



**Historic Preservation Services**  
Community Development & Neighborhood Services  
281 N. College Ave.  
Fort Collins, CO 80524  
970.224.6078  
[preservation@fcgov.com](mailto:preservation@fcgov.com)  
[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

**CERTIFICATE OF APPROPRIATENESS**

**ISSUED: June 11, 2024**

**EXPIRATION: June 11, 2025**

City of Fort Collins  
c/o Gretchen Gramling, Transfort  
250 N. Mason St.  
Fort Collins, CO 80524

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the Colorado and Southern Freight Depot and Docks at 250 N. Mason St., have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Replacement of EPDM roof material with TPO
- 2) Addition of overflow scupper on east side of building; related relocation of power system (currently under overflow scupper location)
  - a. *Overflow scupper should match the existing scupper with collector and downspout assembly.*
- 3) Masonry repair on inside of brick parapet wall, including tuckpointing, using type N mortar matching the appearance of the existing, and replacement of deteriorated bricks.
  - a. *Ensure that replacement bricks match the existing material.*

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work. Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at 970-224-6078.

Sincerely,

Yani Jones

Historic Preservation Planner

| Applicable Code Standard | Summary of Code Requirement and Analysis (Rehabilitation)  | Standard Met (Y/N) |
|--------------------------|--|--------------------|
| SOI #1                   | <p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p><b>This project will not change the current use of the building.</b></p>   | Y                  |
| SOI #2                   | <p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p><b>The roofing material being changed is not visible from the street, and so it has no impact on the historic character of the property. Masonry materials are being repaired or appropriately replaced only if deteriorated to the point of needing replacement, which also preserves the historic character of the property. The overflow scupper will require some removal of a small amount of historic brick material, but the scupper and its downspout assembly will help ensure the building’s overall health by diverting excess water.</b></p> | Y                  |
| SOI #3                   | <p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p>  | N/A                |
| SOI #4                   | <p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>  | N/A                |
| SOI #5                   | <p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p><b>The materials being removed to accommodate the new scupper are minimal to accommodate that feature, and the roofing materials being removed are non-historic and non-distinctive. This Standard is considered met.</b></p>   | Y                  |

|                       |   |                   |
|-----------------------|---|-------------------|
| <p><b>SOI #6</b></p>  | <p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p><b>On the inside of the brick parapet, there are some severely damaged bricks that warrant replacement with similar bricks due to the level of deterioration (see photos). Tuckpointing is also needed to repair damaged mortar, and type N mortar mix will be used, which is appropriate for brick of this age, and it will match the appearance of the existing mortar. For these reasons, this Standard is also met.</b></p> | <p><b>Y</b></p>   |
| <p><b>SOI #7</b></p>  | <p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>   | <p><b>N/A</b></p> |
| <p><b>SOI #8</b></p>  | <p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p>  | <p><b>N/A</b></p> |
| <p><b>SOI #9</b></p>  | <p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p>  | <p><b>N/A</b></p> |
| <p><b>SOI #10</b></p> | <p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p>   | <p><b>N/A</b></p> |

**From:** [Victor Trowbridge](#)  
**To:** [Yani Jones](#); [Gretchen Gramling](#)  
**Subject:** RE: New roof at DTC  
**Date:** Tuesday, June 11, 2024 9:52:40 AM  
**Attachments:** [Secondary Scupper.pdf](#)  
[image001.png](#)  
[image002.png](#)  
[IMG\\_7839.jpg](#)  
[IMG\\_7851.jpg](#)  
[IMG\\_7828.jpg](#)

---

Hi Yani,

Attached is a picture of what the existing scupper looks like with a rough sketch of what would be added. I've also attached some additional photos of the roof and the inside face of the parapet wall – this is where all the deteriorated brick is located. When repairing the existing masonry we would use a standard N type mortar mix and try to match the look of the existing mortar as closely as possible. I also don't foresee us parging the interior face of the parapet wall as the roof assessment proposes.

Let me know if you have any more questions!

**Victor Trowbridge**

Senior Facilities Project Mgr

[City of Fort Collins](#)

300 LaPorte Ave – East Bldg

970-416-4303 office

970-443-0367 mobile

[vtrowbridge@fcgov.com](mailto:vtrowbridge@fcgov.com)



Project Management, Planning, and Design

---

**From:** Yani Jones <yjones@fcgov.com>  
**Sent:** Monday, June 10, 2024 4:55 PM  
**To:** Gretchen Gramling <ggramling@fcgov.com>  
**Cc:** Victor Trowbridge <vtrowbridge@fcgov.com>  
**Subject:** RE: New roof at DTC

Hi Gretchen and Victor!

Thanks for looping me in on this. All the exterior work to the building needs to receive a Certificate of Appropriateness documenting local historic preservation review and approval prior to it beginning – I'll make it a priority to complete this review ASAP considering the leaking, but I do need some additional info to get that going for you. I've added some notes below with comments/requests for info in blue.

Take care,

Yani

.....  
**YANI JONES**

Pronouns: She/Her ([What's this?](#))

Historic Preservation Planner

City of Fort Collins Historic Preservation Services

(970) 224-6045

<https://www.fcgov.com/historicpreservation/>

*Get monthly historic preservation updates in your inbox by toggling on “Historic Preservation Matters” [here](#), or email [preservation@fcgov.com](mailto:preservation@fcgov.com) to be added to the newsletter mailing list!*

---

**From:** Gretchen Gramling <[ggramling@fcgov.com](mailto:ggramling@fcgov.com)>

**Sent:** Monday, June 10, 2024 4:17 PM

**To:** Yani Jones <[yjones@fcgov.com](mailto:yjones@fcgov.com)>

**Cc:** Victor Trowbridge <[vtrowbridge@fcgov.com](mailto:vtrowbridge@fcgov.com)>

**Subject:** New roof at DTC

Hi Yani

I wanted to reach out regarding a project at DTC to replace part of the roof. Attached is an assessment completed by the City’s roofing consultant. They recommend the replacement of the south section of roof immediately as it is failing and actively leaking.

As part of the replacement is has been recommended that:

1) we replace the current roof EPDM material with TPO. This won't have any visible impact on the building from the ground.

[No concerns about this!](#)

2) we add an overflow scupper. The concern is that if the one existing scupper becomes blocked/clogged we are essentially forming a pool on the roof and this building is not engineered to hold that much weight. Current codes require the secondary/overflow scupper for all new roofs as a safety factor in case debris/materials were to prohibit the function of the main roof drains. Below is what a standard overflow scupper would look like next to the existing scupper and downspout. This will change the look of the east elevation of the building if installed.

[Would you please provide a photo of the existing scupper/where the secondary scupper will go?](#)

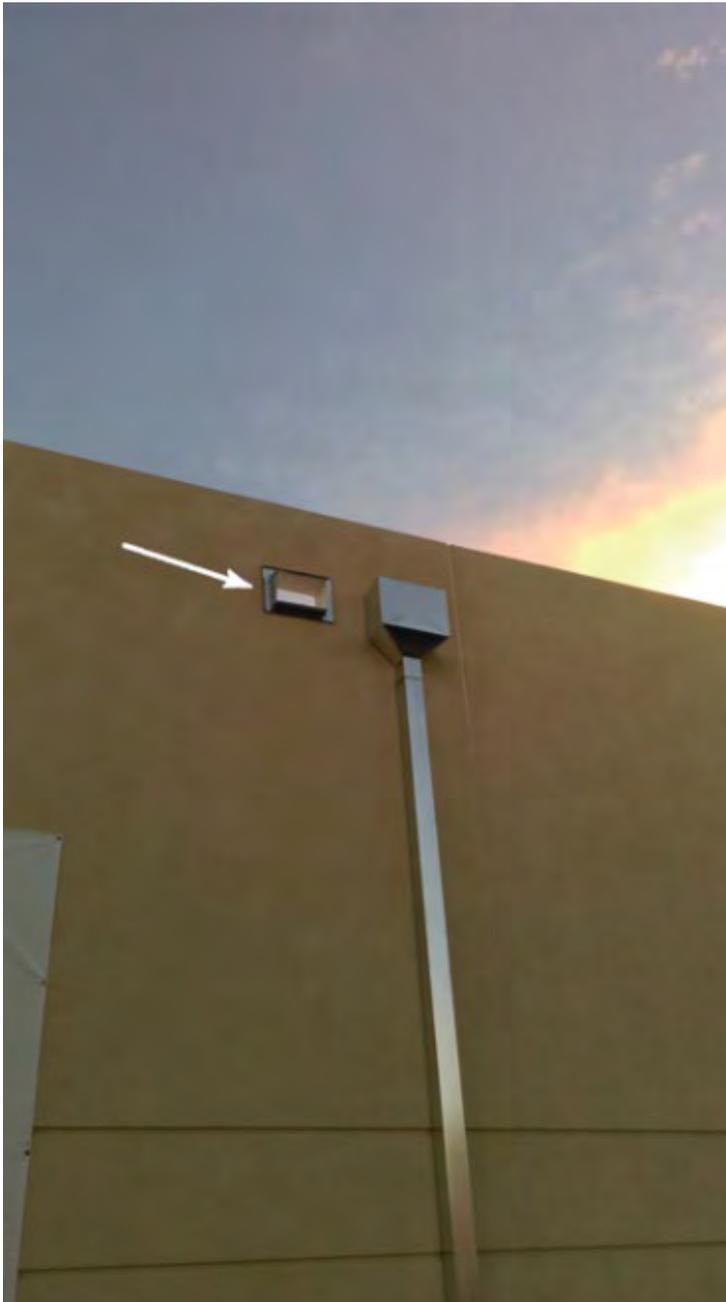
3) we take care of some masonry repair (Tuckpointing & brick replacement). You’ll see pictures in the attached were there is some deterioration. I think this repair work is on the side of the wall on the roof that isn’t visible from the ground but Victor (cc’d here) can give more detail to that piece.

[Victor, would you please clarify the location\(s\) of this tuckpointing and deteriorated brick](#)

replacement work? It kind of looks like it's on the inside of the parapet from the photos, but I'm not sure exactly where. Also, what type mortar will be used for the repair? I also saw in the attachment that some parging may be in the scope of work – Can you clarify if that's true, and if so, what exactly is proposed?

We will be using Federal funds to do this work and will need to fill out a CE worksheet. We know that will trigger a Section 106 evaluation and we'll work on that piece.

What work with City Historic Preservation will we need to do to make sure we're not negatively impacting the DTC building? Thank you for your help. Let me know if you have any questions.



.....  
**Gretchen Gramling**

she/her/hers

Project Manager

City of Fort Collins, Transfort

250 North Mason Street

Office: 970-416-4386

Cell: 970-946-7771

[ggramling@fcgov.com](mailto:ggramling@fcgov.com)

**TRANSFORT**



This can be left as an open scupper, or we can match the existing scupper with the collector and downspout assembly

This power will need to be moved

Google







# Downtown Transit Center

138 Laporte Avenue Fort Collins, CO 80524



Date Thu 11/16/2023

Job # 51431

## Weather

6:00 AM

38° 

Clear

Wind: 7 MPH | Precipitation: .0" | Humidity: 57%

12:00 PM

61° 

Overcast

Wind: 10 MPH | Precipitation: .0" | Humidity: 37%

4:00 PM

63° 

Clear

Wind: 15 MPH | Precipitation: .0" | Humidity: 28%

## Work Logs

| Name   | Description   | Quantity | Total Hours |
|--|---|----------|-------------|
|  Assessment of main roof. Larry Tate RRO | <p>Roofing assembly is composed of three distinct areas.</p> <p>Section A (south section)<br/>Fully adhered Carlisle 60 mil EPDM membrane over wood fiber coverboard over polyisocyanurate over a wood deck.</p> <p>No guarantee existing at Carlisle despite Carlisle products in use. May predate computer records. Seams are hand glued indicating pre 1993 application. After 1993 all Carlisle seams utilized seam tape.</p> <p>Estimate of roofs age in excess of 30 years. Recover recommended to avoid insulation package upgrade (Check core for original roof).</p> <p>Roofing assembly is failing. Membrane shrinkage is pronounced along west side extending down to south end in a triangular pattern. Membrane is delaminated from wall, and insulation substrate in this area. Area is actively leaking.</p> <p>Repair contractor was dispatched by Ft. Collins staff.</p> <p>Section B (north section)<br/>Recently installed fully adhered TPO. Guarantee records from Versico indicate it was installed 4/17/2019 by Select Roofing</p> <p>No core samples taken due to warranty in place.</p> <p>Routine maintenance will allow this roof to meet or exceed its 20 year guarantee.</p> <p>Roof Section C (shingles)<br/>this roof was replaced in 2020 from hail claim</p> <p>Larry Tate   12/21/23 10:17 AM</p> | 0        | 0           |
| Total  |   | 0        | 0           |

Work Log Photos

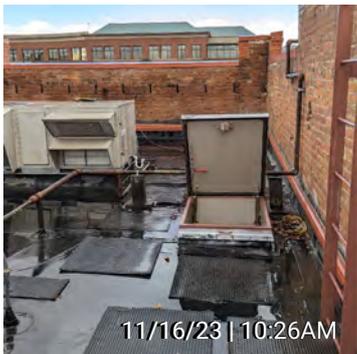
Assessment of main roof. Larry Tate RRO: | QTY: 0 | HRS: 0.0 ↩



General Notes

- 1. Roof Section A fully adhered EPDM.

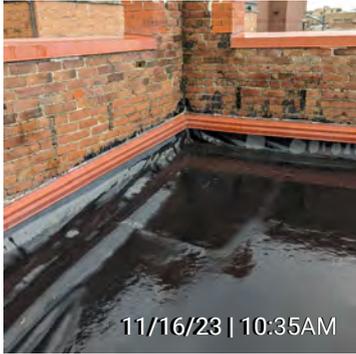
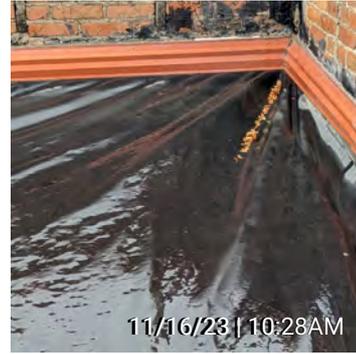
Roof section overview  
Larry Tate | 12/01/23 | 01:21PM



## 2. Roof Section A

Photo's depict failing roof due to shrinkage and delamination from substrate. This is common with older single ply roof membranes.

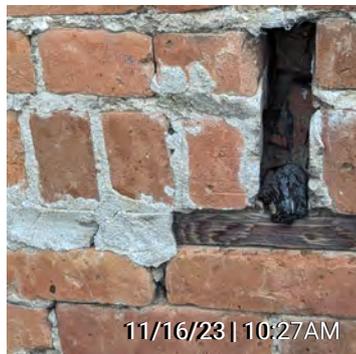
Larry Tate | 12/01/23 | 01:21PM



## 3. Roof Section A

Masonry wall deterioration is advanced. Tuck point combined with Parge coat in some areas is highly recommended.

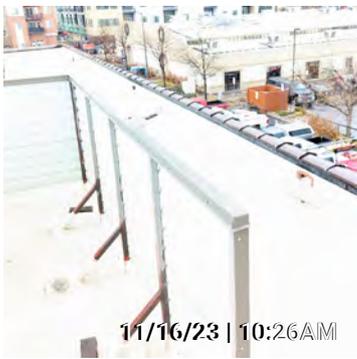
Larry Tate | 12/01/23 | 01:22PM



## 4. Roof Section B

Fully adhered TPO. Roof section overview.

Larry Tate | 12/01/23 | 01:27PM



11/16/23 | 10:26AM



11/16/23 | 10:26AM



11/16/23 | 10:26AM



11/16/23 | 10:26AM



11/16/23 | 10:26AM



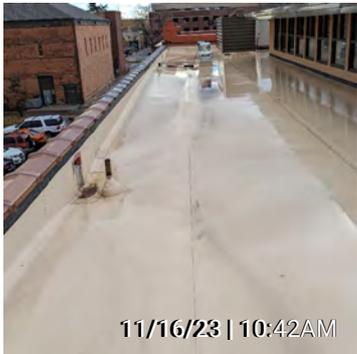
11/16/23 | 10:26AM



11/16/23 | 10:42AM



11/16/23 | 10:42AM

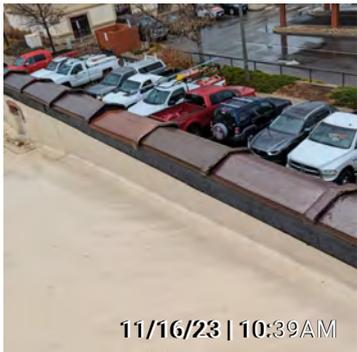


11/16/23 | 10:42AM

### 5. Roof section B

Photos depict typical details associated with roof. No issues noted.

Larry Tate | 12/01/23 | 01:25PM



11/16/23 | 10:39AM



11/16/23 | 10:40AM



11/16/23 | 10:40AM



11/16/23 | 10:40AM



**Site Safety Observations** No entry

**Quality Control Observations** No entry

**Survey**

| Questions   | N/A                                 | No                       | Yes                      | Description |
|---|-------------------------------------|--------------------------|--------------------------|-------------|
| 1. Any accidents on site today?   | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |             |
| 2. Were there any schedule delays?  | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |             |
| 3. Did weather cause any delays?  | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |             |
| 4. Were any visitors on site?   | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |             |
| 5. Were there any areas that can't be worked on?  | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |             |
| 6. Is the roof system installed correctly?  | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |             |
| 7. Are all flashings installed per manufacturer standard details and specifications?                      | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |             |
| 8. Are all penetrations properly flashed and sealed according to manufacturer details and specifications? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |             |
| 9. Is the detail work complete and properly tied in to the field roof area?                               | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |             |
| 10. Are all temporary areas watertight for Close of   |                                     |                          |                          |             |

Business duration?

11. Are all materials onsite approved per the reviewed shop drawings, product data, and associated submittals?