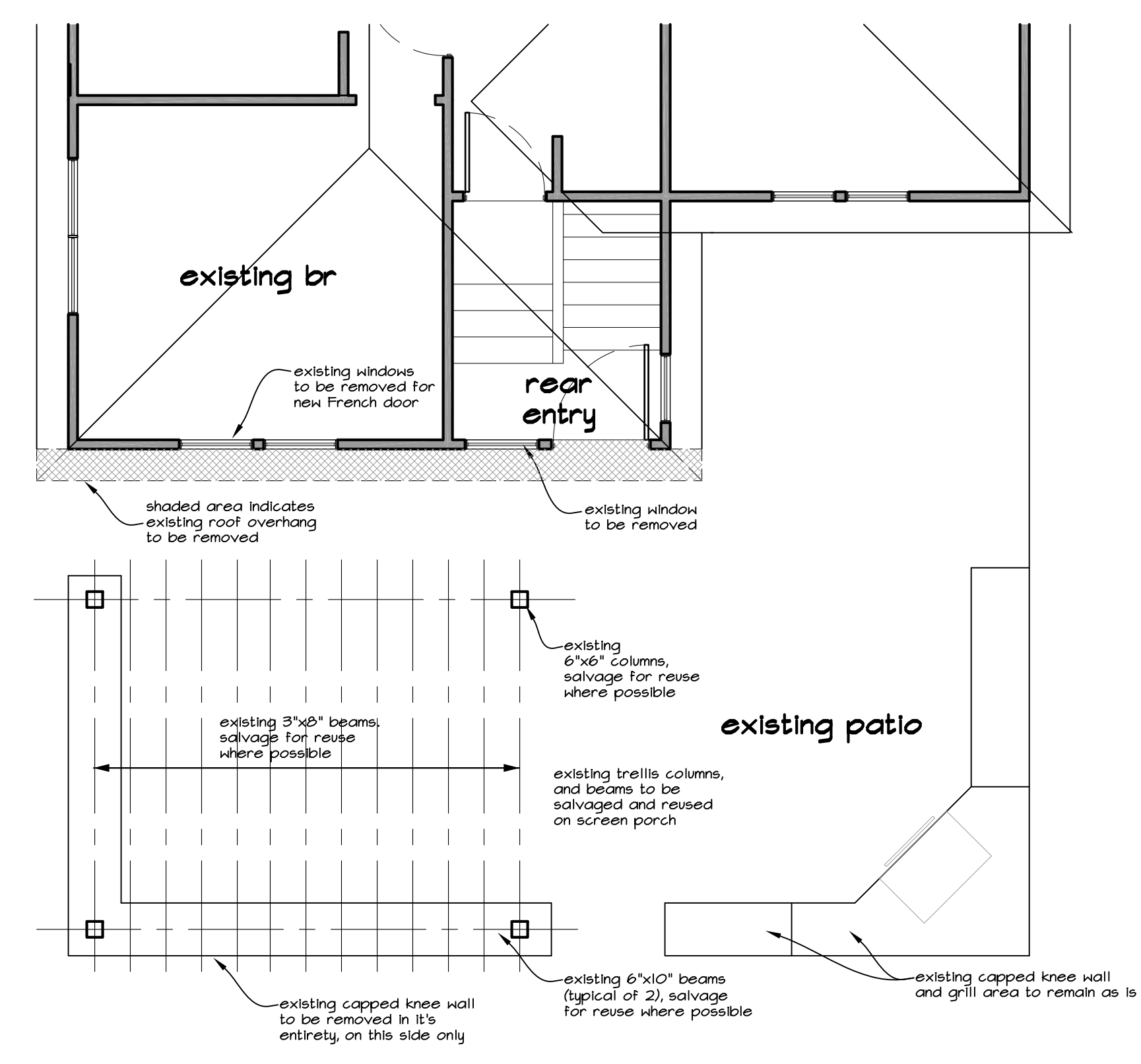
S 1/2 LOT 10, BLK 156, FTC

ADDRESS

628 PETERSON STREET
FORT COLLINS, COLORADO



↑ site plan 1/8



demo plan 1/4

GENERAL NOTES

These drawings are "builders plans" indicating general design intent only. It is the builder's responsibility to provide any additional construction details required and to dictate methods of construction. The builder shall verify all dimensions of manufactured components and relationships between materials or components. The builder shall verify existing conditions and dimensions shown on the drawings including all existing grades at the site.

The architectural designer shall be notified in writing of any discrepancies or deficiencies in the drawings prior to construction. Failure to notify the architectural designer shall constitute acceptance by the builder of all responsibility.

Any changes to these plans without prior written consent by the architectural designer shall constitute acceptance by the builder and owner of that change.

The contractor shall provide mechanical and electrical engineering as required to complete work and for intended purpose. Mechanical contractor shall verify dimensions of all necessary flue chases, ducts & equipment.

The builder/contractor and all subcontractors shall conform to all applicable building codes.

SITE NOTES

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LEGAL DESCRIPTION
S 1/2 LOT 10, BLK 156, FTC

ADDRESS
628 PETERSON STREET
FORT COLLINS, COLORADO

DRAWING INDEX

A1 SITE PLAN, GENERAL NOTES, DEMO PLAN
A2 DEMO PLAN, FLOOR PLAN, OVERALL ROOF PLAN, LIGHTING PLAN
A3 EXTERIOR ELEVATIONS, BUILDING SECTIONS & WALL SECTION

STRUCTURAL DRAWINGS BY
TD STRUCTURAL ENGINEERING
S1 FOUNDATION PLAN/ MAIN LEVEL
FLOOR FRAMING PLAN, ROOF FRAMING PLAN & DETAILS & NOTES

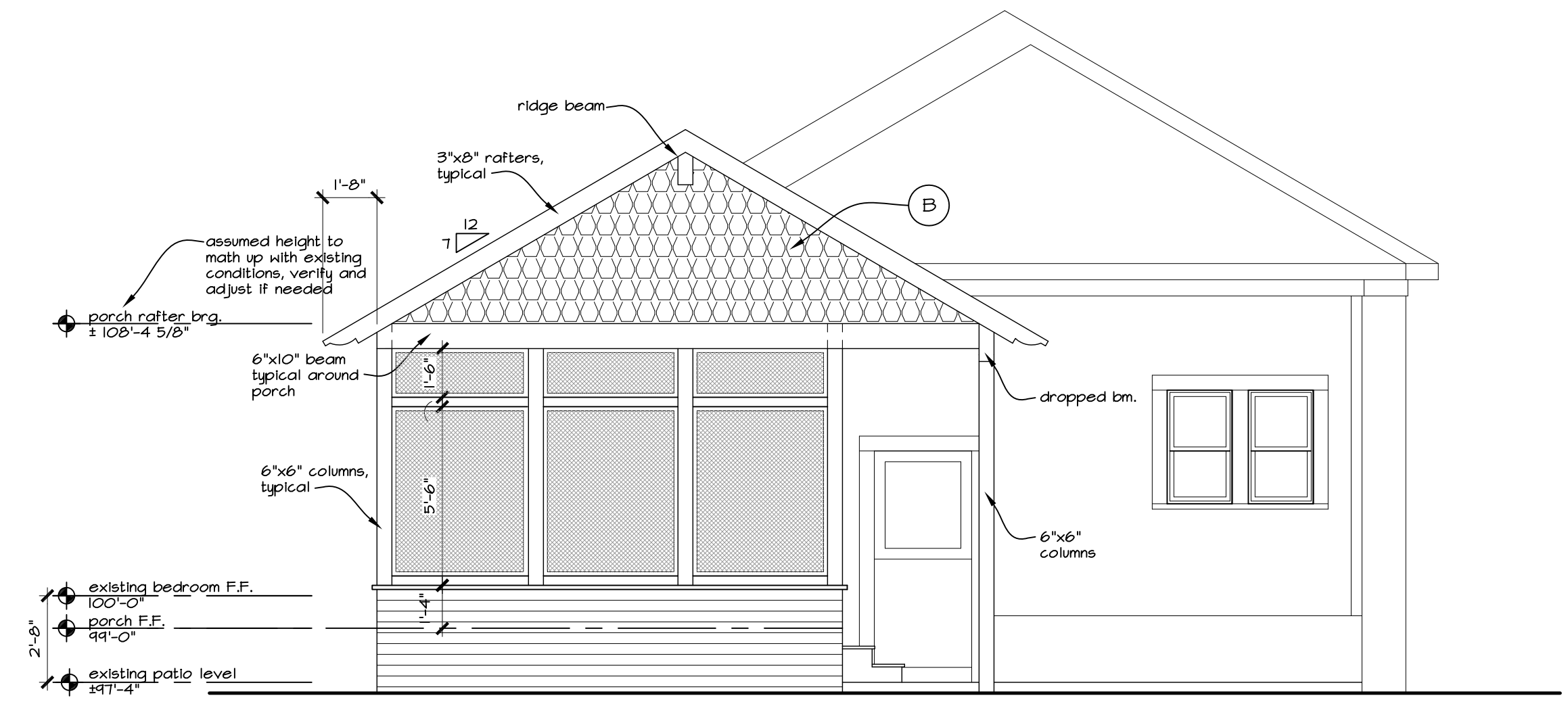
Screen Porch Addition at:

628 Peterson
Fort Collins, Co

for: Doug and Kristi Buffington

drawn by: KM
date: January 11 2024

Permit Set

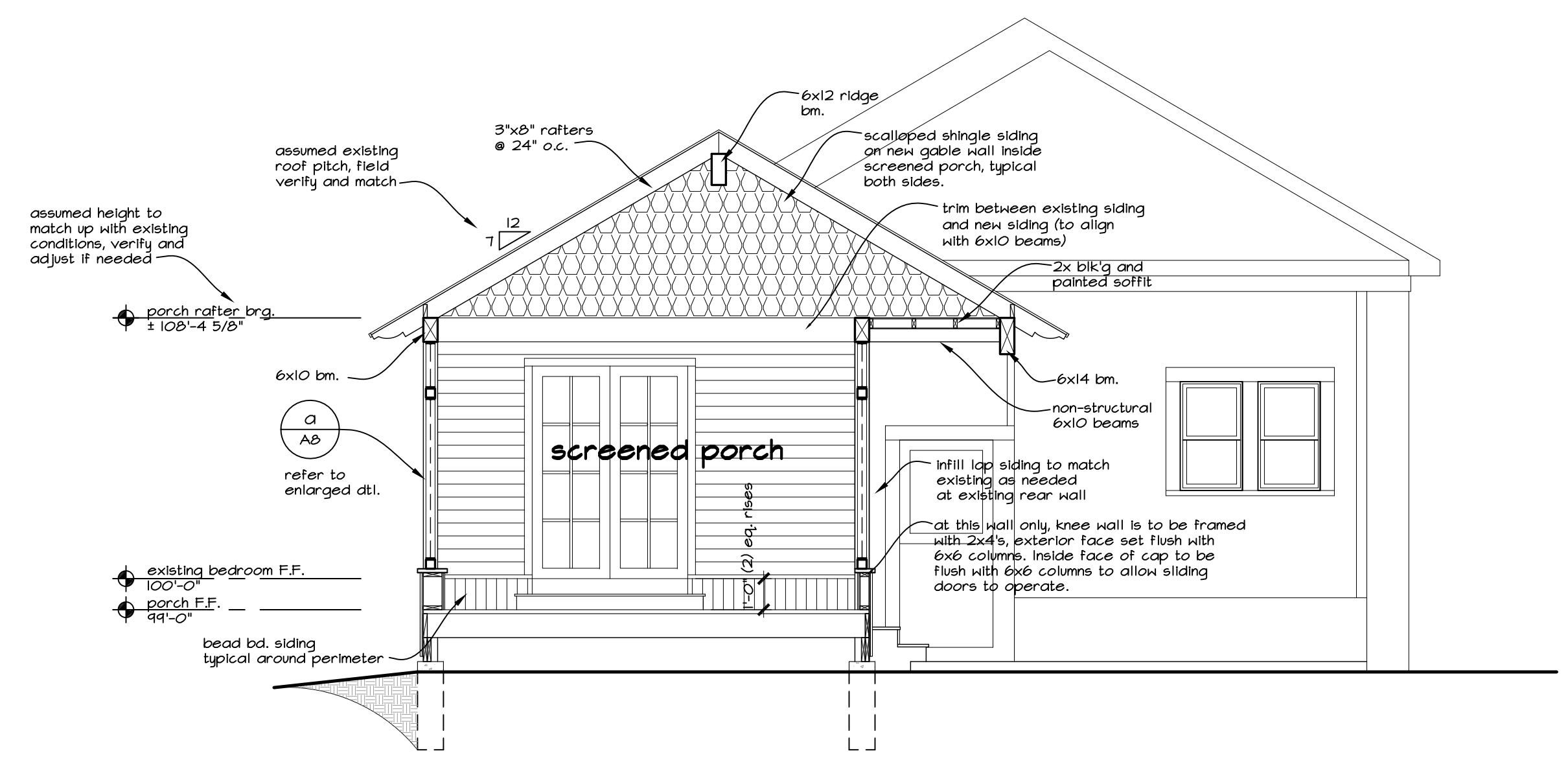


rear elevation (east) 1/4

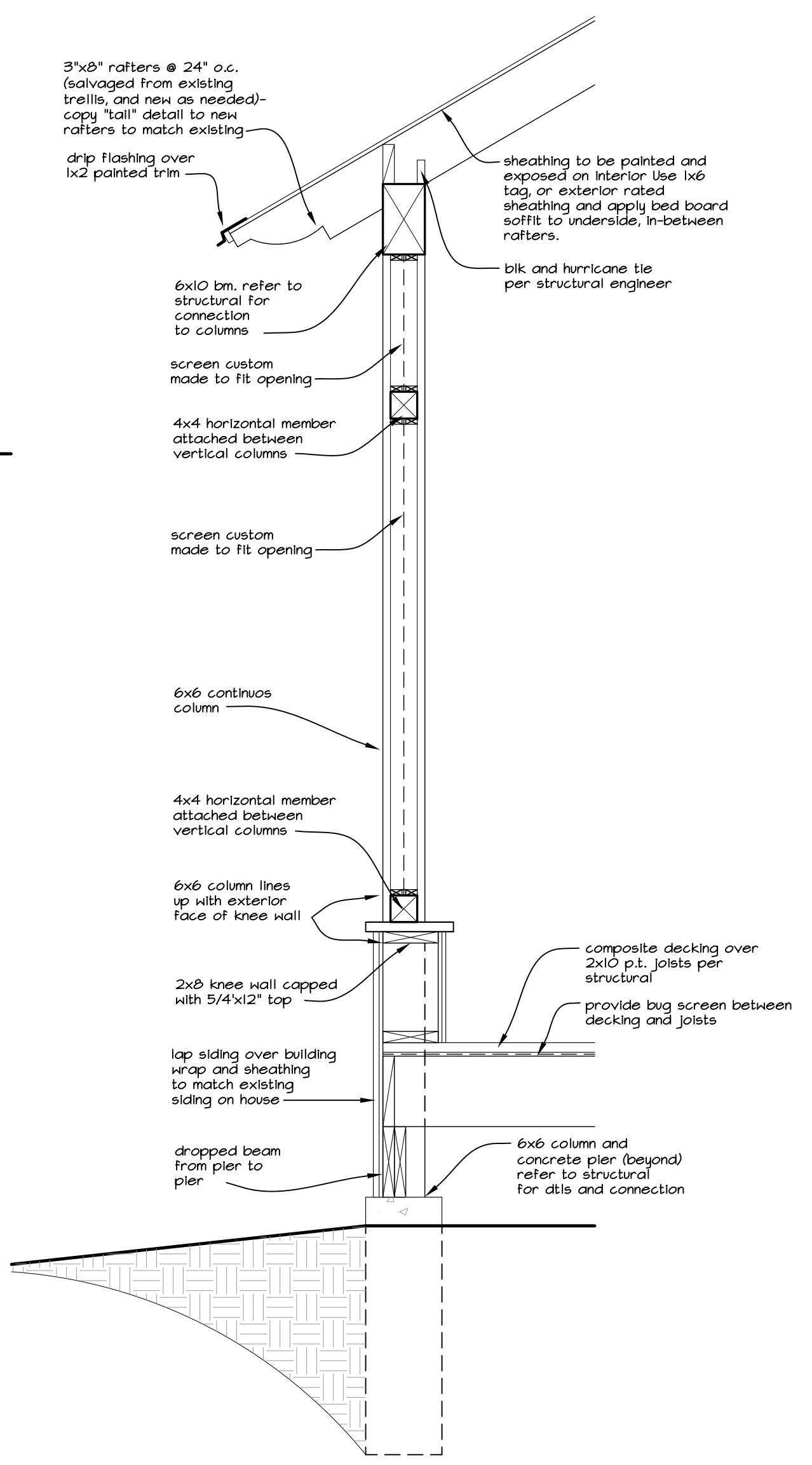


side elevation (south) 1/4

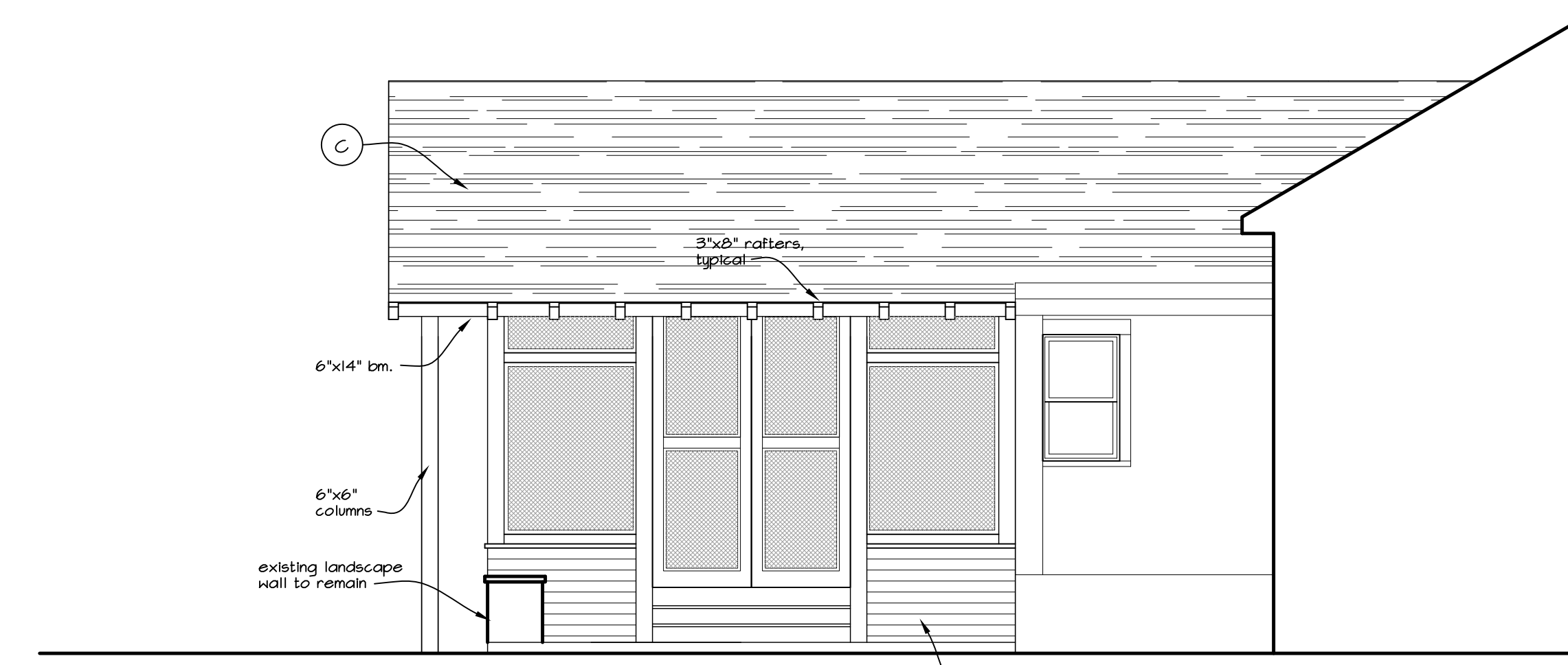
- EXTERIOR MATERIAL NOTES:**
- (A) LAP SIDING**
Match the material and size of new lap siding and trim to be the same as existing siding and trim over (1) layer "Tamlin Homewrap" (or equal) drainable building wrap over sheathing as specified by structural engineer.
 - LAP SIDING INSTALLATION NOTES:**
Paint:
- prepare material as per manufacturer's specifications prior to painting
- color to be coordinated w/ owner
 - (B) CEDAR SCALLOPED SHINGLES**
Cedar scalloped shingles over (1) layer "Tamlin Homewrap" (or equal) drainable building wrap over (1) layer "Tamlin Homewrap" (or equal) drainable building wrap over sheathing as specified by structural engineer (tp, where shown). Verify exact pattern and size of shingle with owners.
 - INSTALLATION NOTES:**
Paint:
- prepare material as per manufacturer's specifications prior to painting
- color to be coordinated w/ owner
 - (C) ROOFING MATERIAL NOTE:**
"SLAT" Timberline HDZ, 50 year (or equal) ul 212B class 4 Impact resistant "class A" high profile asphalt shingles over (1) layer 30# building felt and ice and water shield at valleys and all eaves as required or (1) continuous layer of ice and water shield over oak sheathing as per general framing notes. Style and color to match existing. Leave in new shingles to existing to make transition as seamless as possible.
 - INSTALLATION NOTES:**
- Provide ice and snow shield underlayment and any additional underlayment at valleys and all eaves as required.
- Flash all valleys as per manufacturer's recommendations.
 - (D) FLASHING**
Provide all roof flashing, wall-to-deck flashing, flashing above wood headers in sliding window headers, flashing between dissimilar materials, parapet cap flashing and any other flashing shown or not shown for water tight construction.



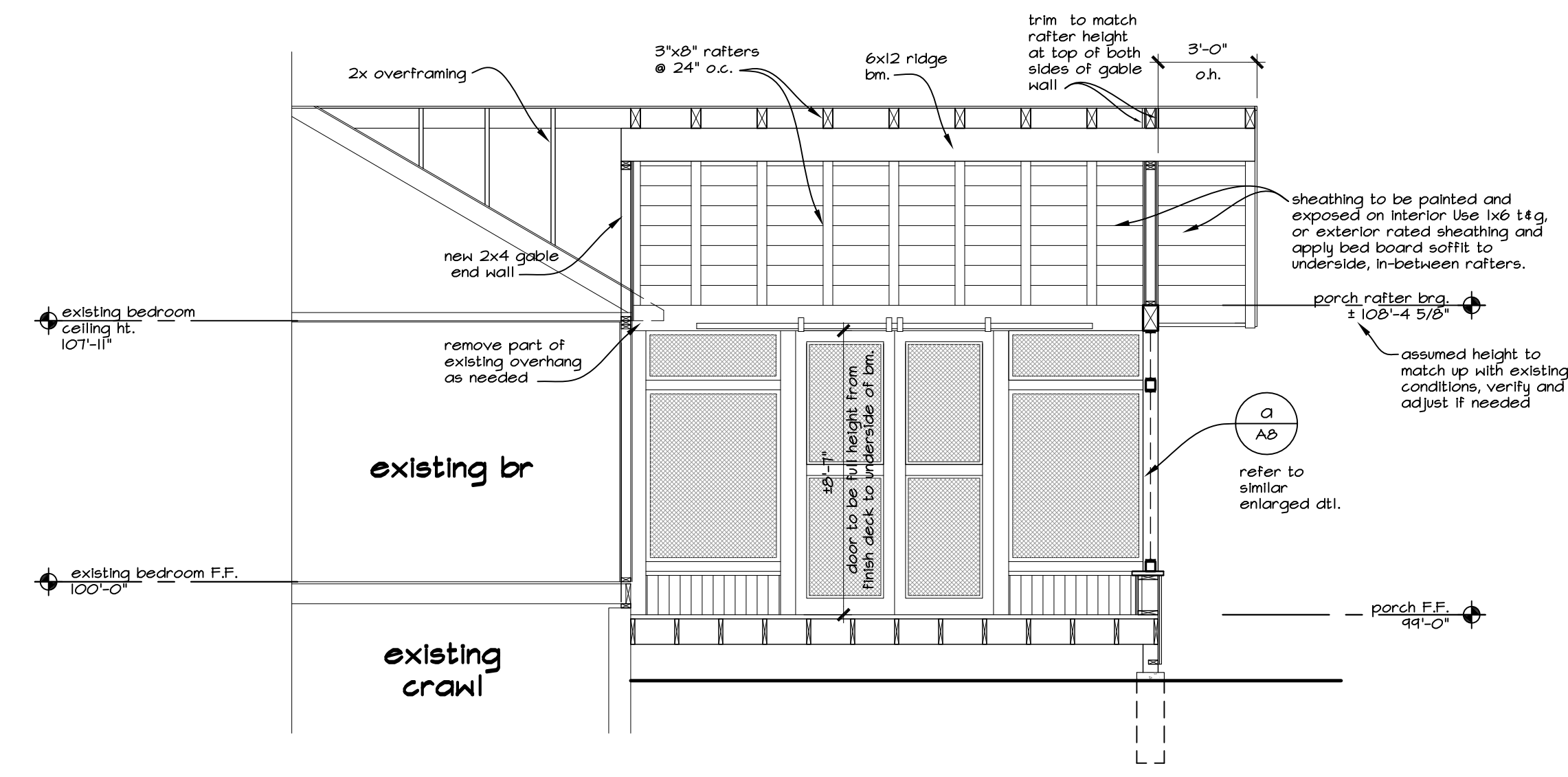
building section (north) 1/4



1 wall section 3/4



side elevation (north) 1/4



2 building section (north) 1/4

Screen Porch Addition dtl:

628 Peterson Fort Collins, Co

for: Doug and Kristi Buffington

drawn by: KM
date: January 11 2024

Permit Set

REVISIONS

Structural General Notes

1. Design Loads:
Design Codes: 2021 IRC, ASCE 7-16, ACI332, 2018 NDS and classified as a Category III structure

Roof Loads:
Roof Dead Load 20 psf
Ground Snow Load, P_g 35 psf
Flat Snow Load, P_f 30 psf
Snow Exposure Factor, C_e 1.0
Snow Thermal Factor, C_t 1.1
Snow Importance Factor, I_s 1.0

Floor Loads:
Floor Dead Load 12 psf
Floor Live Load 40 psf

Wind Loads:
Design Wind Speed, Vult (3 sec gust) 140 mph
Wind Exposure B
Internal Pressure Coefficient 0.18 (enclosed)

Seismic Loads:
Seismic Design Category B
Soil Site Class D
Analysis Procedure ELF

2. Foundation Design:

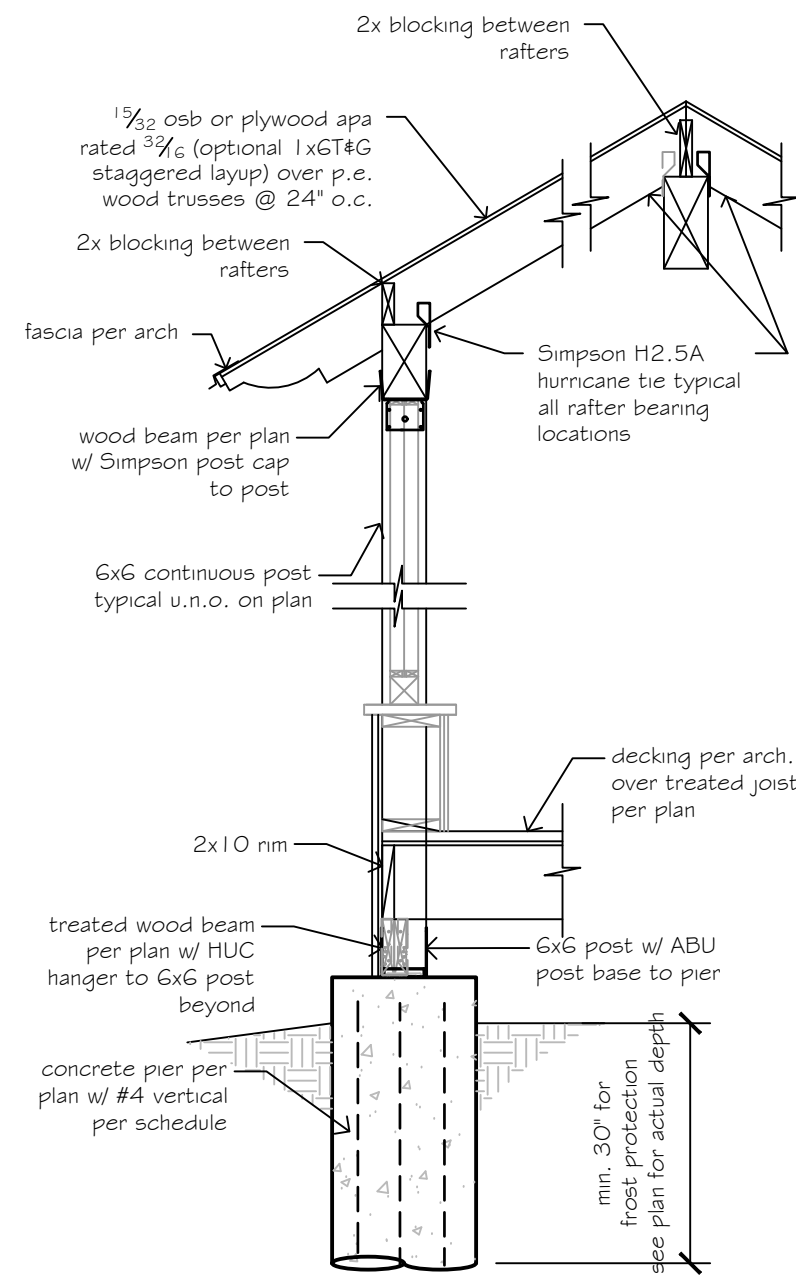
- a. foundation design is based on assumed bearing values
maximum bearing capacity = 1500 psf
minimum dead load = r_{va}
- b. foundation specifications
 - 1. all piers to bear on native undisturbed soil
 - 2. the foundation excavation shall be observed by the geotechnical engineer of record.

3. General Requirements:

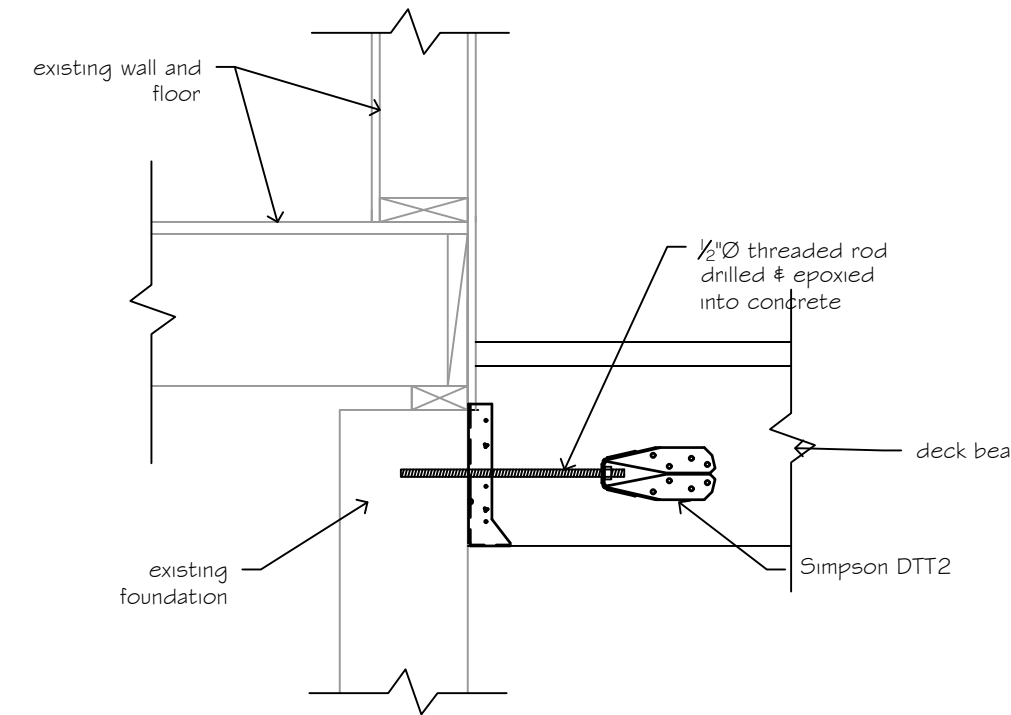
- a. construction method:
the structural drawings represent the final safety. the drawings do not indicate the contractors means, methods, techniques, sequences of construction and job safety. the engineer of record is not responsible for the contractor's failure to follow plans, specifications, and/or engineering recommendations, nor is the engineer of record responsible for economic loss and/or delays on the contractor or subcontractors.
all construction shall be adequately braced to prevent distortion and damage due to construction loads and natural forces. the contractor shall make allowances for difference between temperature during erection and mean temperature when structure is completed and in service.
- b. trade coordination:
the structural drawings are to be used in conjunction with the architectural, electrical, mechanical, plumbing and site drawings. conflicts in dimension and interference shall be directed to the architect prior to construction.
- c. specifications:
if conflicts arise from the recommendations of these drawings and those contained in the specifications, the architect and engineer shall be notified of the discrepancy prior to construction.
- d. drawing dimensions:
no dimension is to be determined by scaling the drawings or details. if a dimension is not indicated on the drawings and is needed, contact the structural engineer for clarification. if discrepancies are found between the structural drawings and the architectural drawings, contact the structural engineer or architect for clarification.

4. Materials:

- a. foundation concrete: f_c = 3000 psi foundation, f_c = 4000psi garage slab on grade; minimum of 5-1/4 sacks of type I-III portland cement per cubic yard; air entrained with 6% ± 1% air.
- b. reinforcing steel: f_y = 60 ksi (60 grade). all reinforcing shall be placed in accordance with aci recommendations including minimum laps, spacings and corner bars.
- c. wood - framing lumber shall be stress graded Hem-Fir, Doug Fir, or Southern Yellow Pine (treated) no. 2 unless noted
a. timber connectors called for on the drawings are as manufactured by Simpson company. connectors by other manufacturers may be used if the load capacity is equal to or greater than the connector specified. use manufacturer's furnished nails and bolts.
b. fasten all wood members with common nails according to the building code unless otherwise noted.
c. roof sheathing shall be 15/32" sheathing rated for exterior use with an APA span rating of 32/16. nail roof sheathing with 8d nails at 4" on center at panel edges and 12" on center in the field u.n.o.



1 pier foundation detail
1/2" = 1'-0"

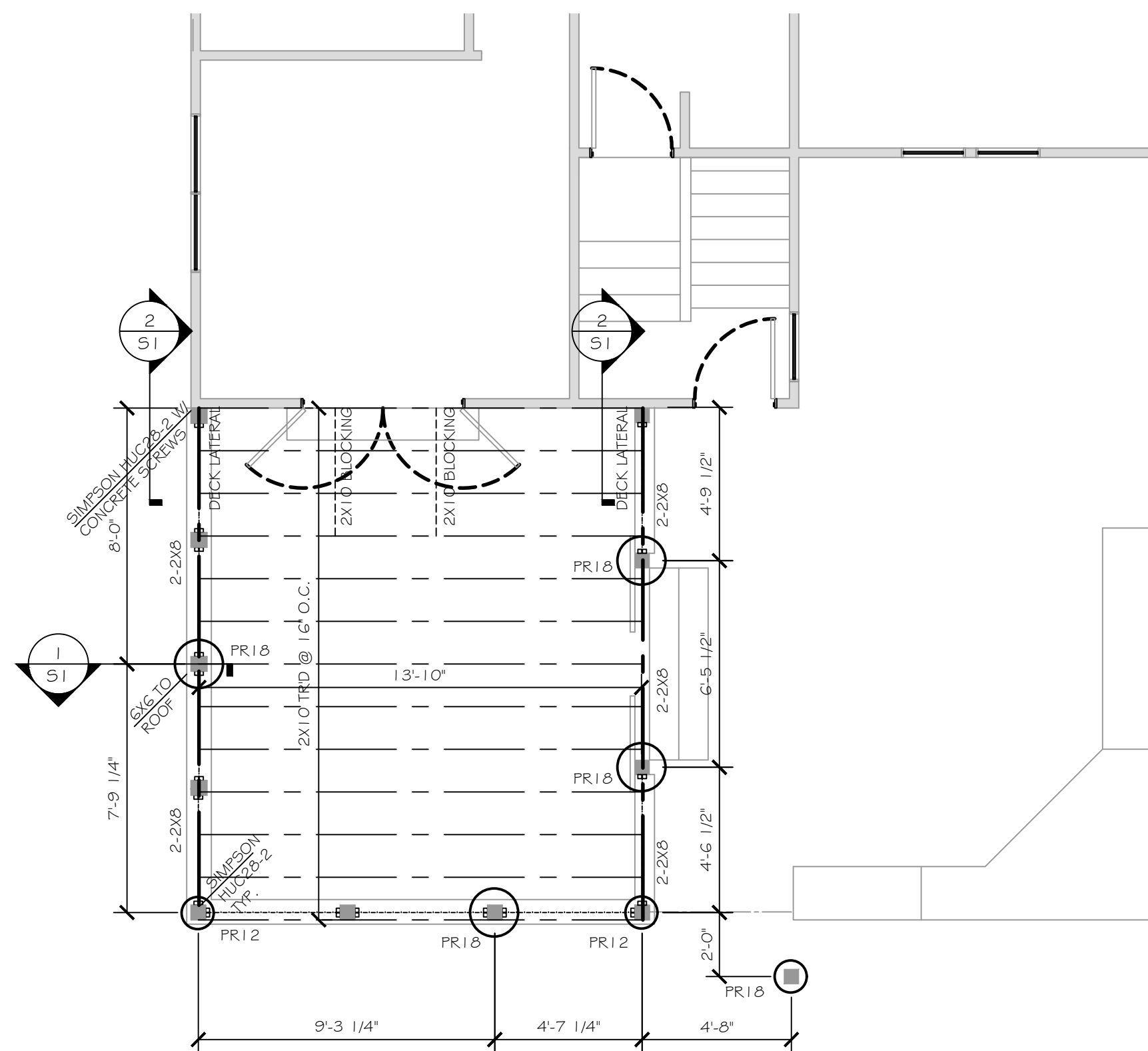


2 deck lateral detail
1" = 1'-0"

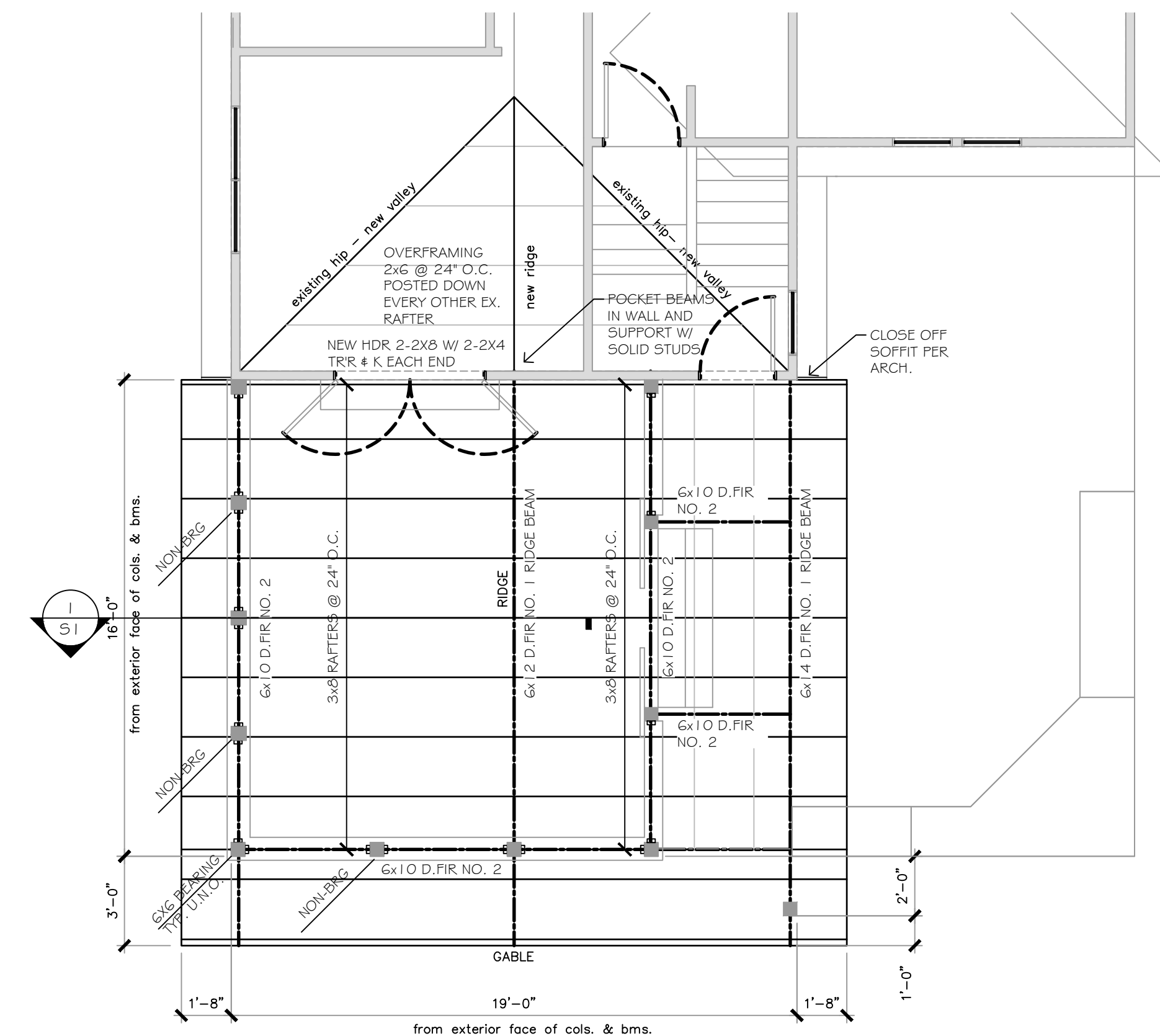
FOOTING / PAD SCHEDULE			
MARK	DIAMETER	DEPTH	REINFORCING
PR1.2	1'-0"	36"	2-#4 FULL HT
PR1.8	1'-6"	36"	4-#4 FULL HT

NOTIFY TD STRUCTURAL ENGINEERING IF EXISTING CONDITIONS VARY FROM THAT SHOWN HERE OR ON ARCHITECTURAL PLANS

NOTIFY TD STRUCTURAL ENGINEERING AND ARCHITECT IMMEDIATELY IF DISCREPANCIES BETWEEN PLANS



PLAN N FOUNDATION AND FLOOR FRAMING PLAN
1/4" = 1'-0"



PLAN N PORCH ROOF FRAMING PLAN
1/4" = 1'-0"

Drawings, specifications, general notes and outline specifications are instruments of service and shall remain the property of TD Structural Engineering, Inc. Copies of these documents retained by the client are for the clients use in the construction of the project for which these documents were prepared. Any use of these documents, in whole or in part, by any means whatsoever to construct any other project or the use of these documents, in whole or in part, as stock plans or prototype design for multiple building projects is strictly prohibited, except with the specific written consent of TD Structural Engineering, Inc. of Northern Colorado.



BUFFINGTON SCREENED PORCH
628 PETERSON STREET
FORT COLLINS, COLORADO

PROJECT NUMBER: 23-103
DESIGNED BY: WTD
REVIEWED BY: WTD
DATE FOR ISSUE: 1/11/2024

REVISION:

FOUNDATION & FRAMING PLANS
DETAILS & NOTES



628











The central focus of the image is a white wooden pergola structure that spans across the back of the house. The house itself is painted a bright yellow with white window frames and a white front door. A person is visible in the garden bed, which is filled with various potted plants, including yellow and red flowers. To the right of the garden bed, there is a patio area with a table and chairs, and a large tan-colored hot tub. The house is surrounded by mature trees, including a large evergreen on the right and several deciduous trees on the left. The sky is blue with some light clouds.

