



**Historic Preservation Services**  
 Community Development & Neighborhood Services  
 281 N. College Ave.  
 Fort Collins, CO 80524  
 970.224.6078  
[preservation@fcgov.com](mailto:preservation@fcgov.com)  
[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

**REPORT OF ALTERATIONS TO DESIGNATED RESOURCE**  
**Site Number/Address: 523 Peterson St.**  
**Laurel School National Register Historic District**  
**ISSUED: 6/20/2024**

523 Peterson St. LLC  
 c/o Mark Koepke  
 523 Peterson St.  
 Fort Collins, CO 80521

Dear Mark:

This report is to document proposed alterations to the S.P. Aldrich Residence, at 523 Peterson St., pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include: Rear addition

Our staff review of the proposed work finds the alterations meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p><b>This addition will not change the residential use of this property.</b></p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p><b>Because of the siting of this addition at the rear of the house, with very limited visibility from any public right-of-way, and because of the appropriate scale of the addition, the historic character of the property is preserved. The addition will also attach to the existing house through another existing addition, minimizing the removal of distinctive materials or alteration of features.</b></p>	Y

<p><b>SOI #3</b></p>	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p><b>Because this addition has a more modern roof form, and because the existing addition to which it connects acts similarly to a hyphen, it does not create a false sense of historical development.</b></p>	<p><b>Y</b></p>
<p><b>SOI #4</b></p>	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #5</b></p>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p><b>Because the addition will tie into the existing house through the side of the narrow, west-protruding addition, distinctive materials, features, finishes, construction techniques, and examples of craftsmanship are minimally impacted by the new construction.</b></p>	<p><b>Y</b></p>
<p><b>SOI #6</b></p>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #7</b></p>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #8</b></p>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p><b>Although there is not reason to believe there is a likelihood of uncovering archaeological resources during any needed excavation for this addition project, the applicant should be advised of this Standard and please contact Historic Preservation Services immediately should any such resources be uncovered at <a href="mailto:preservation@fcgov.com">preservation@fcgov.com</a> or 970-224-6078.</b></p>	<p><b>Y</b></p>

<p><b>SOI #9</b></p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p><b>Again, due to the manner in which the addition is planned to connect to the existing house, only a small amount of existing material will be impacted.</b></p> <p><b>The addition is primarily differentiated from the existing house through its more modern shed-roof roof form and through some of the material choices, such as a cement board siding and metal door materials. Although leaning more into design differentiation than compatibility, the design does demonstrate compatibility with the home in terms of its scale, compact massing, and the use of horizontal lap siding.</b></p>	<p><b>Y</b></p>
<p><b>SOI #10</b></p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p><b>Because the point of attachment for this addition to the existing house is so small (about the width of a door), the addition could be removed in the future, if desired, with very little impact to the historic home.</b></p>	<p><b>Y</b></p>

If you have any questions regarding this review, please contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at 970-224-6078.

Sincerely,  
  
 Yani Jones  
 Historic Preservation Planner



### BUILDING PERMIT APPLICATION

<b>APPLICATION NUMBER:</b>	<b>APPLICATION DATE:</b>
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Job Site Address 523 Peterson Street, Fort Collins, 80524 Unit# \_\_\_\_\_

**PROPERTY OWNER INFO:** (All owner information is required – NOT optional)

Last Name Koepke First Name Mark Middle David  
 Street Address 523 Peterson Street City Fort Collins State CO Zip \_\_\_\_\_  
 Phone # 410-564-9729 Email mdkoepke@verizon.net  
 Name of Business (COMMERCIAL USE ONLY) \_\_\_\_\_

**CONTRACTOR INFO:** Company Name myself

License Holder Name \_\_\_\_\_ LIC # \_\_\_\_\_ CERT # \_\_\_\_\_

**LEGAL INFO:**

Subdivision/PUD 10145 Filing # \_\_\_\_\_ Lot # \_\_\_\_\_ Block # 145 Lot Sq Ft 4791

**CONSTRUCTION INFO:** Total Building Sq Ft (NOT including basement) \_\_\_\_\_ Total Garage Sq. Ft. \_\_\_\_\_

Residential Sq Ft 672 Commercial Sq Ft 1 # of Stories \_\_\_\_\_ Bldg Ht 14' # of Dwelling Units 1  
 1st Floor Sq Ft \_\_\_\_\_ 2nd Floor Sq Ft \_\_\_\_\_ 3rd Floor Sq Ft \_\_\_\_\_ Unfinished Basement Sq Ft \_\_\_\_\_  
 Finished Basement Sq Ft \_\_\_\_\_ # of Bedrooms 1 # of Full Baths 1  
 ¾ Baths \_\_\_\_\_ ½ Baths \_\_\_\_\_ # Fireplaces \_\_\_\_\_

**ENERGY INFORMATION: (CHECK ONE)**

Prescriptive  Performance  U/Arescheck  ERI  ASHRAE  Component/Comcheck  IDAP   
 Air Conditioning? YES  NO   
 City of Fort Collins Approved Stock Plan # SPO List Option #s \_\_\_\_\_

**Utilities INFO:**

New Electric Service  Electric Service Upgrade  Electric Meter Relocation   
 Electric Main Breaker Size (Residential Only): 150 amps or less  200 amps  Other:   
 Gas  Electric  Electric Temp Pedestal? Yes  No

**ZONING INFO: (COMMERCIAL USE ONLY)**

Proposed Use: (i.e. medical, office, bank, retail, etc.) \_\_\_\_\_

**For Commercial remodels and tenant finishes, please answer the following questions:**

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)  
 Existing Tenant  New Tenant   
 If for a new tenant, is this the first tenant to occupy this space?  
 Yes  No  If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes  No   
 If yes, please describe: \_\_\_\_\_



Value of Construction (materials and labor): \$ 100,000

Description of Work: 672 addition with bedroom, bath and living room to back of existing home

JOBSITE SUPERVISOR CONTACT INFO: Name Mark Koepke Phone 410-564-9729

SUBCONTRACTOR INFO: Electrical TBD Mechanical TBD

Plumbing Polar Bear Framing TBD Roofing TBD

Fireplace NA Solar NA Other \_\_\_\_\_

**ASBESTOS STATEMENT DISCLOSURE:** *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.  
 An asbestos inspection has been conducted on this property on or about (enter date) \_\_\_\_\_  
 An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature Mark D. Koepke

Type or Print Name Mark D. Koepke

Phone # 410-564-9729

Email mdkoepke@verizon.net

**THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE**



Building Services  
PO Box 580  
281 N College Ave  
Fort Collins, CO 80524  
970-416-2740 phone 970-224-6134 fax

### HOMEOWNER AFFIDAVIT

I, Mark Koepke, as owner of record of the property located at:  
523 Peterson Street, Fort Collins, Colorado, hereby declare and attest to

the following: (please check only the one that applies):

**OPTION 1: CONSTRUCTION OF NEW HOME**

- I am acting on my behalf for the purpose of obtaining a building permit and personally constructing my home. The home to be constructed is on the above property and will be my primary residence. I have not personally constructed any other new homes in the Fort Collins city limits within the past 24-month period.

**OPTION 2: PERMITTED WORK ON DETACHED SINGLE FAMILY HOME**

- I am acting on my behalf for the purpose of obtaining a building permit and personally constructing an alteration or addition to my house, acting as my own general contractor. The house to be altered is on the above property and is my personal primary residence.

**OPTION 3: PERMITTED WORK ON ATTACHED SINGLE FAMILY DWELLING UNIT.**

- I am acting on my behalf for the purpose of obtaining a building permit and personally constructing a non-structural alteration to my attached single family dwelling unit. The house to be altered is my personal primary residence. I am aware that I cannot complete or supervise any structural, electrical, plumbing or mechanical work and must hire contractors/subcontractors who are currently licensed and insured with the City of Fort Collins\*.

I am personally performing all of the work or hiring City of Fort Collins licensed trades people, or will be continuously supervising unpaid volunteers (see Option 3 for attached dwellings). The work is directly related to the construction of the above referenced home.

I understand that any person(s) or agent(s) contracted to perform **structural** wood-framing, plumbing, HVAC, electrical or roofing work, **MUST BE** licensed contractors in accordance with the regulation of the City of Fort Collins.

I understand that failure to comply with any of the above conditions may result in revocation of any permits associated with the above Permit Application number, forfeiture of any fees that have been collected, a Stop Work Order and potentially a court summons.

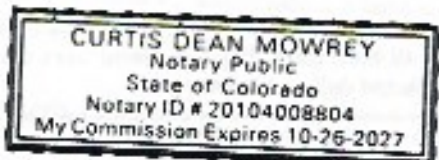
Sign in the presence of Notary Public

Mark Koepke  
Owner

The foregoing Affidavit was acknowledged before me on this 21<sup>st</sup> day of  
May 2024 (month, year) by Mark Koepke

Witness my hand and official seal  
My commission expires:

Curtis Dean Mowrey  
Notary Public



\*nonstructural construction, alterations, and/or repairs of less than \$2000 are exempt from this requirement.

Building permit fees are based on Occupancy Category and Square Footage. Occupancy Categories are typically located on the architectural plans for submittal. A summary of each occupancy category is also included in the following pages as well.

**Required for permit submittal - Fill out the following table:**

Occupancy Category (See Description of Occupancies Below)	Square Footage	Multiply square foot by cost per square foot.	Cost per Square Foot	Total
A (Assembly)		x	\$0.40	
B (Business)		x	\$0.50	
E (Education/Schools)		x	\$0.50	
F (Factory)		x	\$0.35	
I (Institutional)		x	\$0.50	
M (Mercantile)		x	\$0.40	
R-1 (Hotel)		x	\$0.35	
R-2 (Apartment)		x	\$0.35	
R-3 (Single Family Detached/Duplex)	672	x	\$0.65	\$437
R-4 (Assisted Living)		x	\$0.55	
S (Storage)		x	\$0.40	
U (Utility)		x	\$0.40	
H High hazard		x	\$0.60	
Core and Shell Buildings (No designated occupancy type at construction)		x	\$0.45	
<b>Total</b>				<b>\$437</b>

\*\*\*\*Occupancies and fees will be verified at plan review to ensure occupancy categories and square footages are accurate. Fees will be re-assessed if occupancies and square footages do not match plans.\*\*\*\*

**For additions that include interior remodel:** please provide addition square footage above and remodel only valuation here \_\_\_\_\_.

Please note: overall valuation provide on building permit application will be used for taxes only. Remodel only valuation will be used to calculate plan check fee and building permit fee for addition.

**For New Multi-family buildings fill out the following:**

1. Are there any areas/functions, other than dwelling units in this building (examples: leasing office, gym, community gather areas, storage, garage, facilities office)?
  - Yes - there are other functions/occupancy areas. *Required: list each in the table above*
  - No - only dwelling units
  
2. Are these other areas/functions/ occupancy types available to the public (examples: public gym or pool, event spaces, store/shops/salons, etc.)?
  - Yes (Mixed Use Building) - there are other occupancies/amenities available to the public.
  - No (Multi-Family Building) - the other occupancies/amenities are only available to the residents of the building.



The following pages contain a summary of Occupancy Classification Categories as designated by the *International Building Code*. For additional description details please visit [www.fcgov.com/building/codes](http://www.fcgov.com/building/codes) to view and access the current adopted International Building Codes and local amendments. Additional information on occupancy types can be found in Chapter 3 of the International Building Code.

**A (Assembly):** Gathering spaces or rooms for 50 or more people (as calculated by square footage and load factors in the building code):

Examples: Amusement arcades, Amusement Park Structures, Arenas, Art galleries, Bars, Banquet halls, Bleachers, Bowling alleys, Cafeterias, Concert halls, Community halls, Courtrooms, Dance halls, Dining facilities (including associated commercial kitchens), Grandstands, Gymnasiums, Lecture halls, Libraries, Museums, Nightclubs, Places of Religious Worship, Restaurants, Skating rinks, Swimming pools, Stadiums, Taverns, Tennis courts, Theaters.

*\*\*\*List above is inclusive of: A-1, A-2, A-3, A-4, A-5 occupancy types*

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**B (Business):** Areas used for office, and professional services.

Including but not limited to: Airport traffic control towers, Ambulatory care facilities, Animal hospitals and kennels, Banks, Barber and Beauty shops, Car wash, Civic administration, Clinic outpatient, Dry cleaning/laundry (pick-up, delivery, or self-serve), Educational occupancies for students above the 12th grade, Food processing and commercial kitchens 2,500 sf or less (not associated with restaurants, cafeterias, dining facilities). Laboratories, Motor vehicle showrooms, Post offices, Print shops, Professional services (architects, attorneys, dentists, physicians, engineers), Radio and television stations, Training and skill development schools such as martial arts studios and gymnastics which are not classified as A-Assembly (less than 50 occupants).

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**E (Education):** Educational use by six or more persons at any one time for educational purposes through the 12th grade (not accessory to places of religious worship with occupant loads of less than 100 per room or space), Day care facility occupied by more than five children older than 2.5 years of age who receive educational, supervision or personal care services for fewer than 24 hours per day, or Daycares that provide care for 5-100 children max 2.5 years or younger where the rooms in which the children are cared for, are located on the level of exit discharge and each of these child care rooms has an exit door directly to the exterior. *Note: Public schools operated and owned by the public school system (Poudre Schools) are not subject to State rather than City permitting process.*

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**F (Factory):** Assembly, Disassembly, Fabrication, Finishing, Manufacturing, Packaging, Repair or processing operations that are not classified as S or H occupancies:

Including but not limited to: Assembly, Fabrication - etc. of: Aircraft, Appliances, Bakeries, Beverages (including alcoholic), Bicycles, Boats, Business machines, Cabinets, Cameras, Carpets and rugs, Ceramic products, Clothing, Construction and agricultural machinery, Disinfectants, Dry cleaning and dyeing, Electric generation plants, Electronics, Engines (including rebuilding), Fabrics, Food processing & commercial kitchens (more than 2,500 square feet that are not associated with restaurants), Furniture, Foundries, Glass products, Gypsum, Hemp products, Ice, Jute products, Leather products, Motor vehicles, Machinery, Metal, Millwork, Motion pictures and television filming (without spectators), Musical instruments, Optical goods, Paper mills or paper products, Plastic products, Printing or publishing, Recreational vehicles, Refuse incineration, Shoes, Soaps and detergents, Textiles, Tobacco, Upholstery, Wood, Woodworking.

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**I (Institutional):** Buildings or spaces used for the care or supervision of persons, or persons detained for penal or correctional purposes:

Including but not limited to: Alcohol and drug centers, Assisted living facilities, Detoxification facilities, Correctional centers, Congregate care facilities, Detention centers, Foster care facilities, Group homes, Halfway houses, Hospitals, Jails, Nursing homes, Psychiatric hospitals, Prisons, Prerelease centers, Residential board and care facilities, Social rehabilitation facilities, Reformatories, Adult or Child Daycare facility for persons of any age receiving custodial care fewer than 24hrs a day.

*\*\*\*List above is inclusive of: I-1 (conditions 1-2), I-2 (conditions 1-2), I-3 (conditions 1-5), and I-4 occupancy types.*

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**M (Mercantile):** Buildings or spaces used for the display and sale of merchandise, stocks of goods, wares or merchandise and accessible to the public.

Including but not limited to: Department stores, Drug stores, Greenhouses for display and sale of plants with public access, Markets, Motor fuel-dispensing facilities, Retail or wholesale stores, Sales rooms.

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**R-1 (Hotel):** Sleeping units where the occupants are primarily transient (30 days max).

Including: Boarding houses (transient) with more than 10 occupants, Congregate living facilities (transient) with more than 10 occupants, Hotels (transient), Motels (transient).

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**R-2 (Apartment):** Sleeping units or buildings with more than two dwelling units where the occupants are primarily permanent in nature,

Including: Apartment houses, Congregate living facilities (non-transient) with more than 16 occupants, Boarding houses (non-transient), Convents, Dormitories, Fraternities and sororities, Monasteries, Hotels (non-transient), Live/work units, Motels (non-transient), Vacation timeshare properties

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**R-3 (Single Family Detached/Duplex/Single Family Attached Townhome):** Buildings that do not contain more than two dwelling units, Care facilities that provide accommodations for five or fewer persons receiving care, Congregate living facilities (non-transient) with 16 or fewer occupants in any of the following: Boarding houses (non-transient), Convents, Dormitories, Fraternities and Sororities, and Monasteries. Congregate living facilities and Boarding houses (transient) with 10 or fewer occupants, Lodging houses (transient) with five or fewer guest rooms and 10 or fewer occupants.

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**R-4 (Assisted Living, Group homes):** Occupancy for more than five but not more than 16 persons, excluding staff, who reside on a 24-hour basis in a supervised residential environment and receive custodial care.

Including but not limited to: Alcohol and drug centers, assisted living facilities, Congregate care facilities, Group homes, Halfway houses, Residential board and care facilities, Social rehabilitation facilities

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**S (Storage):** Space used for combustible and non-combustible storage (where not classified as an H-Occupancy)

Including but not limited to: Aerosol products, Aircraft hangar, Asbestos, Baskets, Beverages, Books, Buttons, cloth/burlap/paper bags, Cardboard, Clothing, Cement in bags, Chalk, Ceramic containers, Cigarettes, Dry boat storage, Dairy products, Dry cell batteries, Electrical motors, Empty cans, Food products, Furniture, Fresh fruits, Furs, Frozen foods, Glues, Glass, Grains, Gypsum board, Leather, Linoleum, Lumber, Mattresses, Meats, Metal, Metal cabinets, Metal parts, Motor vehicle repair garages, Pastes, Parking garages- open or enclosed, Porcelain and pottery, Paper rolls, Resilient flooring, Self-service storage facility (mini-storage), Silks, Soaps, Sugar, Shoes, Stoves, Tires, Tobacco, Upholstery, Vegetables, Wax candles, Washers and Dryers.

*\*\*\*List above is inclusive of: S-1 and S-2 occupancy types.*

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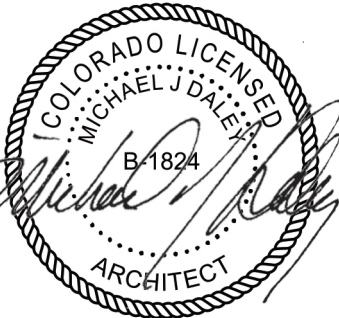
**U (Utility):** Accessory buildings and structures not classified as other occupancies

Including but not limited to: Agricultural buildings, Barns, Carports, Communication equipment structures, Fences more than 6 feet in height, Grain silos, Livestock shelters, Private garages, Retaining walls, Sheds, Stables, Tanks, Towers, Greenhouses not for public access.

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**H (High hazard):** Storage or manufacturing of these materials in excess of specifically allowed quantities that constitute a physical or health hazard: Flammable finishes, Flammable and Combustible liquids, Combustible dust, Combustible fiber, Cryogenic flammable, Explosives, Flammable gas, Flammable solid, Inert gas, Organic peroxide, Oxidizer, Oxidizing gas, Pyrophoric, Water reactive. Semiconductor fabrication and research and development facilities.

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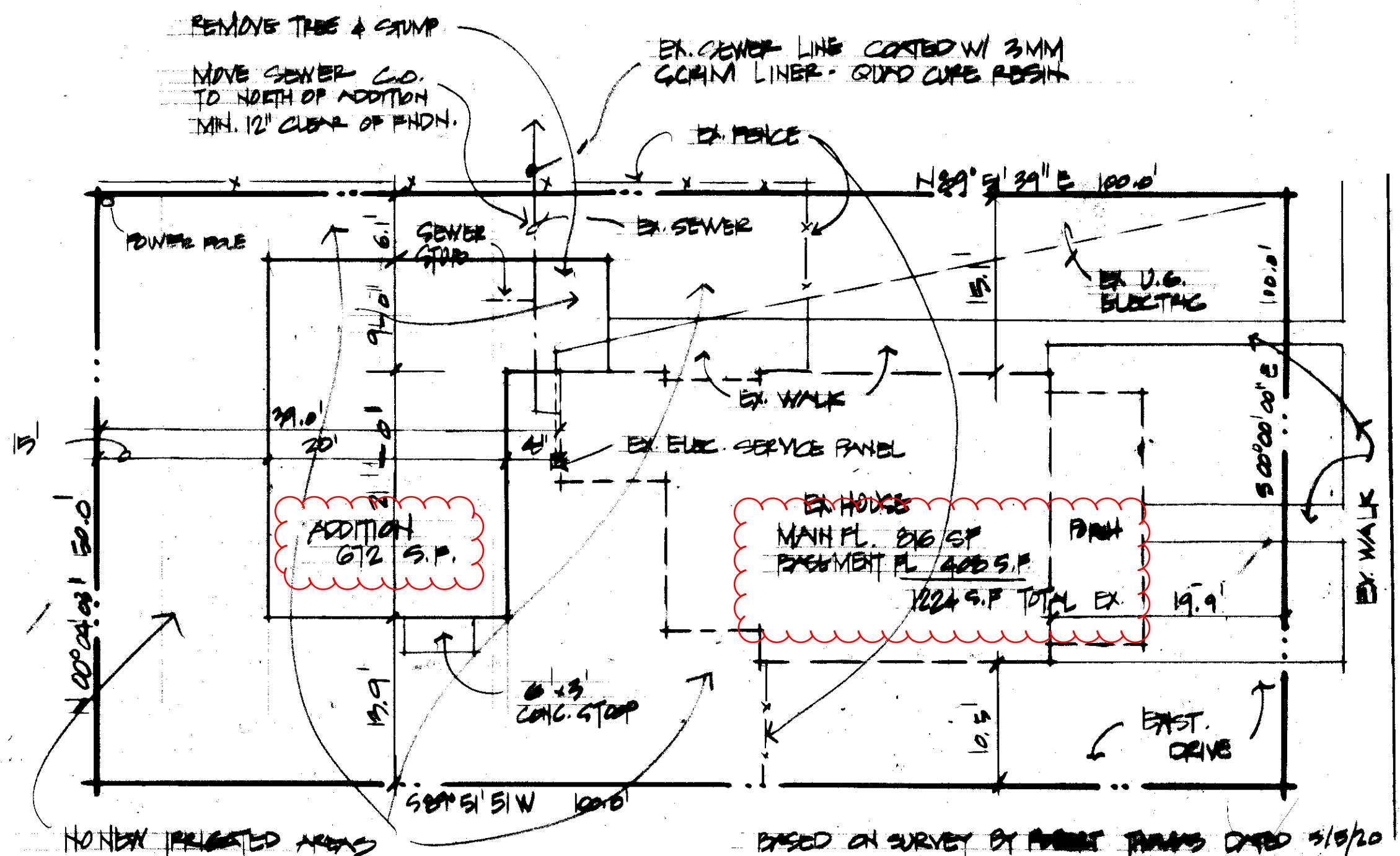


5.30.24

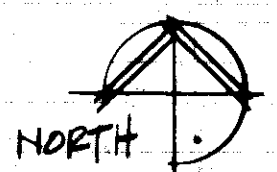
- O.H. CONST.**
- 2x6 EXTENSIONS, LAP 2x THE O.H.
  - 5/16" SPIRIT DD - PAINTED
  - 2x6 CONT. NAILED
  - 1x8 PAINTED FASCIA DD
  - GUTTER C NORTH W/ DG.

- ROOF CONSTRUCTION**
- COMPOSITION SHINGLES PER
  - 2x12 ROOF
  - SPACE ICE & WATER SHIELD
  - 7/16" OSB PER STRUCTURAL
  - 11/16" LVL OR 2x12 PER STRUCTURAL
  - R-60 CLOSED CELL SPRAY FOAM
  - 1/2" GYP. DD

- WALL CONST.**
- PAINTED LAP SIDING
  - R-5 CONT. INSUL. W/ AWB
  - 7/16" OSB PER STRUCTURAL
  - 2x6 C 16" - WINDOW FRAMING PER STRUCTURAL
  - R-21 EXT. INSUL.
  - 1/2" GYP. DD

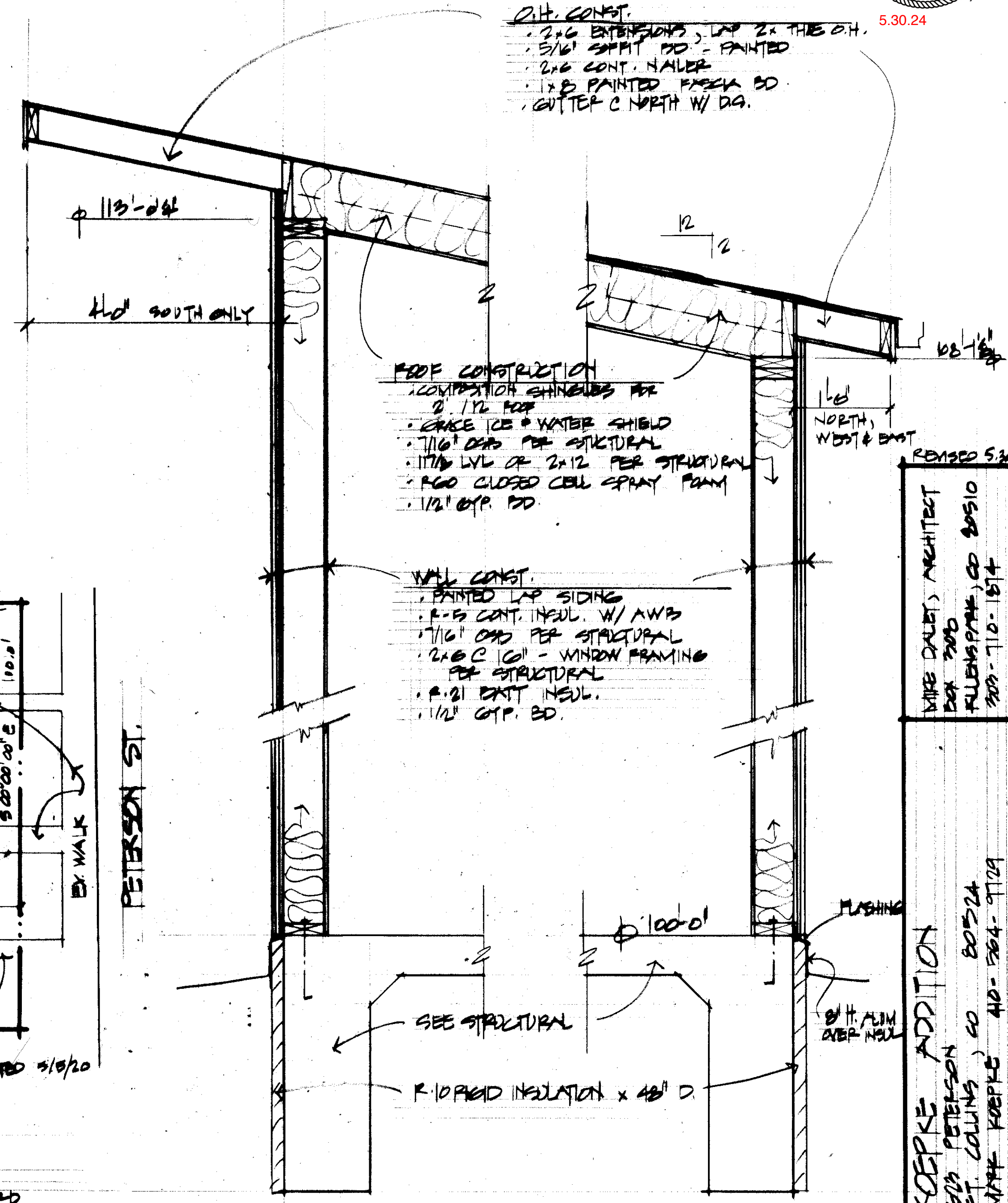


**SITE PLAN**  
1" = 10'



SET BACKS  
5' SIDE YARD  
15' REAR YARD

TOTAL EX. & NEW S.F. 1896 S.F.

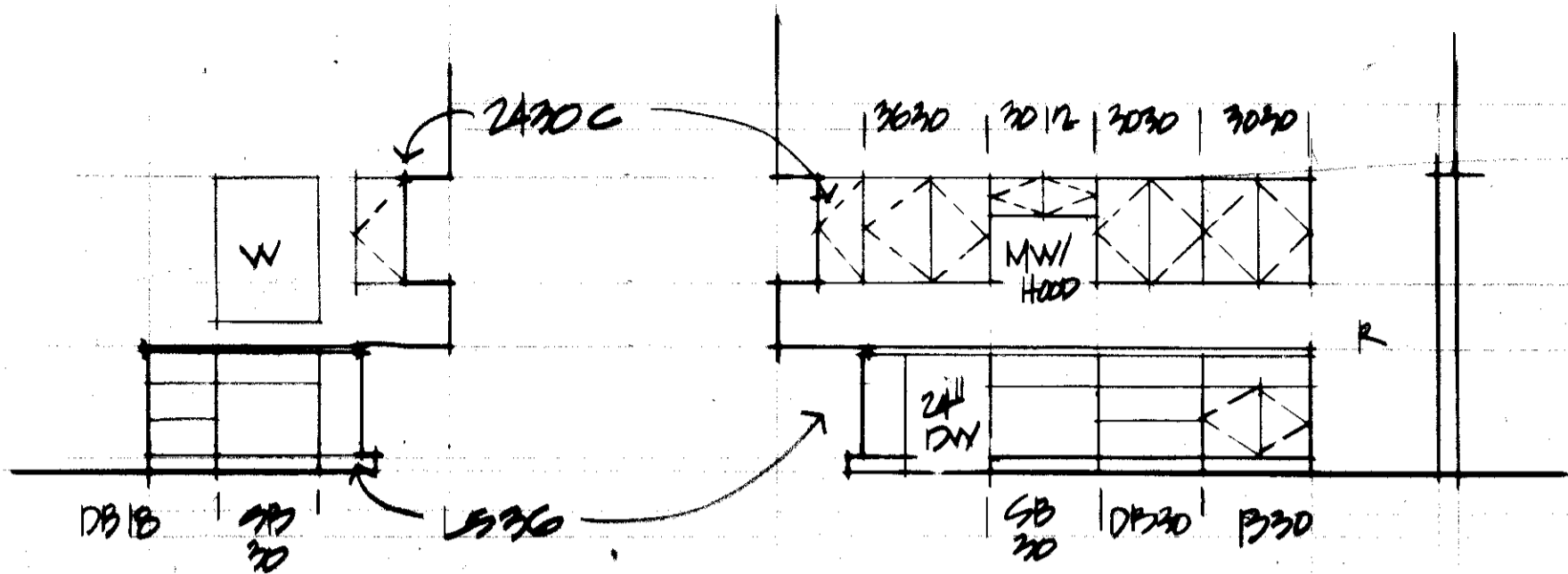


**WALL SECTIONS**  
1/2" = 1'-0"

REMOVED 5.30.24  
DALEY ARCHITECT  
BOX 3900  
FLENNERS PARK, CO 80510  
303-710-1514

KEPKE ADDITION  
513 PETERSON  
FT. COLLINS, CO 80524  
MARY KEPKE 410-564-9719

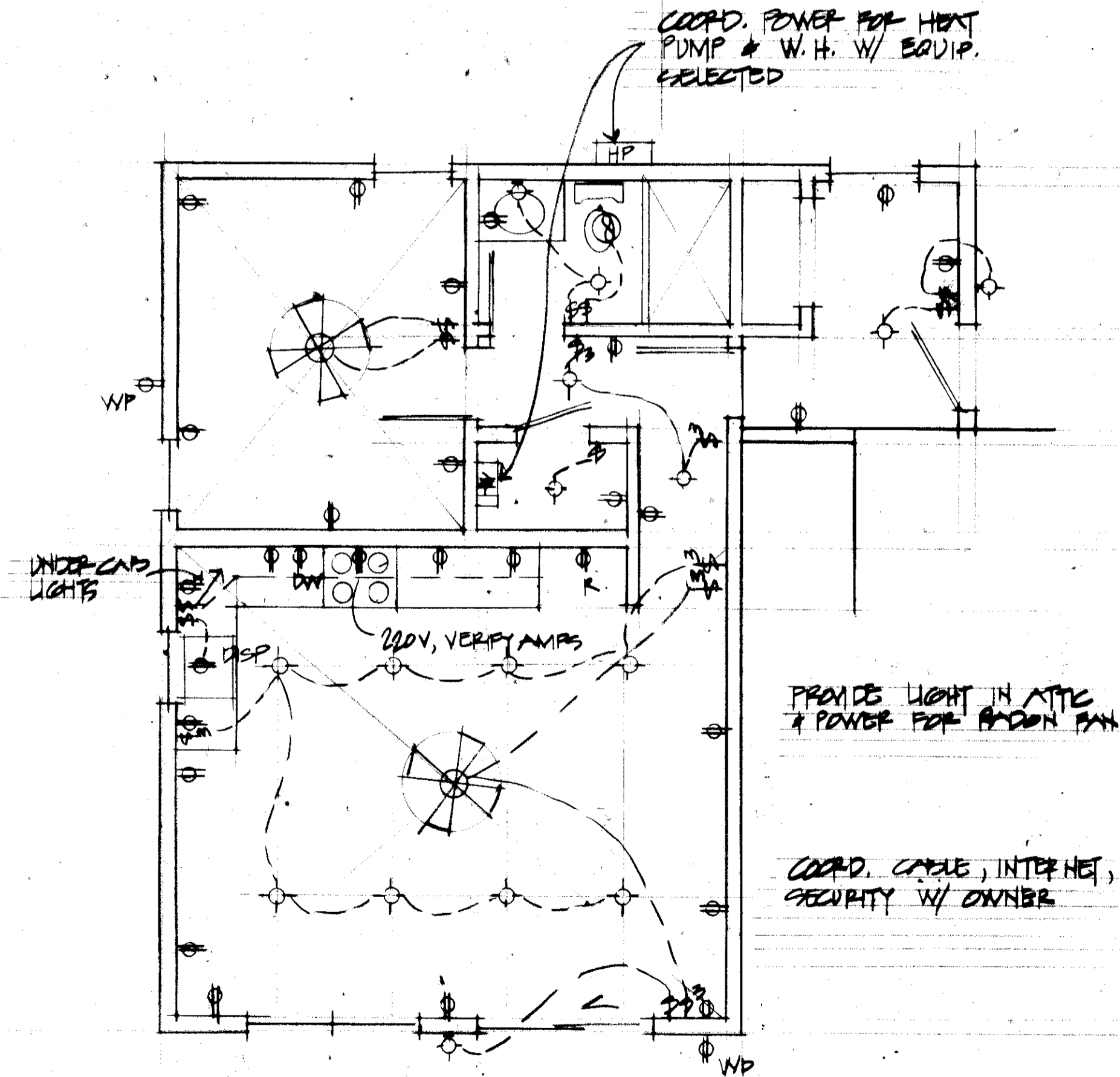




**KITCHENETTE ELEVATIONS**

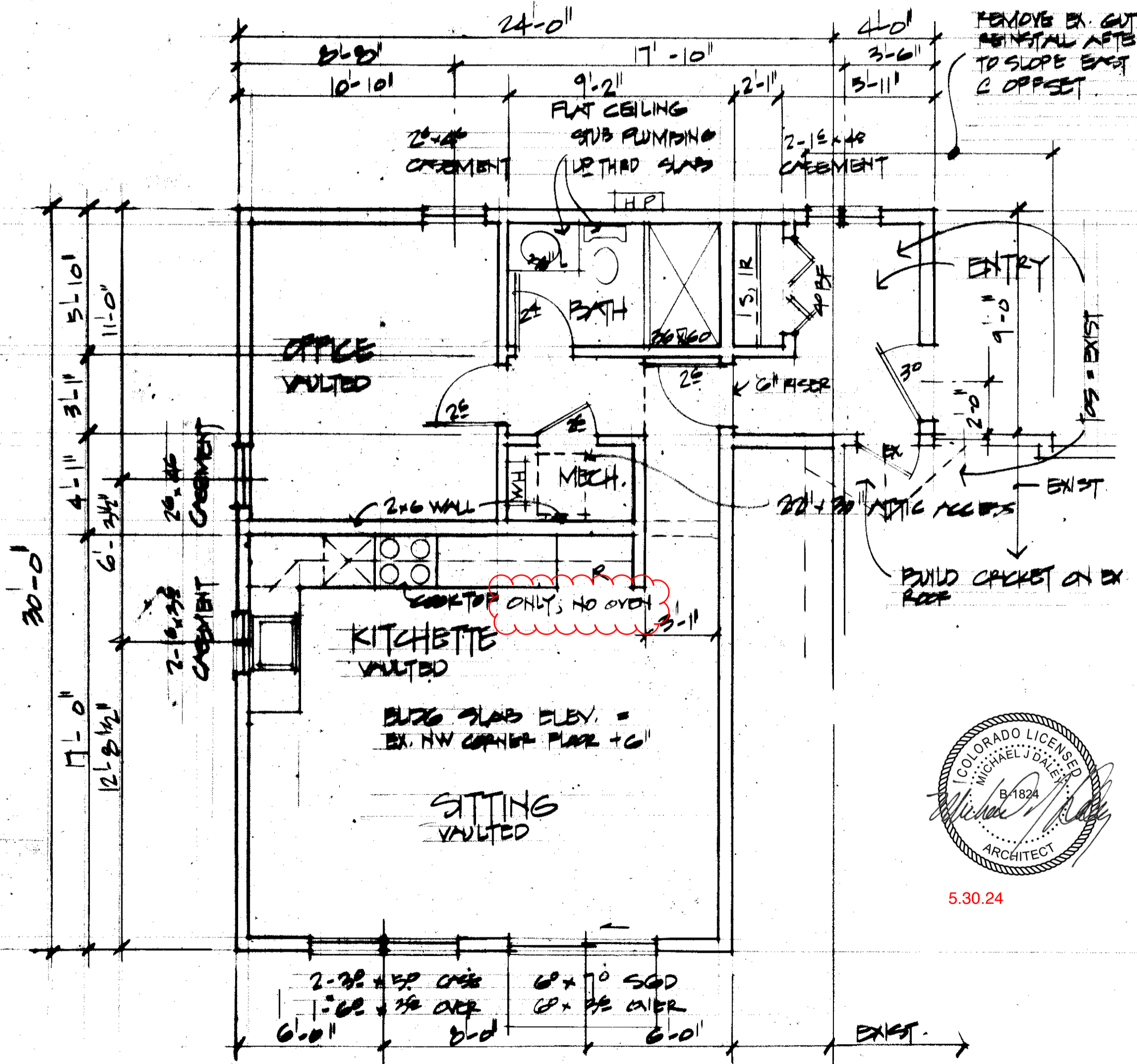
1/4" = 1'-0"

**NOTE**  
NO LOCKED DOORS PERMITTED  
BETWEEN EXIST. + NEW ADDITION



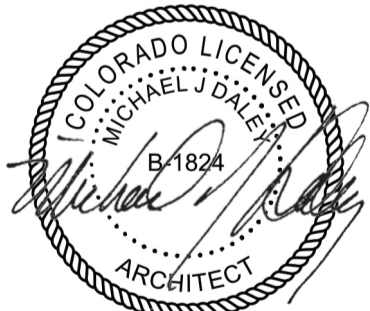
**ELECTRIC PLAN**

1/4" = 1'-0"



**FLOOR PLAN**

1/4" = 1'-0"



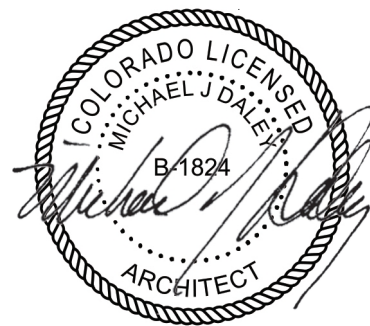
5.30.24

REV 5.30.24

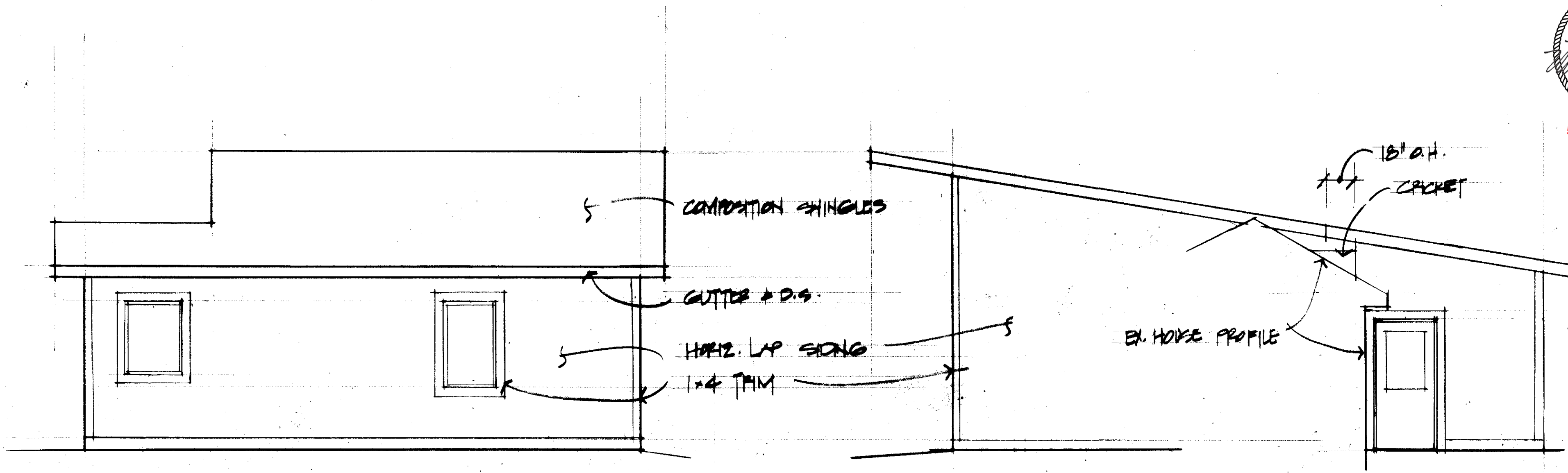
MIKE DALEY, ARCHITECT  
BOX 300  
ALLENSPARK, CO 80510  
703-710-1874

KEEPE ADDITION  
SRA PETERSON  
FT. COLLINS, CO 80524  
MAX KOEPE 40-564-9729



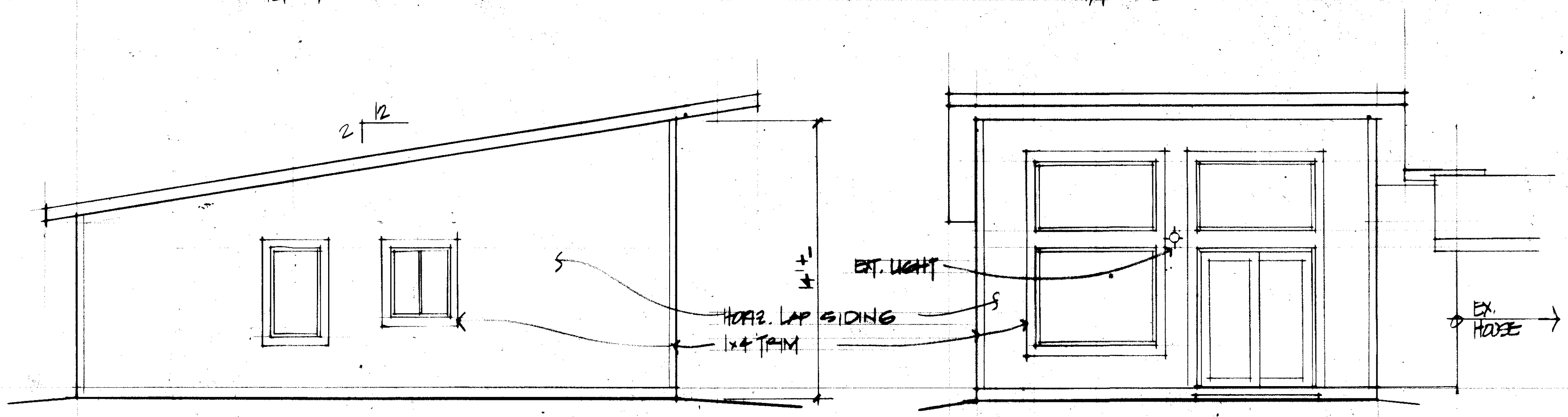


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NORTH ELEVATION

EAST ELEVATION



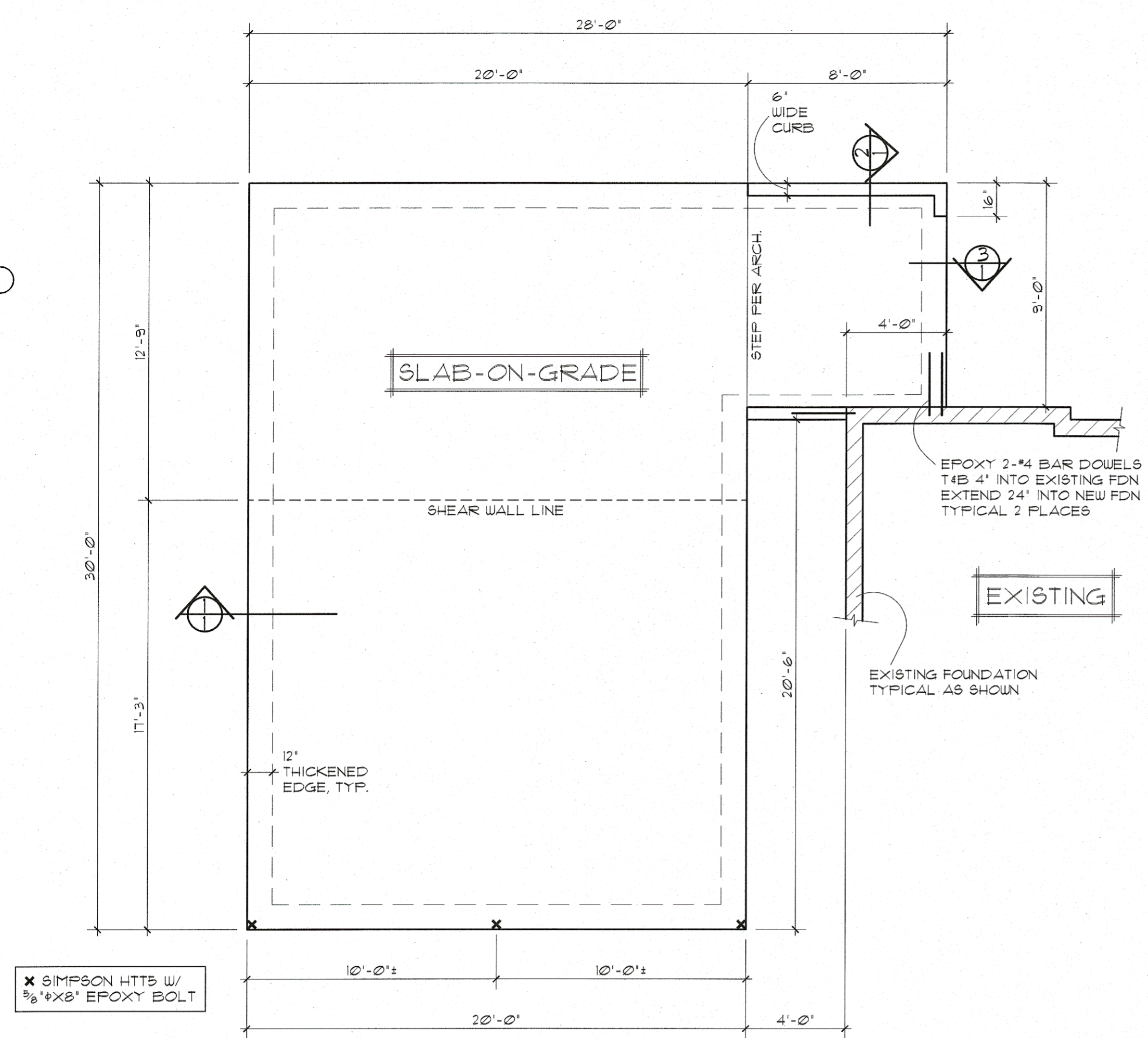
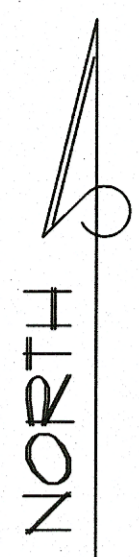
WEST ELEVATION

SOUTH ELEVATION

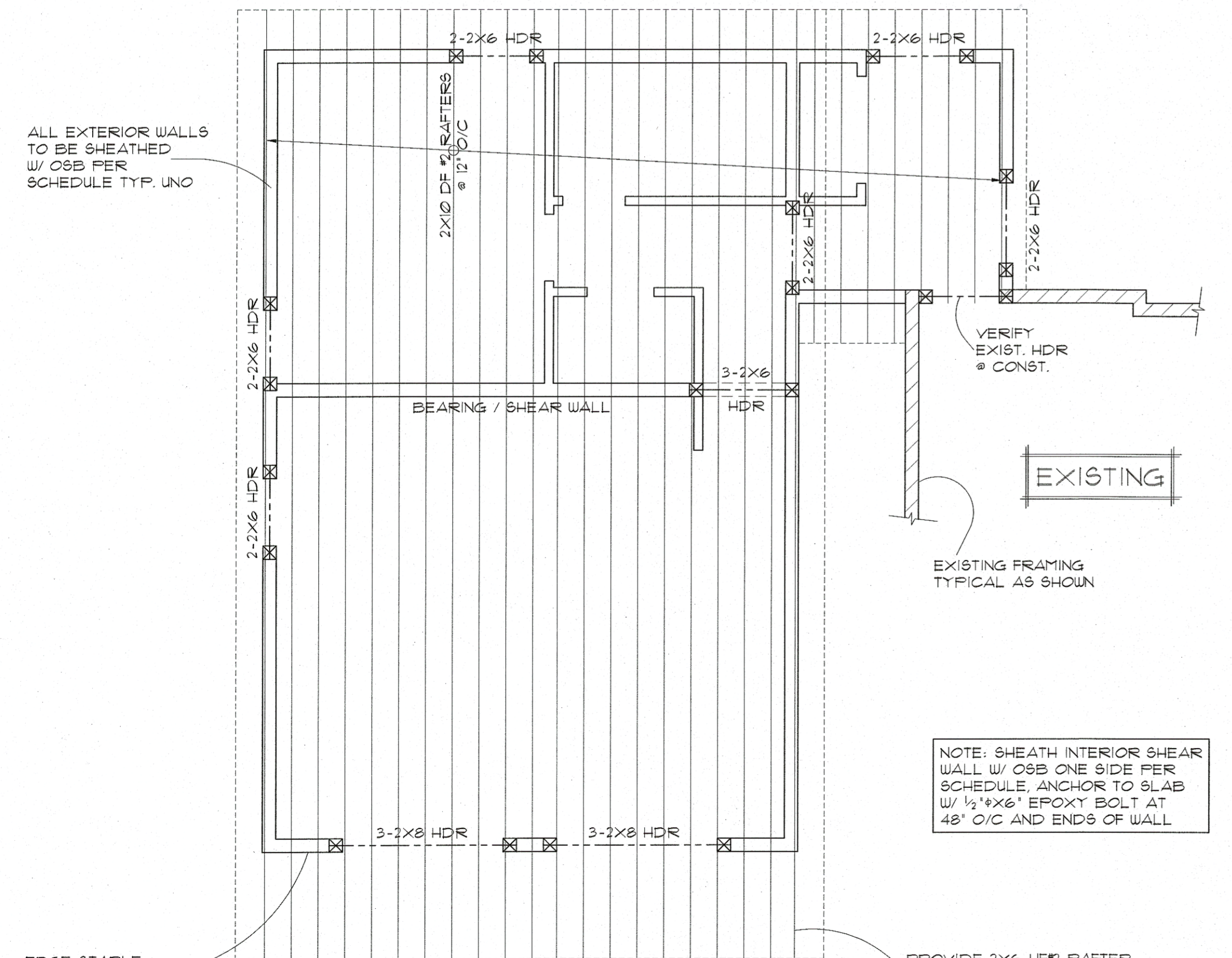
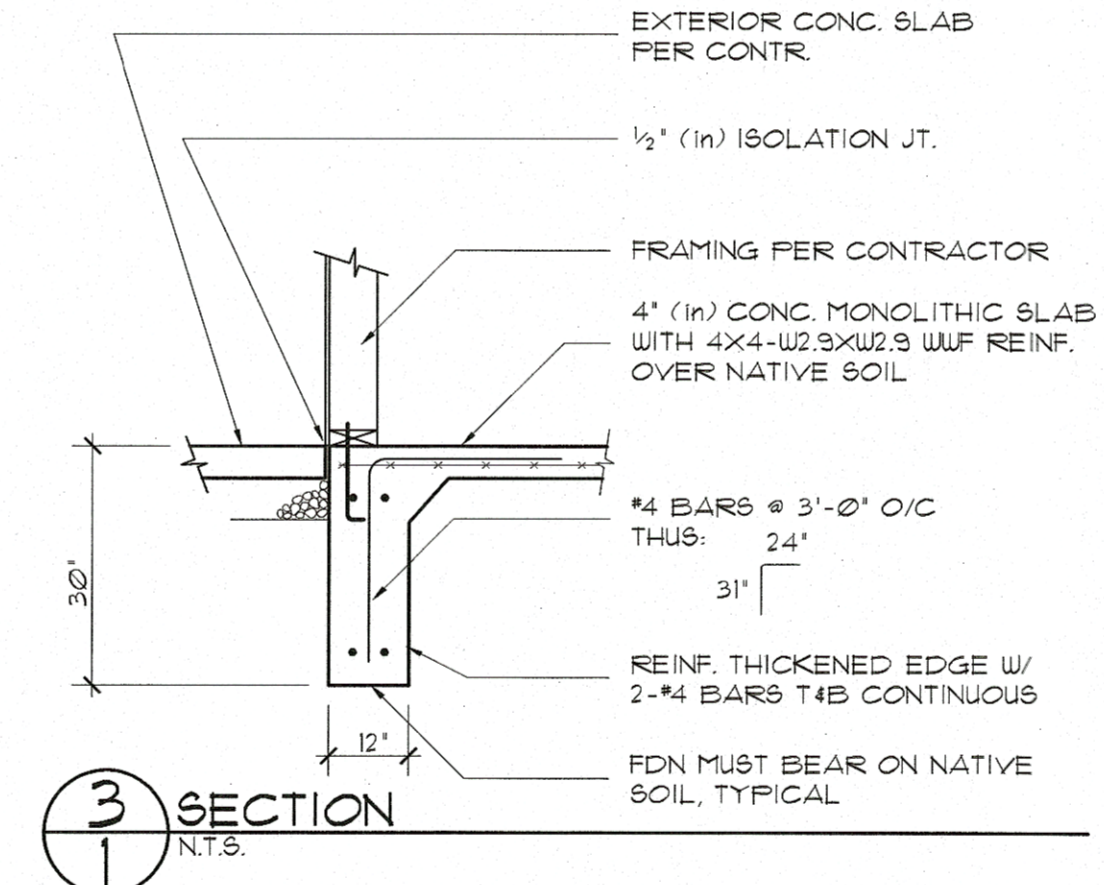
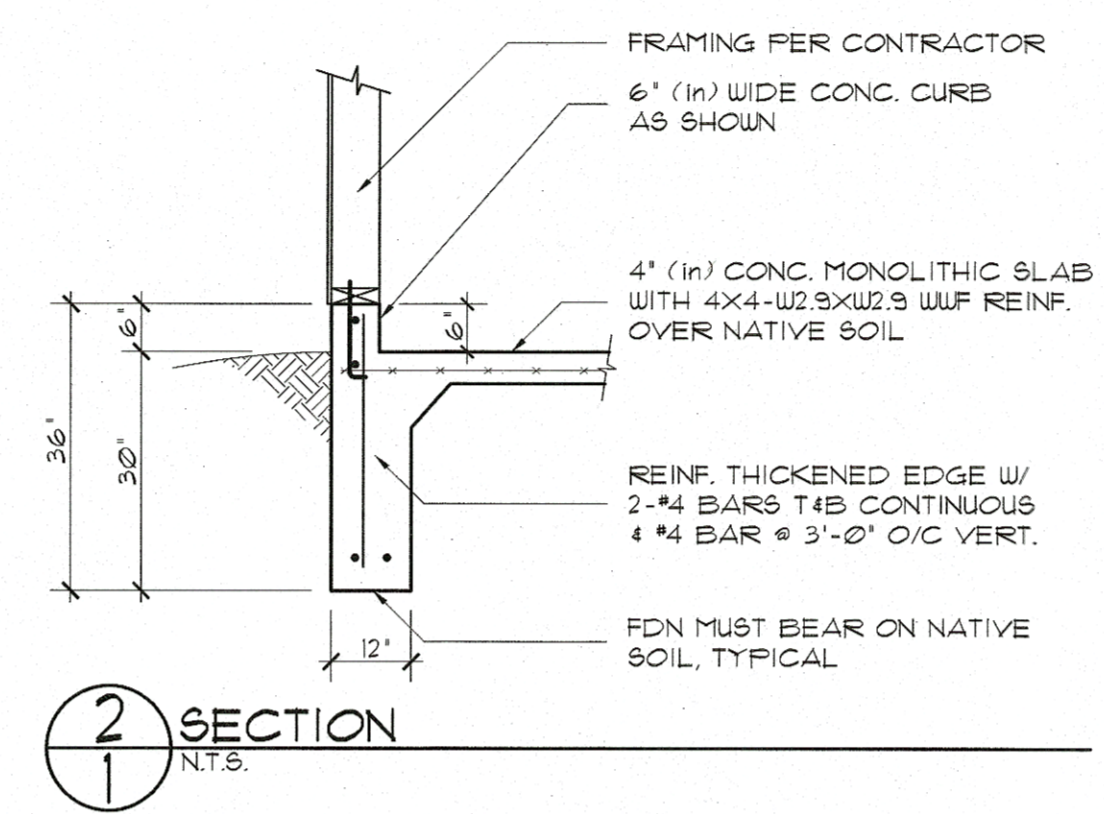
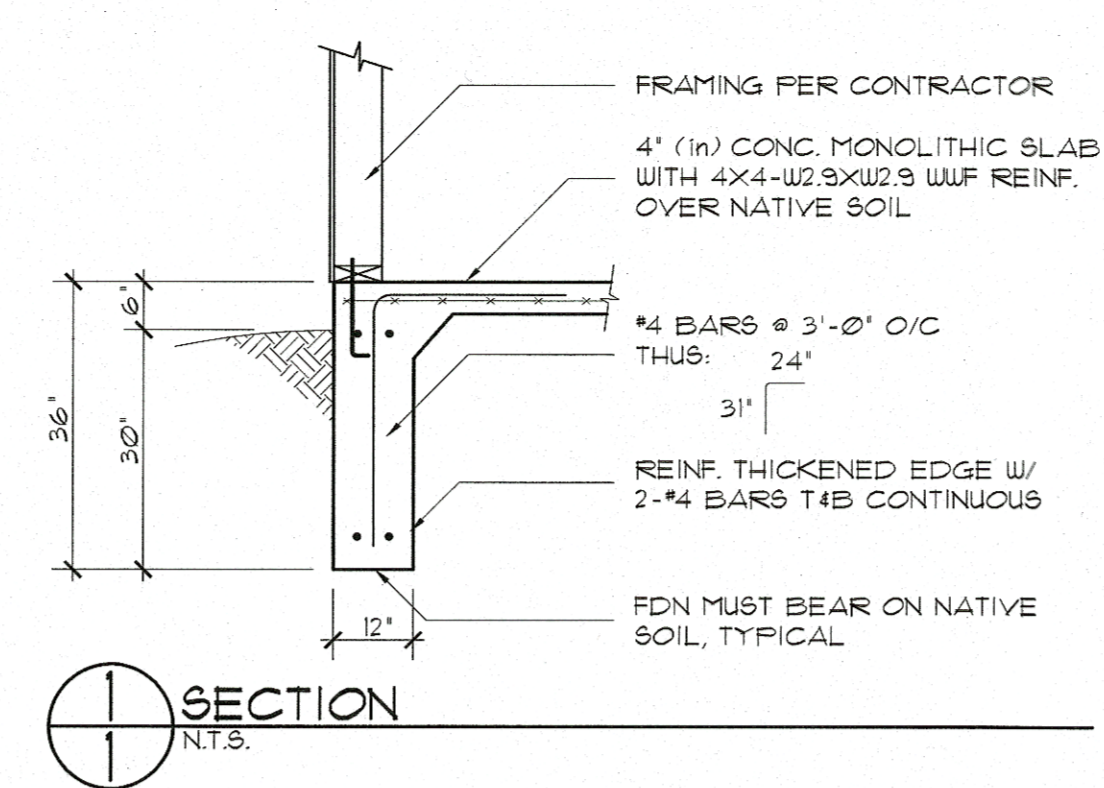
MIKE DALEY, ARCHITECT  
BOX 300  
ALLENSTOWN, CO 80510  
303-710-1874

KOEPKE ADDITION  
503 PETERSON  
FT. COLLINS, CO 80524  
MARK KOEPKE 410-564-9729





**FOUNDATION PLAN**



**ROOF FRAMING PLAN**

**MINIMUM ROOF SHEATHING**  
 1/8" C-D, 24/16 SFAN RATING, BLOCKED AT BRG WALLS, 8d COMMON NAIL OR 14GA STAPLE @ 4" O/C EDGE & @ 12" O/C FIELD, SHEATHING PERPENDICULAR TO FRAMING W/ STAGGERED JOINTS

**MINIMUM WALL SHEATHING**  
 1/8" RATED OSB SHEATHING, 14GA STAPLE @ 6" O/C EDGE & @ 12" O/C FIELD, BLOCK ALL EDGES, TYPICAL UNO

**HEADER, TRIMMER AND KING STUD NOTES:**  
 UNLESS NOTED OTHERWISE ON THIS PLAN, THE MINIMUM REQUIRED HEADER SIZE SHALL BE PER THE TYPICAL HEADER SCHEDULE.

**TRIMMER STUDS:**  
 THE MINIMUM NUMBER OF TRIMMER STUDS REQUIRED AT EACH END OF EACH HEADER SHALL BE AS FOLLOWS:

OPENING SIZE: 1'-3" - 4'-3" (1) TRIMMER STUD, EACH END OF HEADER  
 OPENING SIZE: 4'-4" - 9'-3" (2) TRIMMER STUD, EACH END OF HEADER  
 OPENING SIZE: 9'-4" - 10'-3" (3) TRIMMER STUD, EACH END OF HEADER

**KING STUDS:**  
 UNLESS NOTED OTHERWISE THE MINIMUM NUMBER OF FULL HEIGHT KING STUDS REQUIRED AT EACH END OF EACH HEADER SHALL BE DETERMINED AS FOLLOWS:

DIVIDE THE ROUGH OPENING (RO) DIMENSION (IN INCHES) BY 10, THEN DIVIDE THAT NUMBER BY 2, ROUND UP TO THE MINIMUM NUMBER OF KING STUDS REQUIRED EACH SIDE OF HEADER.

(RO/10)/2 = NUMBER OF KING STUDS EACH SIDE

**GENERAL NOTES AND SPECIFICATIONS**

CODES: All work shall conform to the International Residential Code for One and Two Family Dwellings (IRC - 2021) with local amendments and/or the International Building Code (IBC - 2021) with local amendments, as required by the governing municipal/county and/or Paper Association/American Council National Design Specification (NDS) ASD/LRFD, and portions of the latest editions of the American Concrete Institute (ACI) AC308, AC308.1, AC308.2, AC308.3, AC308.4, AC308.5, AC308.6, AC308.7, AC308.8, AC308.9, AC308.10, AC308.11, AC308.12, AC308.13, AC308.14, AC308.15, AC308.16, AC308.17, AC308.18, AC308.19, AC308.20, AC308.21, AC308.22, AC308.23, AC308.24, AC308.25, AC308.26, AC308.27, AC308.28, AC308.29, AC308.30, AC308.31, AC308.32, AC308.33, AC308.34, AC308.35, AC308.36, AC308.37, AC308.38, AC308.39, AC308.40, AC308.41, AC308.42, AC308.43, AC308.44, AC308.45, AC308.46, AC308.47, AC308.48, AC308.49, AC308.50, AC308.51, AC308.52, AC308.53, AC308.54, AC308.55, AC308.56, AC308.57, AC308.58, AC308.59, AC308.60, AC308.61, AC308.62, AC308.63, AC308.64, AC308.65, AC308.66, AC308.67, AC308.68, AC308.69, AC308.70, AC308.71, AC308.72, AC308.73, AC308.74, AC308.75, AC308.76, AC308.77, AC308.78, AC308.79, AC308.80, AC308.81, AC308.82, AC308.83, AC308.84, AC308.85, AC308.86, AC308.87, AC308.88, AC308.89, AC308.90, AC308.91, AC308.92, AC308.93, AC308.94, AC308.95, AC308.96, AC308.97, AC308.98, AC308.99, AC308.100.

SOILS: This plan is based upon the Soils Report by: Assumed Values, Verify with Geotechnical Engineer at Construction Fluid Pressure 35 psf

Spread Footing Requirements  
 Upper Soils, Lower Soils,  
 Max. Brg = 1500 psf, Max. Brg = N/A psf  
 Min. DL = 10 psf, Min. DL = 10 psf

It is recommended that an open hole observation be performed by a qualified geotechnical engineer. Open hole observations are important to verify the exposed soils conditions are consistent with those described in the soils report referenced above. Soils conditions inconsistent with the soils report may require additional evaluation by the geotechnical engineer and may require a foundation redesign, and shall be brought to the attention of the structural engineer by the contractor/owner prior to placement of any concrete. All footings, pads or piers shall bear a minimum of 30" (in) below grade, or deeper as required per local code, and shall bear upon undisturbed native soils or structural fill acceptable to the geotechnical engineer. All recommendations contained in the soils report pertaining to backfill, drainage, etc. shall be incorporated into the design/construct of this project by the contractor/owner. The need for and extent of foundation drainage systems shall be determined by the geotechnical engineer at the open hole observation and shall be installed per the soils report or other recommendations unless noted otherwise (UNO). All floor systems shall be in place prior to backfilling against any foundation wall. As an alternative, the contractor/owner may choose to adequately brace the foundation walls prior to backfilling. Damp-proofing on the exterior face of the foundation walls prior to backfilling is recommended for all below grade habitable living areas. Backfill shall be compacted per the above referenced soils report and graded to provide adequate drainage away from the foundation. Backfill shall not be water settled. Backfill adjacent to the foundation should be expected to settle over time and should be monitored and maintained to provide adequate drainage away from the foundation.

DESIGN LOADINGS: This plan is based upon the following load parameters. It is the responsibility of the contractor/owner to notify the Engineer if loads exceed those listed.

Roof Live Load = 30 psf, Roof Dead Load = 15 psf, Ground Snow Load = 35 psf  
 Floor Live Load = 40 psf, Floor Dead Load = 10 psf  
 Wind Exposure = B, Vult = 140 mph  
 Seismic Zone B, Site Class N/A

STRUCTURAL STEEL: Steel Wide Flange Beams (W), Channels (C or MC), Angles (L), Plates (E) and other miscellaneous shapes shall conform to ASTM A36, Steel Tube Shapes (TS or HSS) shall conform to ASTM A500, Grade B. Any welding shall be in accordance with all applicable codes and shall be performed by a certified welder.

ADJUSTABLE STEEL COLUMNS: All adjustable steel columns shall be 3" (in) or 3-1/2" (in) diameter unless noted otherwise on this plan. All 3" (in) diameter adjustable steel columns shall be minimum 11 gauge and shall be rated for a minimum safe allowable load of 14 kips for columns up to 8'-0" in height, and 12.5 kips for columns up to 9'-0" in height. All 3-1/2" (in) diameter adjustable steel columns shall be ASTM A513, Grade B, schedule 40 and shall be rated for a minimum safe allowable load of 36 kips for columns up to 10'-0" in height. All adjustable steel columns shall have exposed thread (1" (in) minimum to 3" (in) maximum) unless noted otherwise on the plan. Any non-adjustable steel columns that are substituted for adjustable steel columns shall have a diameter and minimum safe allowable load equal to or greater than the specified column. The structural engineer should be consulted for any column substitutions.

CONCRETE: All concrete shall utilize Type II cement (UNO in the soils report) with 6% ± 1% air entrainment and a minimum 28 day compressive strength of 3000 psi, and shall be proportioned in accordance with the applicable requirements of the above referenced ACI codes. All reinforcing bars shall be ASTM A615 or A706 deformed grade 60 steel, except for #4 ties and stirrups which may be deformed grade 40 steel. Only reinforcing which meets the requirements of ASTM A106 may be welded, and must be welded in accordance with all applicable codes by a certified welder.

CONCRETE SLABS-ON-GRADE: A slab-on-grade if shown on the plan does not constitute a slab-on-grade recommendation for this project. Slabs-on-grade are not recommended for habitable living spaces placed upon expansive soils. The type of floor construction and potential risks should be discussed between the contractor/owner and the appropriate geotechnical engineer. Slabs shall be isolated from grade beams, columns, piling, and other support structures by use of minimum 1/2" (in) isolation joint material. See the soils report referenced above for other slab-on-grade specifications. Provide minimum 1-1/2" (in) void space between all interior partition walls and the floor slab-on-grade unless noted otherwise on the plan or in the soils report. The partition void space shall be monitored and maintained throughout the life of the structure. Any areas with slab-on-grade construction, placed upon potentially expansive soils, should not be finished for a minimum of 3 years after substantial completion of the construction, or if evidence of active soil movement is apparent. Exterior slabs such as patios, porches, driveways, etc. shall not be dowelled into the foundation when placed over expansive soils. We recommend any new or future owners of this property be provided a copy of "A Guide to Swelling Soils for Colorado Home Buyers and Home Owners", from the Colorado Geological Survey, Special Publication #43.

ANCHOR BOLTS: Anchor bolts shall conform to ASTM F1554 Grade 36 with a minimum 1/2" (in) diameter and a 12" (in) minimum length. Anchor bolts shall be placed within 12" (in) from building corners and/or splices in the sill plates, and shall be spaced at a maximum of 4'-0" on center along the plate line, centered. Additional anchor bolt details shall be in accordance with the plan and/or the applicable codes.

WOOD PRODUCTS: All wood products where noted on the plan, or as specified in the applicable codes, shall meet the more restrictive specifications for their application. Contact the structural engineer if clarification is needed.

DIMENSIONAL LUMBER: All Dimensional Lumber specified on the plan shall be Hem-Fir (HF) No. 2 or better, unless noted otherwise on the plan or in the applicable codes, and is intended for dry use unless it has been Pressure Treated (PT) with an acceptable preservative solution. Multiple member connections shall be a minimum of two led nails at 12" (in) on center (O/C) unless noted otherwise on the plan.

LAMINATED VENEER LUMBER: All Laminated Veneer Lumber (LVL) specified on the plan shall have a minimum allowable Flexural Stress (Fb) of 2600 psi, a minimum Modulus of Elasticity (E) of 1,800,000 psi, and is intended for dry use only. Multiple member connections shall be per the manufacturer recommendations unless noted otherwise on the plan.

GLUED LAMINATED LUMBER: All Glued Laminated Lumber (GL) specified on the plan shall have a minimum allowable Flexural Stress (Fb) of 2400 psi, a minimum Modulus of Elasticity (E) of 1,800,000 psi, and is intended for dry use unless it has been pressure treated with preservative or manufactured from preservative-treated or naturally durable wood such as Alaska yellow cedar or Fort Orford cedar. All specifications are for Western Species Lumber with 1/2" (in) laminations.

GLUE ADHESIVES: All Glue Adhesives specified on the plan for wood to wood applications shall be Liquid Nail LN-302, 'Adhesives for Subfloors and Heavy Duty Construction', or equivalent. All Glue Adhesives for wood to steel application shall be Liquid Nail LN-325, 'Adhesives for Steel and Metal Framing', or equivalent. All Glue Adhesive applications shall have evident squeeze-out at the edges of the materials being glued together.

INSTALLATION OF BEAMS: Minimum beam bearing at wood framed walls shall be the full beam width by 3-1/2" (in) unless noted otherwise on the plan. Minimum beam bearing at concrete walls shall be the full beam width by 3" (in) unless noted otherwise on the plan. Minimum beam bearing shall also be per applicable codes and manufacturer's recommendations. Girder Truss minimum bearing shall be per the truss manufacturer unless noted otherwise on the plan.

LIMITATIONS: This plan includes design for:  Foundation,  Above grade framing and lateral loading

This plan may include limited vertical structural design recommendations for gravity loads listed, which may include beams, headers, joists, etc. as may be applicable to this project, as requested by the contractor/owner. Any other framing requirements not shown on this plan shall be the responsibility of the contractor/owner. All framing connections shall be in accordance with the conventional construction requirements of the IRC, UBC, applicable regulatory agencies, and adopted standards and codes. It is the contractor/owner's responsibility to verify and coordinate all dimensions prior to construction. Brick ledges, foundation steps, nests, beam pockets, basement windows, utilities, etc. may or may not be shown, verify all such items with contractor/owner prior to placement of concrete. This foundation plan is based on the contractor/owner furnished information and plans, and the above referenced specifications. Any discrepancies or changes shall be brought to the attention of the structural engineer. Any crawl space or structural floor cavity shown on this plan does not include provisions for the control of mold growth or moisture levels, those spaces should be adequately ventilated in accordance with applicable codes and accepted standards. Environmental control provisions for all areas are the responsibility of the contractor/owner. This plan and all associated work performed by the structural engineer shall remain the property of Advanced Engineering, LLC and may not be used by any other entity without written consent. Contact the structural engineer if clarifications or any alternate recommendations are needed.

VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.  
 CONSULT GEOTECHNICAL ENGINEER FOR THE OPEN HOLE OBSERVATION.



**ADVANCED ENGINEERING, LLC**  
 STRUCTURAL ENGINEERING, DRAFTING  
 229 12TH STREET SW, LOVELAND, COLORADO 80537  
 TELEPHONE 970-278-1909

**MARK KOEPKE**  
 523 PETERSON STREET, FORT COLLINS, COLORADO  
 CPH/KML 5/13/24 REVISED PER CLIENT

PROJECT NUMBER: 4687-01-01B  
 DATE: 4/8/24  
 SCALE: 1/4" = 1'-0"  
 CPH/KML  
 JEB

SHEET NUMBER: 1 OF 1



**From:** [Mark Koepke](#)  
**To:** [Historic Preservation](#)  
**Subject:** [EXTERNAL] 523 Peterson - Permit # B2403674  
**Date:** Thursday, June 13, 2024 9:32:35 AM

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Yani:

In order to keep the photos and all my responses to your questions in one email, I'm sending you the original four pictures along with the following:

- 1) For the horizontal lap siding we plan to use cement board (James Hardie)
- 2) For the windows we plan to use fiberglass or metal
- 3) The doors will be metal
- 4) There are NO decorative elements planned for the addition that are not shown on the plan.

Hopefully, the pictures below and the answers above will provide you with everything you need from us to generate your required report.

If you need anything else, please shoot me back an email or feel free to call me at 410-564-9729.

Thanks.

Mark Koepke

----- Forwarded Message -----

**From:** MARK KOEPKE <mdkoepke@verizon.net>  
**To:** Historic Preservation <preservation@fcgov.com>  
**Sent:** Wednesday, June 12, 2024 at 06:51:56 PM MDT  
**Subject:** 523 Peterson - Permit # B2403674

Yani:

It was very nice meeting you earlier today.

Below please find pictures from the four sides of the existing house at 523 Peterson, as you requested.

If you don't object, I will address your other three questions in a separate follow-up email.

Sincerely,

Mark Koepke  
Permit # B2403674



523











