



**Historic Preservation Services**  
Community Development & Neighborhood Services  
281 N. College Ave.  
Fort Collins, CO 80524  
970.224.6078  
[preservation@fcgov.com](mailto:preservation@fcgov.com)  
[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

**CERTIFICATE OF APPROPRIATENESS**

**ISSUED: July 11, 2024**

**EXPIRATION: July 11, 2025**

Chris Reid and Rosemary Davenport  
c/o Jeffrey J. Schneider, Armstead Construction  
PO Box 330  
LaPorte, CO 80535

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the E.J. Gregory Property at 215 Whedbee St., have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) 280 square-foot garage addition to historic garage
- 2) Historic garage repair of outswing doors and painting
  - a. *If you are unsure of the type of the existing paint (water-based or oil-based), be sure to either test the paint to determine its type or use an oil-based primer prior to applying the paint. Oil-based and water-based (latex) paints do not adhere well to each other, and so if they are applied directly to each other, it can cause bubbling/peeling.*

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at 970-224-6078.

Sincerely,

Yani Jones, Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p><b>This garage addition project will not alter the residential use of this historic property.</b></p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p><b>Also a contributing resource in the Laurel School Historic District on the National Register of Historic Places, the E.J. Gregory Property, including a historic house, garage, and outbuilding, is also a local Landmark significant for its architecture.</b></p> <p><b>Because this addition will be on a secondary historic structure on this property and because it is compatible with the design of this property’s historic structures, the character of property is retained. Although the addition will be set somewhat closer to the line of the alley than the historic garage, this siting choice was influenced by the situation of the existing garage 11 feet from the alley and the location of trees on site. In part because the historic garage maintains a more substantial presence along the alley in terms of width, the addition does not overwhelm the historic garage despite its closer location to the alley. Additionally, because this addition project will not include any penetrations into the existing building, the removal of distinctive materials and features is avoided.</b></p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p><b>Because this garage addition is distinct from the historic garage it will be attached to, it will not create a false sense of historical development, and so this Standard is met.</b></p>	Y
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	N/A

<b>SOI #5</b>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p><b>The existing historic garage will be painted, have its outswing doors repaired to restore their usability and the modifications to the roof to tie the existing structure in with the new addition are minor. Such repairs and minor alterations will not disrupt distinctive materials, features, finishes, and construction techniques characteristic of this historic garage.</b></p>	<b>Y</b>
<b>SOI #6</b>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	<b>N/A</b>
<b>SOI #7</b>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<b>N/A</b>
<b>SOI #8</b>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p><b>The applicant is advised of this Standard. Should any archaeological resources be uncovered during the excavation needed for the garage addition, the applicant shall contact Historic Preservation Services immediately for assistance at <a href="mailto:preservation@fcgov.com">preservation@fcgov.com</a> and/or 970-224-6078.</b></p>	<b>Y</b>

<p><b>SOI #9</b></p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p><b>Again, because there will not be any penetrations into the historic garage from the garage addition, because the roof tie in will not substantially alter the roof of the historic garage, and because repair rather than replacement is proposed for the work being done on the outswing doors on the existing structure, historic materials characteristic of the property will be preserved during this project.</b></p> <p><b>Additionally, the proposed addition is sufficiently differentiated from the historic structures on site and is also compatible with the historic property. The garage addition design intentionally mirrors the design of another recent addition on the historic house in its stucco material, and it also includes some modern materials to further differentiate it as modern construction, such as the modern overhead garage door, which is distinct from the historic garage’s outswing garage doors. At the same time, there are visual references to the house through details such as the imbricated shingles in the gable end and the paint color choices. Additionally, the simple rectangular footprint and the gabled roof type and slope reference the historic garage. The alignment of the stucco trim band on the addition with the level of the eave on the historic garage, and the unity in paint scheme, provide visual continuity between the historic garage and its addition as well. Although the addition will be taller than the existing garage, it is still within a reasonable scale that does not visually overwhelm the historic garage in part because the width of the addition’s alley-facing elevation is less wide than that of the historic garage.</b></p> <p><b>For all of these reasons, this Standard is met.</b></p>	<p><b>Y</b></p>
<p><b>SOI #10</b></p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p><b>Because the garage addition will not remove historic wall materials or other distinctive materials from the historic garage, this addition could be removed with little impact to the historic structure, should that be desired in the future.</b></p>	<p><b>Y</b></p>





# Design Review Application Historic Preservation Division

Fill this form out for all applications regarding designated historic buildings within the city limits of the City of Fort Collins. Review is required for these properties under Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

## Applicant Information

Applicant's Name	Daytime Phone	Evening Phone
Mailing Address (for receiving application-related correspondence)	State	Zip Code
Email		
<b>Property Information</b> (put N/A if owner is applicant)		

Owner's Name	Daytime Phone	Evening Phone
Mailing Address (for receiving application-related correspondence)	State	Zip Code
Email		

## Project Description

Provide an overview of your project. Summarize work elements, schedule of completion, and other information as necessary to explain your project.

- The following attachments are REQUIRED:**
- Complete Application for Design Review
  - Detailed Scope of Work (and project plans, if available)
  - Color photos of existing conditions

Reminders:  
Complete application would need all of checklist items as well as both pages of this document.

Detailed scope of work should include measurements of existing and proposed.

*Please note: if the proposal includes partial or full demolition of an existing building or structure, a separate demolition application may need to be approved.*

*Additional documentation may be required to adequately depict the project, such as plans, elevations, window study, or mortar analysis. If there is insufficient documentation on the property, the applicant may be required to submit an intensive-level survey form (at the applicant's expense).*

**Detail of Proposed Rehabilitation Work (\*Required)**

If your project includes multiple features (e.g. roof repair and foundation repair), you must describe each feature separately and provide photographs and other information on each feature.

<b>Feature A Name:</b>	
Describe property feature and its condition:	Describe proposed work on feature:
<b>Feature B Name:</b>	
Describe property feature and its condition:	Describe proposed work on feature:

Use Additional Worksheets as needed.

## Required Additional information

The following items must be submitted with this completed application. Digital submittals preferred for photographs, and for other items where possible.

- At least one current photo for each side of the house. Photo files or prints shall be named/labeled with applicant name and elevation. For example, smitheast.jpg, smithwest.jpg, etc. If submitted as prints, photos shall be labeled
- Photos for each feature as described in the section "Detail of Proposed Rehabilitation Work." Photo files or prints shall be named or labeled with applicant name and feature letter. For example, smitha1.jpg, smitha2.jpg, smithb.jpg, smithc.jpg, etc.

Depending on the nature of the project, one or more of the following items shall be submitted. Your contractor should provide these items to you for attachment to this application.

- Drawing with dimensions.
- Product specification sheet(s).
- Description of materials included in the proposed work.
- Color sample(s) or chip(s) of all proposed paint colors.

**Partial or full demolition** is a part of this project.

Partial demolition could include scopes such as taking off existing rear porches to create space for a new addition or removing an existing wall or demolishing a roof. If you are taking away pieces of the existing residence, you are likely undergoing some partial demolition.

\_\_\_\_\_  
Signature of Owner

\_\_\_\_\_  
Date





215 Whedbee Street Detached Garage Addition:

Rehabilitation work to the existing garage:

- We will be removing, repairing, and reinstalling the existing wood doors to stiffen them up and make them functional. We will use the same wood and not change the exterior design to strengthen the doors. We will reuse all of the existing hardware if reasonable to reinstall the repaired doors.

Property Features for the new addition:

- We will be using a hard coat stucco to match the existing home addition for texture and color (see picture).
- We will be installing new fish scale gable features to match the design and color of the home addition (see picture).
- We will be painting the existing wood siding to match the color of the stucco.
- We will be installing new asphalt shingles to match the existing garage roof for style and color for the new garage addition.
- The new exterior man doors will be Therma Tru smooth star fiberglass doors to be painted to match the existing home for colors and details.
- The new garage door will be a Raynor Garage door model number AP138 or a 12' x 7' flush white door with no glass.
- The one exterior window that faces the alley will be a Anderson E-Series to be prefinished white aluminum clad frame.
- The exterior stair case to the storage room above the garage is to be finished with treated wood to match the existing home and style.





















## BUILDING PERMIT APPLICATION

<b>APPLICATION NUMBER:</b>	<small>FOR OFFICE USE</small>
<b>APPLICATION DATE:</b>	

**Job Site Address** 215 Whedbee Street **Unit#** \_\_\_\_\_

**PROPERTY OWNER INFO: (All owner information is required – NOT optional)**

Last Name Reid First Name Chris Middle \_\_\_\_\_

Street Address 215 Whedbee Street City Ft. Collins State CO Zip 80524

Phone # 970-443-2704 Email cjreid7@gmail.com

Name of Business (COMMERCIAL USE ONLY) \_\_\_\_\_

**CONTRACTOR INFO:** Company Name Armstead Construction, Inc.

License Holder Name Jeffrey J. Schneider LIC # D-362 CERT # 2286-D1

**LEGAL INFO:**

Subdivision/PUD 10152 - FTC BLK 152 Filing # \_\_\_\_\_ Lot # 1/2 of 3 Block # 152 Lot Sq Ft 9500

**CONSTRUCTON INFO:** Total Building Sq Ft (NOT including basement) \_\_\_\_\_ Total Garage Sq. Ft. 240

Residential Sq Ft \_\_\_\_\_ Commercial Sq Ft \_\_\_\_\_ # of Stories \_\_\_\_\_ Bldg Ht \_\_\_\_\_ # of Dwelling Units \_\_\_\_\_

1st Floor Sq Ft \_\_\_\_\_ 2nd Floor Sq Ft \_\_\_\_\_ 3rd Floor Sq Ft \_\_\_\_\_ Unfinished Basement Sq Ft \_\_\_\_\_

Finished Basement Sq Ft \_\_\_\_\_ # of Bedrooms \_\_\_\_\_ # of Full Baths \_\_\_\_\_

¾ Baths \_\_\_\_\_ ½ Baths \_\_\_\_\_ # Fireplaces \_\_\_\_\_

**ENERGY INFORMATION: (CHECK ONE)**

Prescriptive  Performance  U/Arescheck  ERI  ASHRAE  Component/Comcheck  IDAP

**Air Conditioning?** YES  NO

City of Fort Collins Approved Stock Plan # SPO List Option #s \_\_\_\_\_

**Utilities INFO:**

New Electric Service  Electric Service Upgrade  Electric Meter Relocation

Electric Main Breaker Size (Residential Only): 150 amps or less  200 amps  Other:

Gas  Electric  Electric Temp Pedestal? Yes  No

**ZONING INFO: (COMMERCIAL USE ONLY)**

Proposed Use: (i.e. medical, office, bank, retail, etc.) \_\_\_\_\_

**For Commercial remodels and tenant finishes, please answer the following questions:**

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant  New Tenant

If for a new tenant, is this the first tenant to occupy this space?

Yes  No  If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes  No

If yes, please describe: \_\_\_\_\_

Value of Construction (materials and labor): \$ 105,000.00

Description of Work: add 240 sq foot garage with attic storage above onto the existing detached garage with unconditioned space.

**JOBSITE SUPERVISOR CONTACT INFO:** Name Jeffrey J. Schneider Phone 970-566-9971

**SUBCONTRACTOR INFO:** Electrical Kinetic Electric Mechanical NA

Plumbing NA Framing Armstead Const. Roofing Barclay Roofing

Fireplace NA Solar NA Other NA

**ASBESTOS STATEMENT DISCLOSURE:** *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) \_\_\_\_\_
- An asbestos inspection has not been conducted on this property.

**Applicant:** I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature  Type or Print Name Jeffrey J. Schneider

Phone # 970-472-1113 Email Jeff@armsteadconstruction.com

**THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE**





## New Construction Building Permit Fee Form

Building permit fees are based on Occupancy Category and Square Footage. Occupancy Categories are typically located on the architectural plans for submittal. A summary of each occupancy category is also included in the following pages as well.

### Required for permit submittal - Fill out the following table:

Occupancy Category (See Description of Occupancies Below)	Square Footage	Multiply square foot by cost per square foot.	Cost per Square Foot	Total
A (Assembly)		x	\$0.40	
B (Business)		x	\$0.50	
E (Education/Schools)		x	\$0.50	
F (Factory)		x	\$0.35	
I (Institutional)		x	\$0.50	
M (Mercantile)		x	\$0.40	
R-1 (Hotel)		x	\$0.35	
R-2 (Apartment)		x	\$0.35	
R-3 (Single Family Detached/Duplex)		x	\$0.65	
R-4 (Assisted Living)		x	\$0.55	
S (Storage)		x	\$0.40	
U (Utility)	240	x	\$0.40	96
H High hazard		x	\$0.60	
Core and Shell Buildings (No designated occupancy type at construction)		x	\$0.45	
<b>Total</b>				<b>96</b>

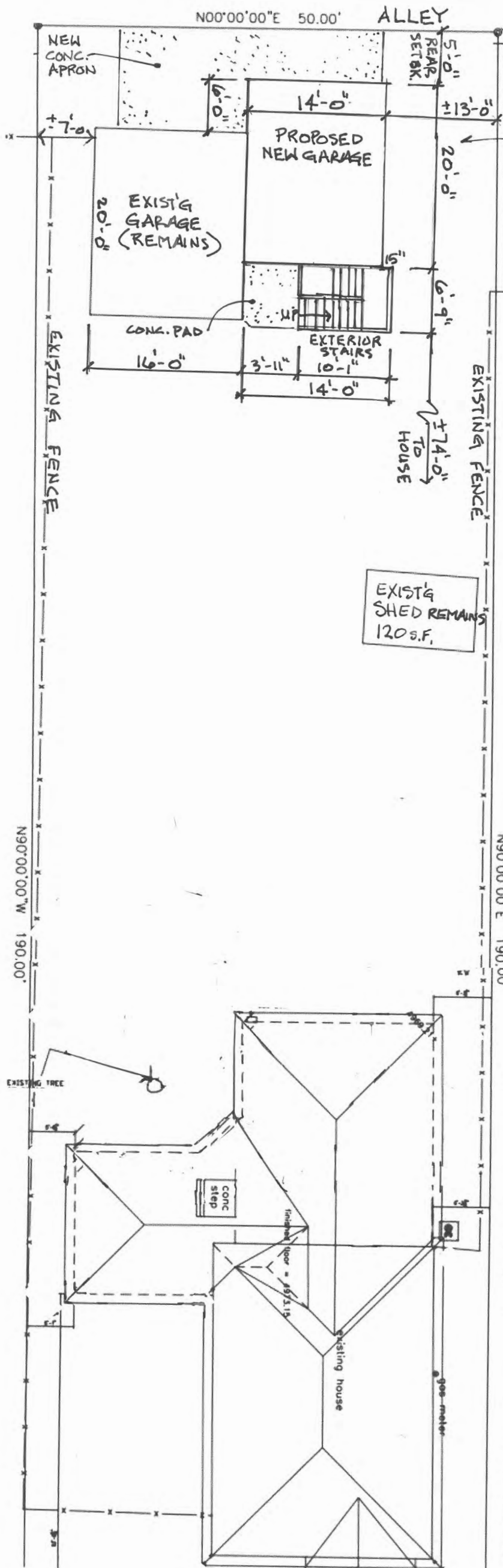
\*\*\*\*Occupancies and fees will be verified at plan review to ensure occupancy categories and square footages are accurate. Fees will be re-assessed if occupancies and square footages do not match plans.\*\*\*\*

**For additions that include interior remodel:** please provide addition square footage above and remodel only valuation here \_\_\_\_\_.

Please note: overall valuation provide on building permit application will be used for taxes only. Remodel only valuation will be used to calculate plan check fee and building permit fee for addition.

### **For New Multi-family buildings fill out the following:**

1. Are there any areas/functions, other than dwelling units in this building (examples: leasing office, gym, community gather areas, storage, garage, facilities office)?
  - Yes - there are other functions/occupancy areas. *Required: list each in the table above*
  - No - only dwelling units
2. Are these other areas/functions/ occupancy types available to the public (examples: public gym or pool, event spaces, store/shops/salons, etc.)?
  - Yes (Mixed Use Building) - there are other occupancies/amenities available to the public.
  - No (Multi-Family Building) - the other occupancies/amenities are only available to the residents of the building.



## SITE PLAN

SC: 1"=20'-0"



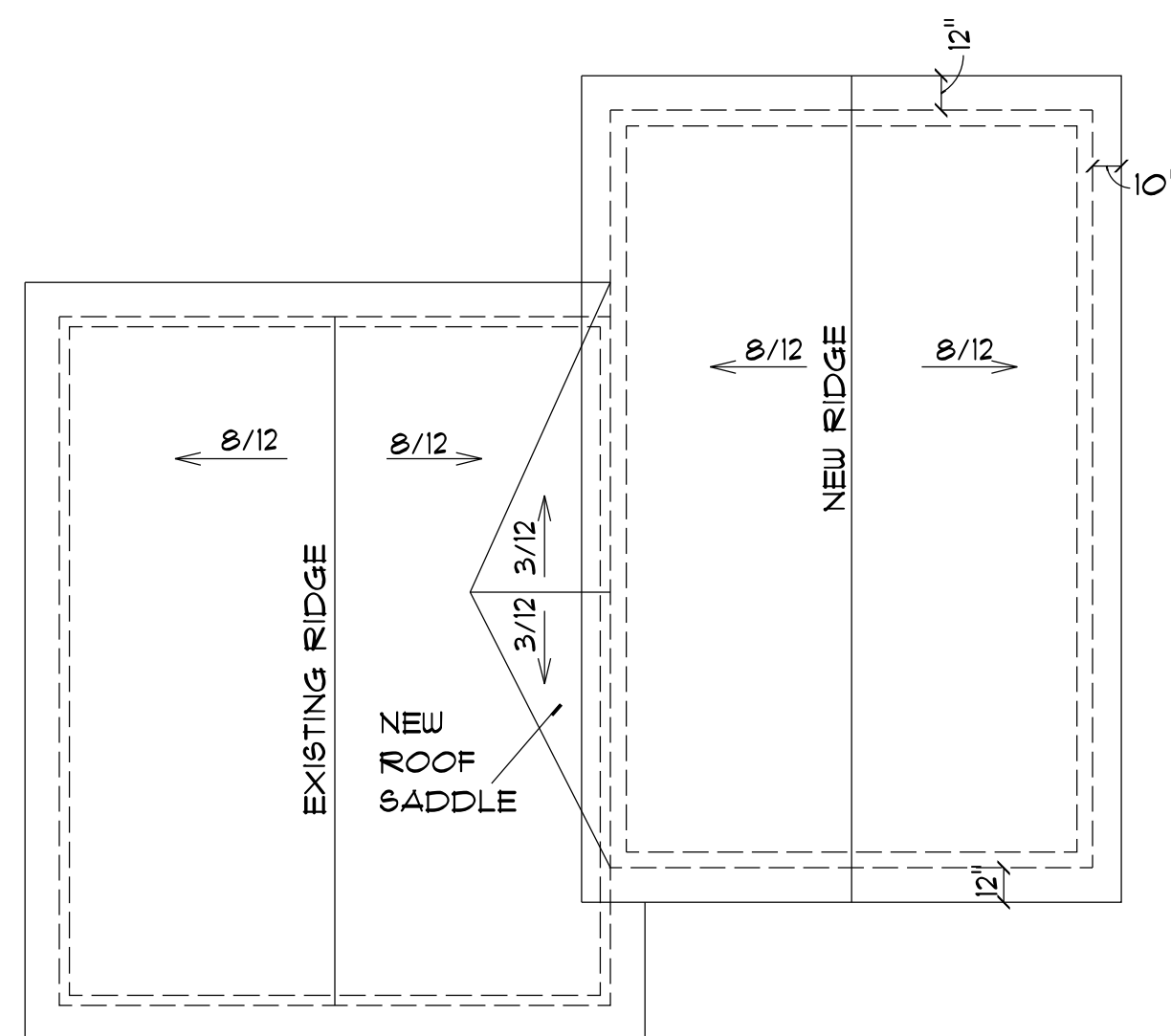
PROPERTY ADDRESS:

215 WHEDBEE ST.  
FORT COLLINS, CO

DATE: 5-17-24

ARMSTEAD CONSTRUCTION INC.  
375 E. HORSETOOTH RD. BLDG 4  
SUITE 102  
FORT COLLINS, COLO 80525  
TEL: (970) 472-1113  
FAX: (970) 472-8313  
Armsteadconstruction.com

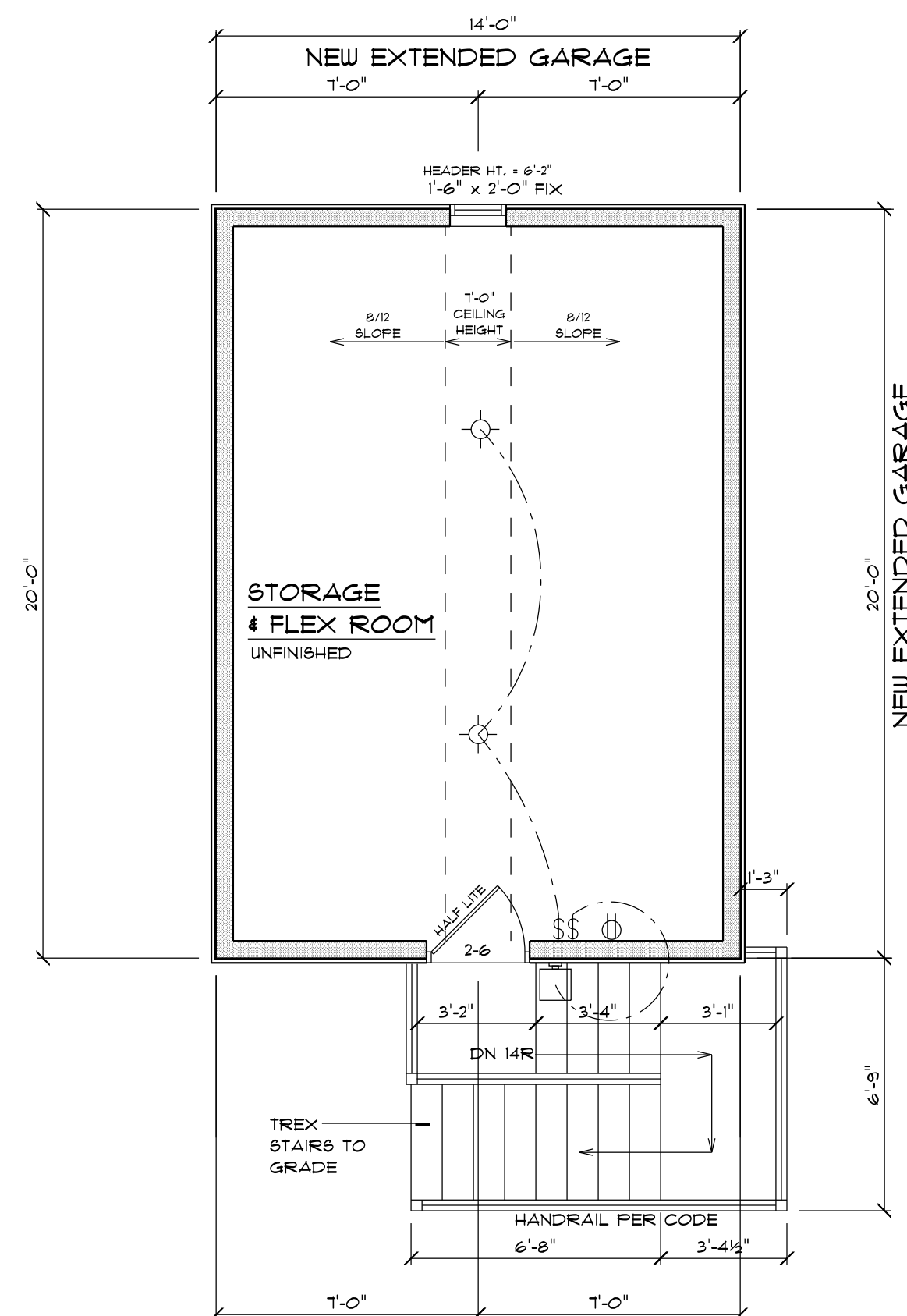




## BIRD'S EYE ROOF PLAN

SCALE: 3/16" = 1'-0"

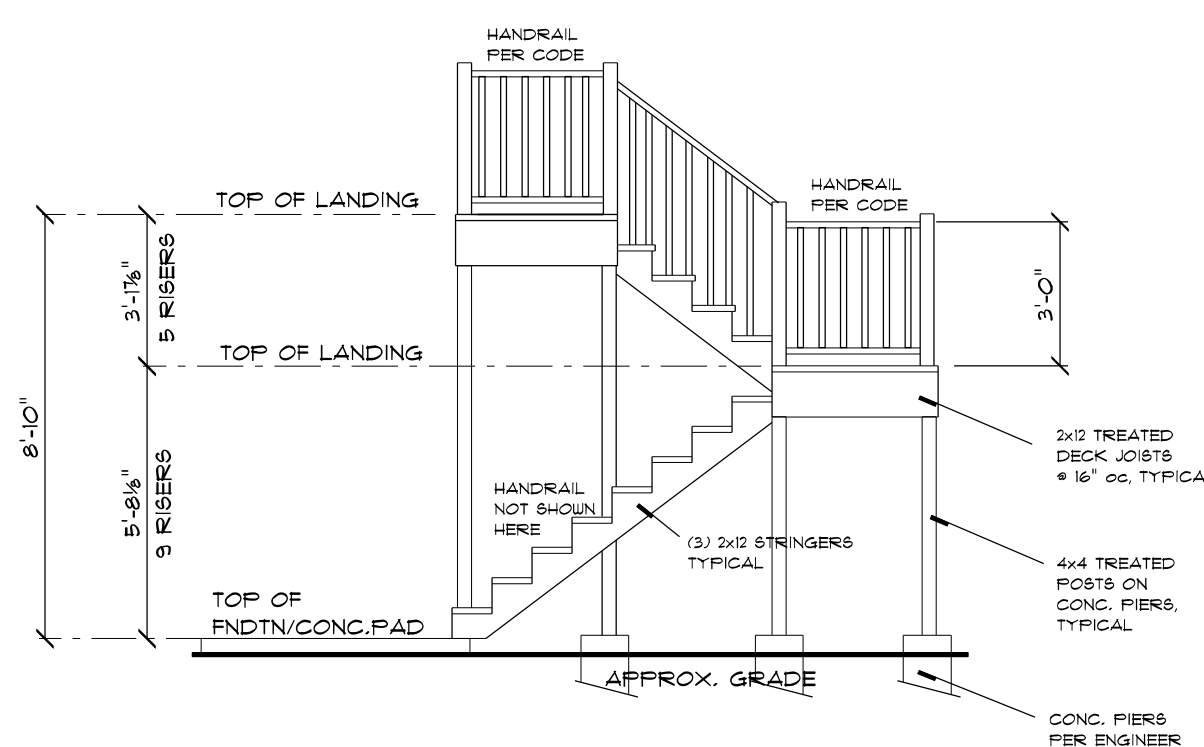
FOR REFERENCE ONLY:  
SEE ENGINEERED DRAWINGS FOR TRUSS SPECS  
AND COMPLETE LAYOUT WITH CONNECTIONS



## STORAGE/FLEX FLOOR PLAN

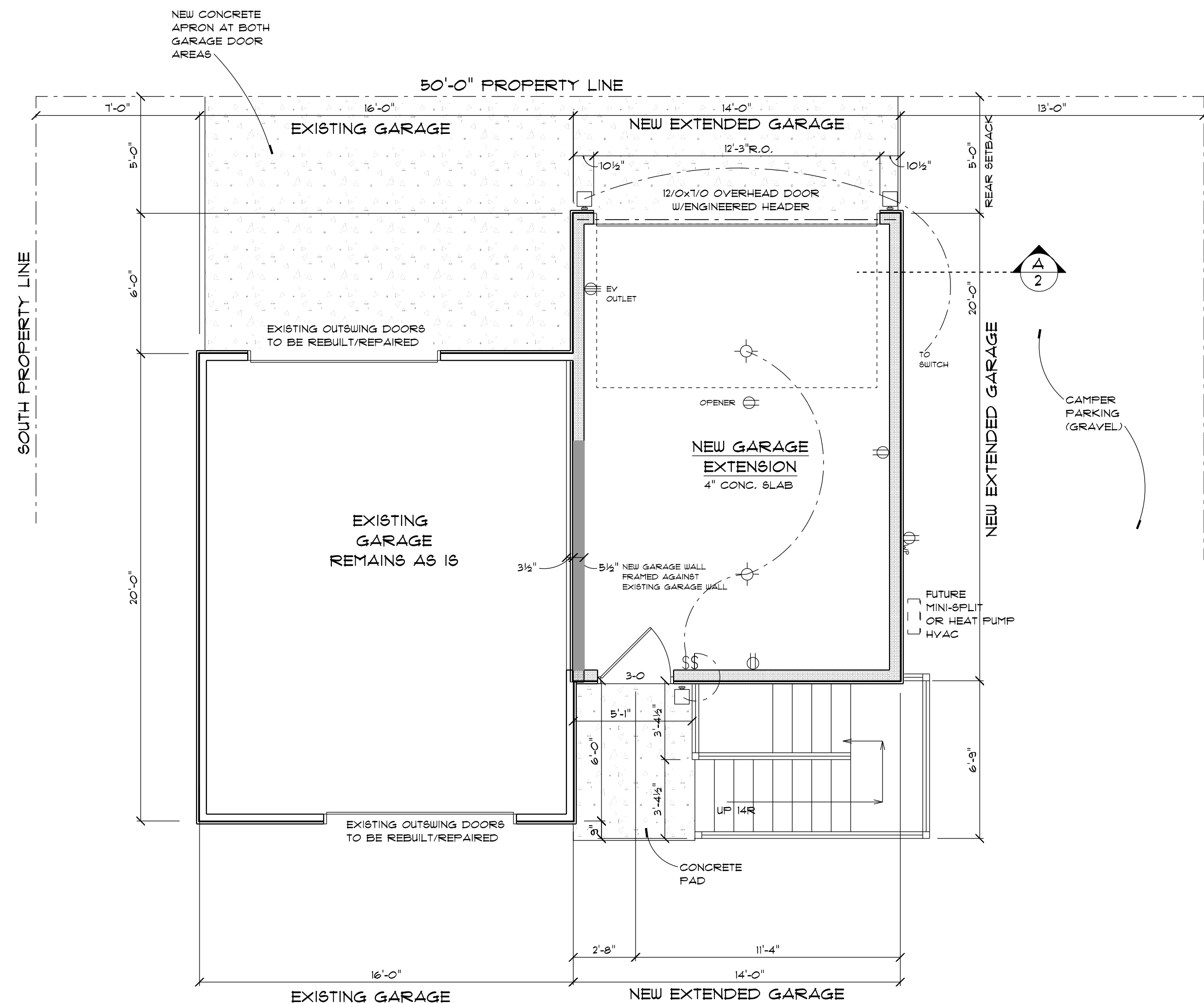
SCALE: 1/4" = 1'-0"

NO ALLOWABLE SQUARE FOOTAGE  
ON THIS LEVEL FOR LAND USE PURPOSES



## EXTERIOR STAIR SECTION

SCALE: 1/4" = 1'-0"



## GARAGE LEVEL FLOOR PLAN

FOUNDATION PER ENGINEERED PLANS

SCALE: 1/4" = 1'-0"

### ALLOWABLE SQUARE FOOTAGE IN REAR HALF OF LOT:

EXISTING GARAGE	16x20 = 320sf
NEW GARAGE EXTENSION	14x20 = 280sf
TOTAL ALLOWABLE	600 S.F.

NOTE: ALL UPPER LEVEL IS BELOW 1'-6"  
AND DOES NOT COUNT TOWARD  
ALLOWABLE CALC'S.

TOTAL LOT SIZE = 9,500 sf  
REAR HALF SIZE = 4,750 sf

EXISTING HOUSE OF 1,414 sf IS IN FRONT  
HALF OF THE LOT

### GENERAL NOTES:

DIMENSIONS ARE FROM ROUGH STUD FACE TO ROUGH STUD FACE.

FOUNDATION, ALL STRUCTURAL BEARING AND ROOF TRUSS SYSTEM  
TO BE PRE-ENGINEERED FOR LOCAL CODE.

ANGLES ARE 45 DEGREES UNLESS NOTED OTHERWISE.

PLAN CONSTRUCTION TO COMPLY WITH ALL LOCAL  
BUILDING CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL.

DATE: 6-25-24  
DRAWN BY: JD  
APPROVED:

ARMSTEAD CONSTRUCTION INC.  
OFFICE: (970) 472-1113  
BLDG # SUITE 102  
FORT COLLINS, COLO 80525  
FAX: (970) 472-8313  
EMAIL: info@armsteadconstruction.com

ARMSTEAD  
CONSTRUCTION INC.  
"Building Dreams"

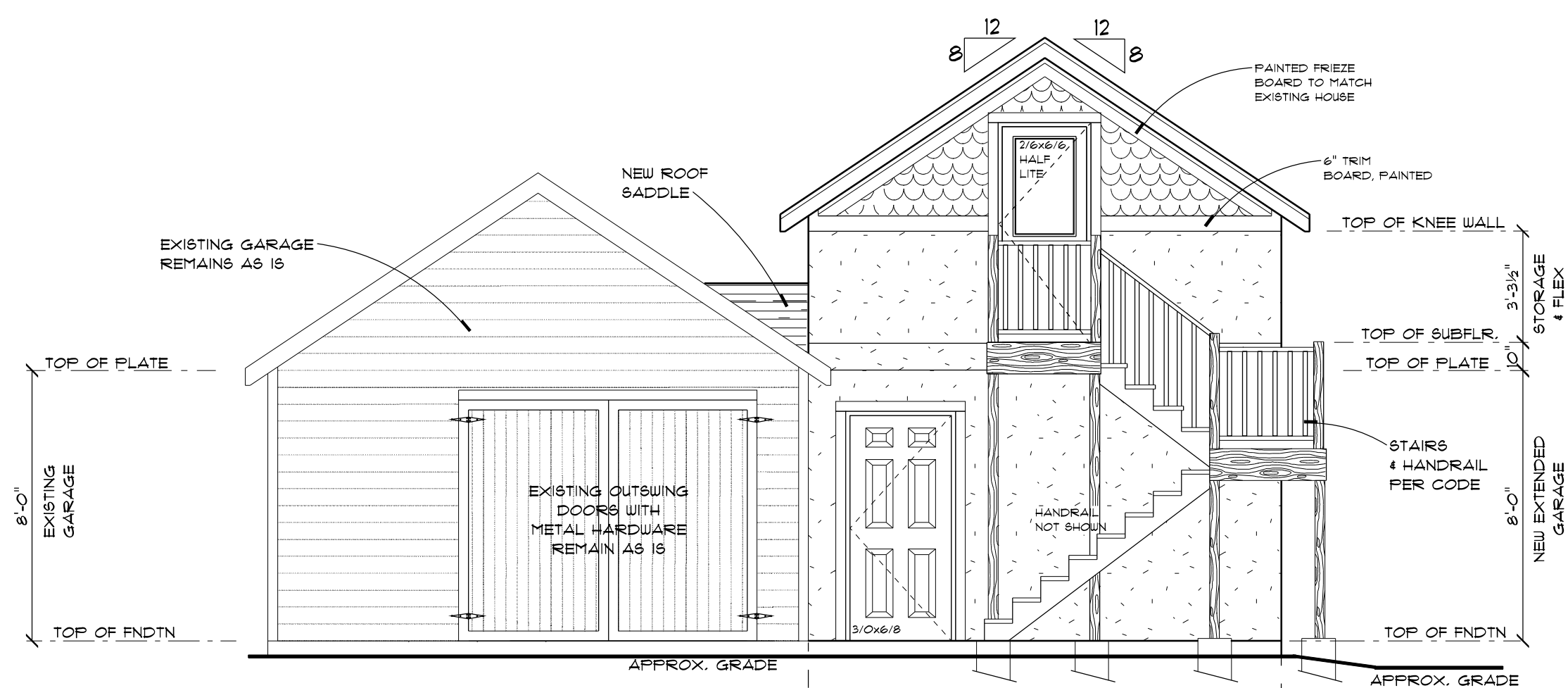
REID DETACHED GARAGE  
ADDITIONAL INFORMATION

215 WHEDBEE ST  
FORT COLLINS, COLO 80524

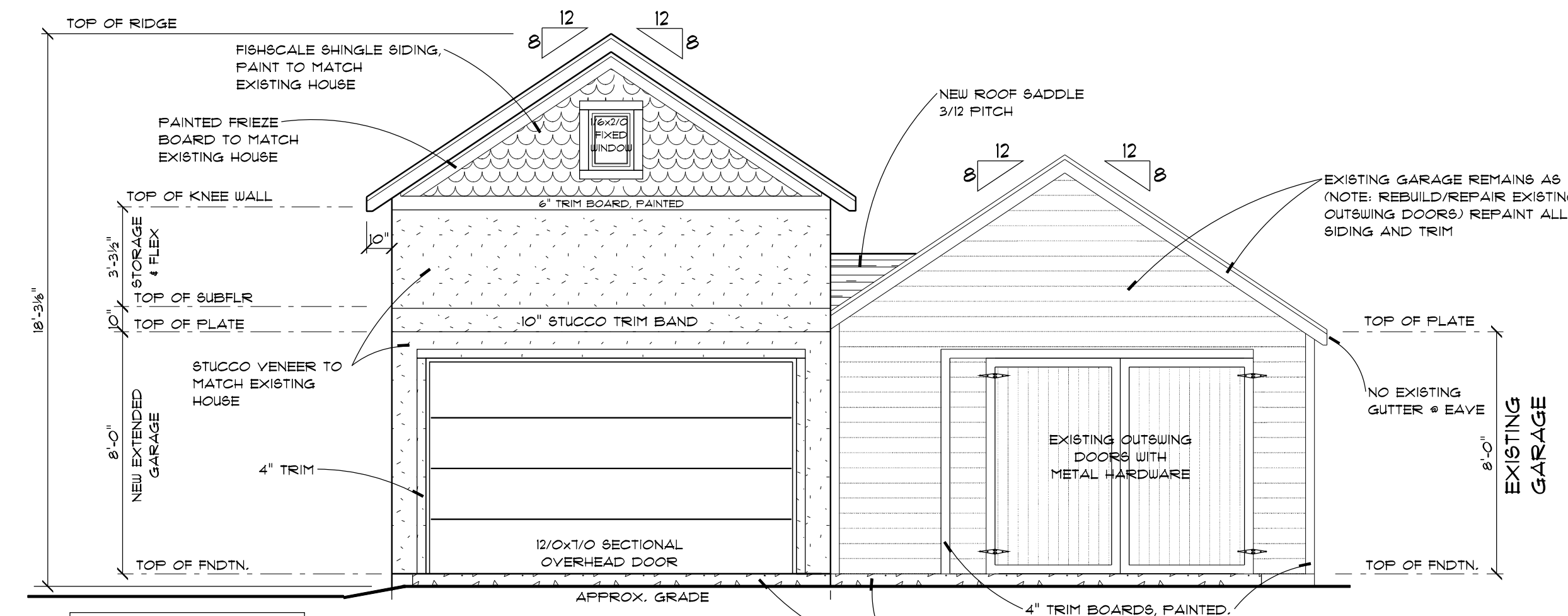
SHEET:

1

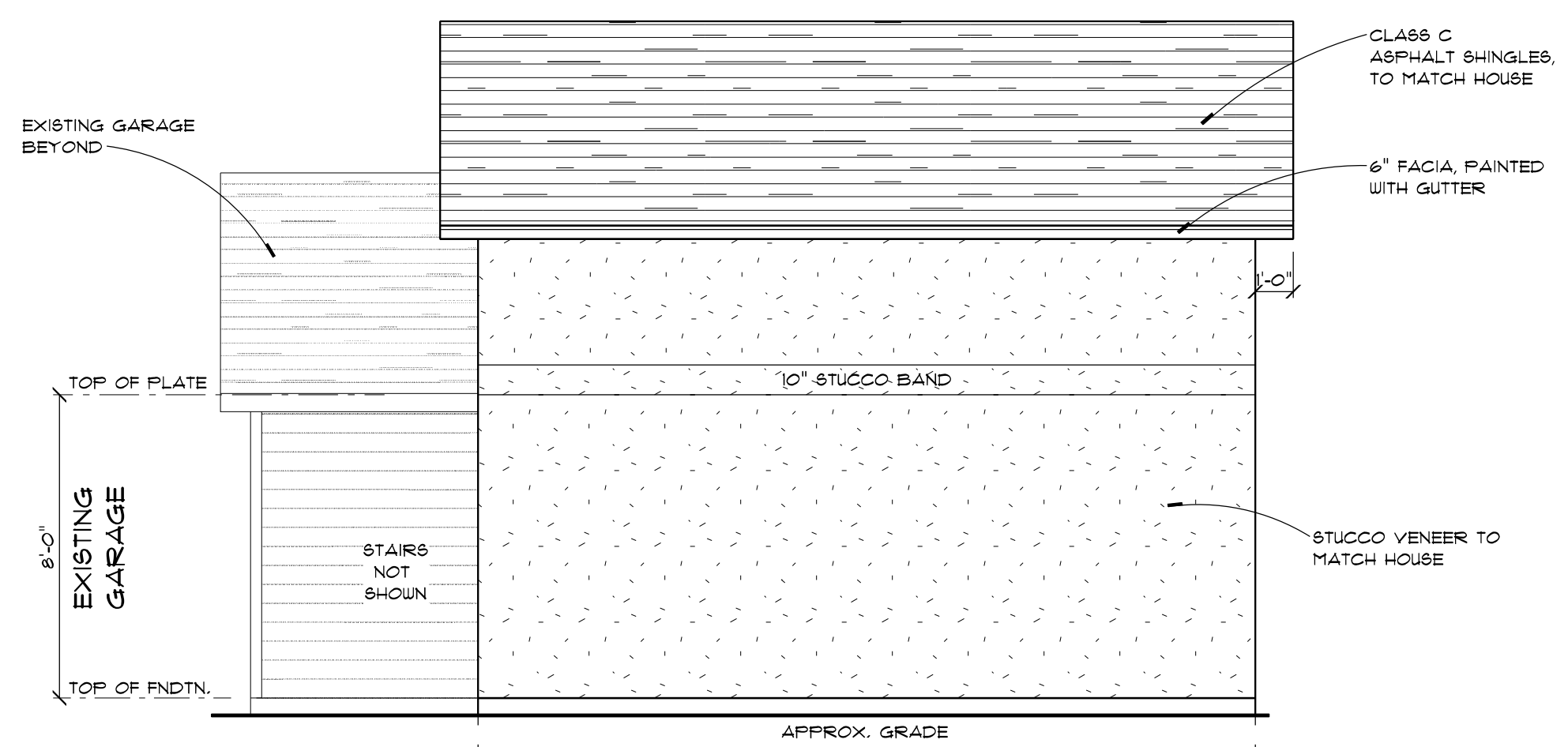
2



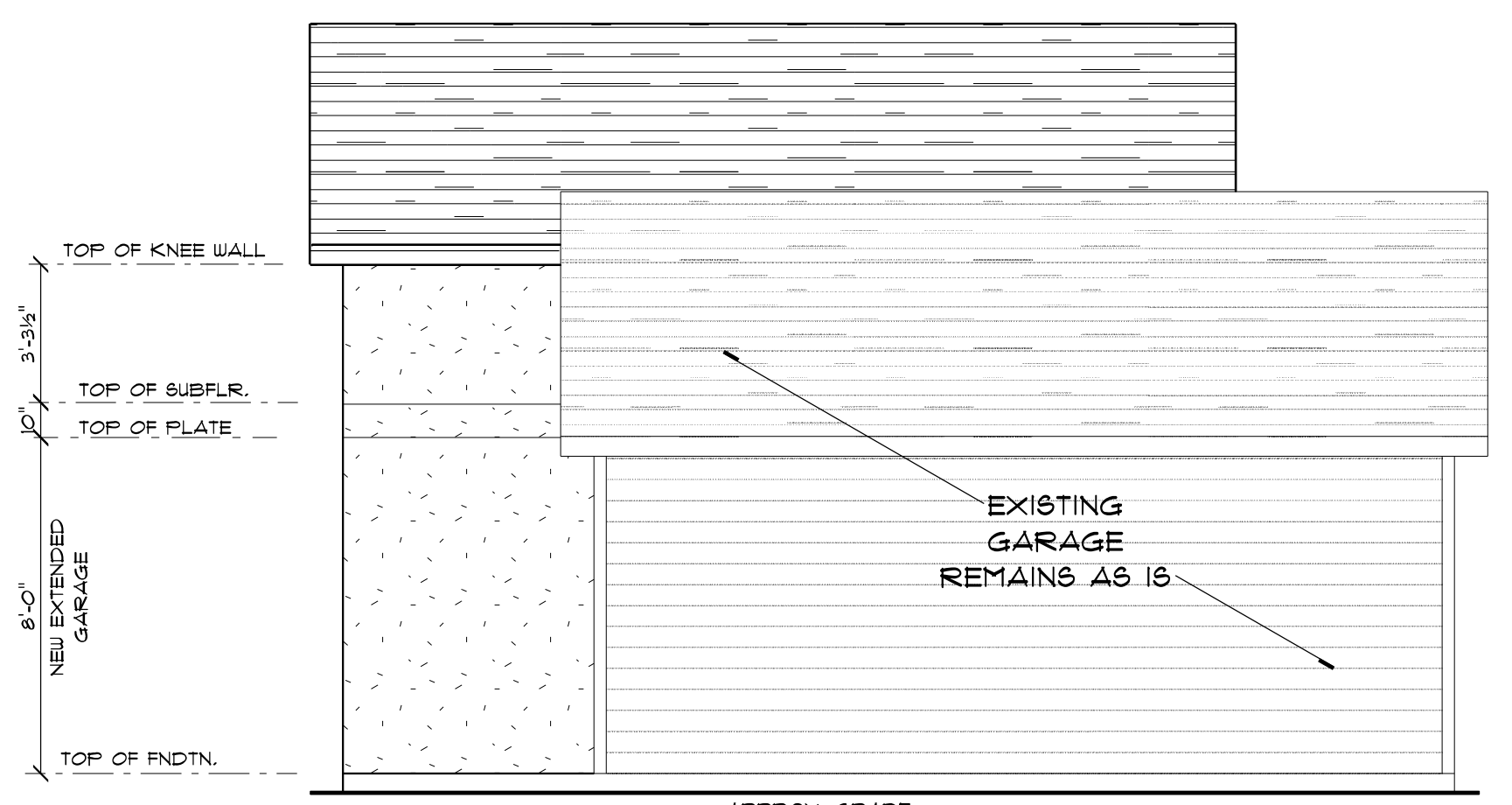
**REAR ELEVATION EAST**  
SCALE: 1/4" = 1'-0"



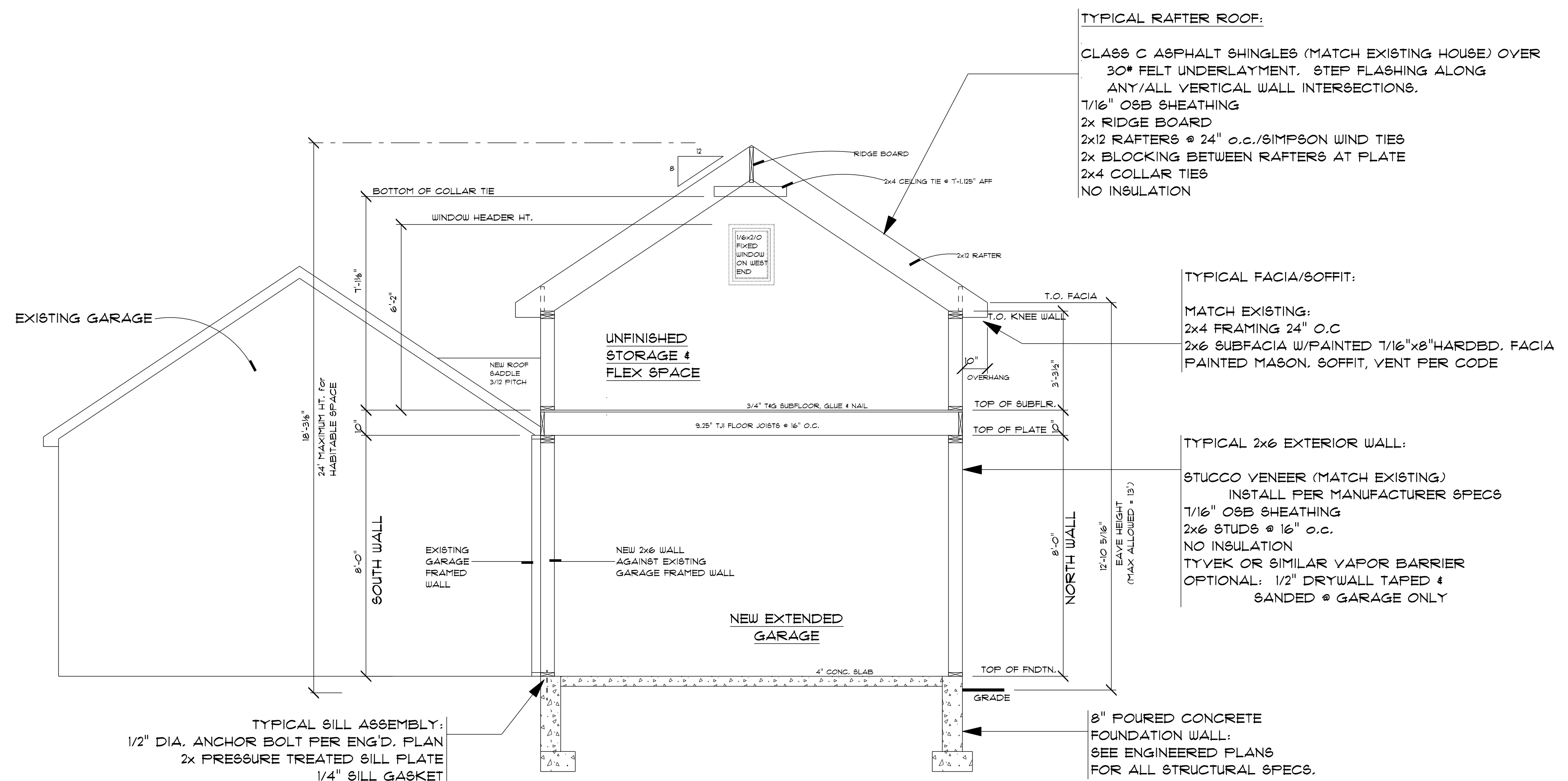
**FRONT ELEVATION WEST**  
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION NORTH**  
SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION SOUTH**  
SCALE: 1/4" = 1'-0"



**BUILDING SECTION A**  
3/8" = 1'-0"

APPROVED: \_\_\_\_\_  
DRAWN BY: JD

DATE: 6-25-24  
**ARMSTEAD CONSTRUCTION INC.**  
375 E. HORSESHOE RD. OFFICE: (970) 472-1113  
BLDG 4 SUITE 102 FAX: (970) 472-8313  
FORT COLLINS, COLO 80525 EMAIL: info@armsteadconstruction.com

**ARMSTEAD CONSTRUCTION Inc.**  
"Building Dreams"

ADDITIONAL INFORMATION

**REID DETACHED GARAGE**  
215 WHEBEE ST  
FORT COLLINS, COLO 80524

SHEET: 2  
2



# GENERAL NOTES

## 1. MISCELLANEOUS NOTES

THESE PLANS ARE DESIGNED FOR THE FINISHED PRODUCT. SHORING, STAGING, AND ORDER OF OPERATION ARE OUTSIDE THE SCOPE OF OUR SERVICES AND SHOULD BE DESIGNED AND MONITORED BY THE CONTRACTOR DURING CONSTRUCTION.

FINISH MATERIAL, INSULATION REQUIREMENTS, AND WATERPROOFING ARE OUTSIDE OF OUR SCOPE OF SERVICES AND SHOULD BE DESIGNED BY THE ARCHITECT.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. CONTACT INSPIRE ENGINEERING IF DISCREPANCIES ARE FOUND.

SHOP DRAWINGS AND SUBMITTALS, WHERE REQUIRED, SHALL DEMONSTRATE HOW THE CONTRACTOR IS PROPOSING TO CONFORM TO THE INFORMATION GIVEN ON THESE PLANS AND THE DESIGN CONCEPT EXPRESSED IN THE CONSTRUCTION DOCUMENTS. PRIOR TO PROVIDING INSPIRE ENGINEERING SUBMITTALS TO REVIEW, THE CONTRACTOR MUST:

- REVIEW & APPROVE THE SUBMITTAL
- DETERMINE AND VERIFY MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA
- CHECK & COORDINATE THE INFORMATION IN THE SUBMITTAL WITH THE CONTRACT REQUIREMENTS

## 2. DESIGN CRITERIA

THESE PLANS WERE PREPARED FOLLOWING THE 2021 IRC CODES AND ANY LOCAL AMENDMENTS. OUR DESIGN WAS PREPARED USING ASCE 7-16, ACI-332, AND THE 2018 NDS.

RISK CATEGORY:	II
WIND SPEED:	Vult = 140 mph
EXPOSURE CATEGORY:	B
GROUND SNOW LOAD:	35 psf
ROOF LOAD:	30 psf (SNOW) / 15 psf (DEAD)
SEISMIC DESIGN CATEGORY:	B

## 3. SOILS

SOILS REPORT BY:	ASSUMED
REPORT DATE:	N/A
REPORT NUMBER:	N/A

RECOMMENDATIONS:	FOUNDATION TYPE:	SPREAD FOOTINGS (SHALLOW)
	MAX. BEARING PRESSURE =	1,500 PSF
	MIN. BEARING PRESSURE =	N/A
	BALANCED PRESSURE =	750 psf
	SOIL SITE CLASS =	D
	EQ. FLUID DENSITY =	50 PCF

FOUNDATION DESIGN WAS BASED ON ASSUMED BEARING SOILS CONSISTING OF SILTY, SANDY CLAY AS DESCRIBED IN TABLE R401.4.1 OF THE IRC.

WE REQUIRE AN OPEN HOLE OBSERVATION BE PERFORMED PRIOR TO POURING THE FOUNDATION FOOTINGS. OPEN HOLE OBSERVATIONS ARE TO VERIFY THAT THE SOILS CONDITIONS ARE CONSISTENT WITH THE ASSUMED SOILS. IF SOIL CONDITIONS DIFFER FROM THE ASSUMED SOILS, CONTACT INSPIRE ENGINEERING. THIS MAY RESULT IN AN ADDITIONAL EVALUATION OR FOUNDATION RE-DESIGN.

WE RECOMMEND FOUNDATION WALLS NOT BE BACKFILLED FOR A MINIMUM OF (8) DAYS AFTER PLACEMENT OF CONCRETE. ALL FLOOR SYSTEMS SHOULD BE IN PLACE PRIOR TO BACKFILLING AGAINST ANY FOUNDATION WALL. ADEQUATELY BRACING THE FOUNDATION WALLS MAY BE USED AS AN ALTERNATIVE.

## 4. CONCRETE

STRUCTURAL CONCRETE FOR FOUNDATION ELEMENTS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 4,000 psi, WITH A MAX. W/C RATIO OF .45, AND AIR ENTRAINMENT OF 5-8%.

CONCRETE FOR INTERIOR SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3,500 psi. INTERIOR SLAB SHRINKAGE SHALL BE MAXIMUM OF .04% AS DETERMINED BY ASTM C157.

CONCRETE FOR EXTERIOR SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 4,500 psi, WITH A MAX. W/C RATIO OF .45, AND AIR ENTRAINMENT OF 5-8%.

ALL CONCRETE SHALL BE DESIGNED, MIXED AND PLACED IN ACCORDANCE WITH ACI-301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".

CEMENT SHALL BE TYPE I/II AND FOLLOW ASTM C150.

AGGREGATES SHALL BE PER ASTM C33.

COLD WEATHER CONCRETING REQUIREMENTS PER ACI-360R SHALL BE FOLLOWED WHEN THE AMBIENT TEMPERATURE IS 40° F OR BELOW.

HOT WEATHER CONCRETE PRODUCTION, DELIVERY, PLACEMENT, CURING, TESTING AND INSPECTIONS SHALL BE IN ACCORDANCE WITH ACI-305R.

READY MIXED CONCRETE SHALL COMPLY WITH ASTM C94.

## 5. FOUNDATION

FOUNDATION WALLS WERE DESIGNED BASED ON AN 8" THICK WALL. ADDITIONAL WALL THICKNESS WAS UTILIZED IN CERTAIN LOCATIONS IN ORDER TO INCREASE BEARING WIDTH AND IMPROVE CONTRUCTABILITY.

FOOTINGS SHALL BEAR A MINIMUM OF 30" BELOW FINISHED GRADE.

FOOTINGS OVER 24" WIDE REQUIRE #4 TRANSVERSE REINFORCING BARS AT 24" O.C.

REINFORCING SHALL BE DEFORMED GRADE 60 STEEL, UNLESS NOTED OTHERWISE (U.N.O.) ON THE PLAN AND SHALL CONFORM TO ASTM A615.

ALL FOUNDATION WALL REINFORCEMENT SHALL BE WIRED IN PLACE. SLAB AND FOOTING REINFORCEMENT SHALL UTILIZE CHAIRS OR OTHER ACCEPTABLE METHODS TO ACHIEVE THE REQUIRED CROSS SECTION.

MINIMUM CONCRETE COVER SHALL BE 2" U.N.O. ON THE PLAN.

REBAR OVERLAPS SHALL BE 40x BAR DIAMETERS BUT NOT LESS THAN 24". DETAIL REINFORCING BARS IN ACCORDANCE TO THE ACI DETAILING MANUAL AND ACI CODE.

FOUNDATION ANCHOR BOLTS SHALL CONFORM TO ASTM A307 AND BE ½" DIAMETER BY 10" LONG, SPACED AT 4'-0" O.C. MAX AND 12" MAX FROM CORNERS AND PLATE SPLICES.

IT IS THE CONTRACTOR/OWNERS RESPONSIBILITY TO VERIFY AND COORDINATE ALL DIMENSIONS PRIOR TO CONSTRUCTION.

## 6. SLAB ON GRADE

WE RECOMMEND CONCRETE SLABS BE FREE OF ALL CONSTRUCTION AND/OR OTHER LOADING, STAGING, OR STORAGE FOR A MINIMUM OF (5) DAYS TO REDUCE THE RISK OF CRACKING.

MAX CONTROL JOINT SPACING (IN FEET) SHALL BE 2x THE SLAB THICKNESS (IN INCHES). CONTROL JOINTS SHALL BE ½" WIDE WITH A DEPTH OF ½ x SLAB THICKNESS PLUS ½".

CONTROL JOINTS SHALL BE CUT AND/OR TOOLED AS SOON AS PRACTICAL.

REINFORCING SHALL BE PER THE PLANS. CENTER REINFORCING IN THE SLAB.

SLABS SHALL BE CURED PER THE METHODS DESCRIBED IN ACI-302.1, R-15 "GUIDE TO CONCRETE FLOOR AND SLAB CONSTRUCTION".

SECTIONS OF SLABS SHALL ONLY BE POURED IN LARGE SQUARES OR RECTANGLES.

PROVIDE A GRANULAR LEVELING COURSE CONSISTING OF ¾" MINUS CLEAN GRAVEL UNDER SLABS, EXCEPT WHERE NOTED AT EXTERIOR STRUCTURAL SLABS.

## 7. WOOD FRAMING

MATERIAL SPECIFICATIONS:	DIMENSIONAL LUMBER:	HEM-FIR #2
	TIMBER BEAMS & POSTS:	N/A
	GLULAM BEAMS:	N/A
	WALL SHEATHING:	7/16" OSB
	ROOF SHEATHING:	15/32" OSB

ALL FRAMING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE GOVERNING CODE. ALL CONNECTIONS OR MEMBERS NOT SHOWN ARE PER CODE. ALL MANUFACTURED WOOD PRODUCTS SHALL BE INSTALLED PER THE MANUFACTURERS PRINTED INSTALLATION INSTRUCTIONS. FLUSH MULTI-PLY LVL BEAMS ARE TO BE ATTACHED PER THE BELOW SCHEDULE UNLESS NOTED OTHERWISE ON THE PLANS.

MULTI-PLY CONNECTIONS FOR FLUSH LVL BEAMS				
NUMBER OF PLYS	FASTENER TYPE	NUMBER OF ROWS	FASTENER ON-CENTER SPACING	FASTENER ON BOTH FACES
2	10d NAIL (0.148"x3")	3	12"	NO
3	10d NAIL (0.148"x3")	3	6"	YES
4	6" LONG SIMPSON SDS SCREW	2	24"	YES

NOTE: CONTACT INSPIRE ENGINEERING FOR ALTERNATIVES TO THE ABOVE FASTENERS, IF REQUIRED

ALL EXTERIOR WALL FRAMING SHALL BE WALL SHEATHING PER ABOVE OVER 2x6 STUDS AT 16" O.C. U.N.O. SHEATHING SHALL BE ATTACHED PER THE SHEAR WALL SCHEDULE TO THE RIGHT.

BUILT UP COLUMNS SHALL BE A MINIMUM OF (3) 2x STUDS, U.N.O. ON THE PLANS

1 ½" MINIMUM SOLID RIM REQUIRED AT FLOOR SYSTEM.

FLOOR SHEATHING SHALL BE GLUED AND NAILED TO THE FLOOR FRAMING WITH 8d NAILS @ 6" O.C AT THE EDGES AND 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT SUPPORTS AS REQUIRED BY CODE.

ROOF SHEATHING SHALL BE ATTACHED TO THE ROOF FRAMING WITH 8d NAILS @ 6" O.C AT THE EDGES AND 12" O.C. IN THE FIELD, PROVIDE BLOCKING AT SUPPORTS AS REQUIRED BY CODE.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

PROVIDE SOLID BLOCKING TO TRANSMIT ALL POINT LOADS CONTINUOUS TO THE FOUNDATION.

IF THERE ARE 20% OF OVERDRIVEN NAILS IN SHEATHING, THEN SHEATHING MUST BE RE-NAILED WITH PROPER GUN PRESSURE NOT TO BREAK SURFACE OF SHEATHING.

ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED LUMBERS HALL BE G185 HOT-DIP GALVANIZED, TYPE 304 STAINLESS STEEL OR TYPE 316 STAINLESS STEEL.

## 8. QUALITY ASSURANCE

OBSERVATION/SUBMITTAL	PERFORMED BY (RECOMMENDED)
OPEN HOLE/FOOTING	INSPIRE ENGINEERING LLC
FOUNDATION REINFORCEMENT	INSPIRE ENGINEERING LLC

WE RECOMMEND THE ABOVE COMPANIES FOR OBSERVATIONS. OTHER COMPANIES MAY BE USED AT THE CLIENTS DISCRETION. CONTACT FOR PRICING PRIOR TO SCHEDULING OBSERVATIONS. OTHER OBSERVATIONS MAY BE REQUIRED BY THE LOCAL JURISDICTION OR OTHER ENGINEERS WORKING ON THIS PROJECT.

# REID DETACHED GARAGE

WALL SHEATHING & SHEAR WALL SCHEDULE						
WALL TYPE	SHEATHING TYPE	SHEATHING THICKNESS	EDGE BLOCKING	FASTENERS	EDGE SPACING	FIELD SPACING
EXTERIOR, U.N.O.	OSB OR PLYWOOD (EXTERIOR)	7/16"	YES	8d COMMON	6"	12"
				16 ga. x 1 ½" STAPLES	3"	6"

NOTES:  
1. ALL EXTERIOR SHEATHING VERTICAL EDGES SHALL FALL UPON 2x6 STUDS SPACED AT 16" O.C. MAX.  
2. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE WALL STUDS, EXCEPT WHERE INDICATED ABOVE.  
3. EXTERIOR WALL SOLE PLATES AND TOP PLATES SHALL BE ATTACHED TO FRAMING ABOVE AND BELOW IN ACCORDANCE WITH THE I-CODES.  
4. WHERE JOISTS ARE PERPENDICULAR TO THE INTERIOR SHEAR WALL LINES ABOVE, BLOCKING BETWEEN JOISTS SHOULD BE INSTALLED BELOW THE SHEAR WALL.  
5. WHERE JOISTS ARE PARALLEL TO THE INTERIOR SHEAR WALL LINES ABOVE, DOUBLE JOISTS SHOULD BE INSTALLED BELOW THE SHEAR WALL.  
6. ATTACH INTERIOR SHEAR WALLS TO FRAMING ABOVE AND BELOW IN ACCORDANCE WITH THE I-CODES.

SHEET INDEX	
S0.0	PROJECT INFORMATION
S1.0	PLAN VIEWS
S2.0	N/A
S3.0	N/A
S4.0	DETAILS

HOLD DOWN SCHEDULE		
HOLD DOWN DESIGNATION	HOLD DOWN	INSTALLATION NOTES
1	SIMPSON STHD14/14RJ	INSTALL HOLDDOWN PER MANUFACTURER SPECIFICATIONS

NOTE:  
HOLD DOWNS AND STRAP TIES ARE SHOWN IN APPROXIMATE LOCATIONS ON THE PLANS. FIELD LOCATE AT CORNERS, EDGE OF WINDOW & DOOR OPENINGS, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCHITECTURAL PLANS FOR DIMENSIONS)

HEADER SCHEDULE			
HEADER DESIGNATION	HEADER	MATERIAL	# OF TRIMMER STUDS (U.N.O.)
HF28	(2) 2x8	HEM-FIR	1
HF210	(2) 2x10	HEM-FIR	2

KING STUD SCHEDULE		
OPENING WIDTH	# OF KING STUDS PER SIDE (U.N.O.)	NOTES
1'-4" TO 4'-0"	1	KING STUD SCHEDULE IS BASED ON 8'-0" TALL STUDS. SEE PLAN FOR NUMBER OF KINGS STUDS AT TALLER WALLS
4'-1" TO 8'-0"	2	
8'-1" TO 12'-4"	3	

FRAMING HARDWARE SCHEDULE	
CONNECTION TYPE	HANGER
SAWN RAFTER TO RIDGE BEAM - FLUSH	Lruz-SERIES
SAWN FLOOR JOIST TO LEDGER - FLUSH	LUS-SERIES
SAWN RAFTER TO BEARING WALL	H2.5A
WOOD POST TO BEAM ABOVE	BC-SERIES
WOOD POST TO CONCRETE FOUNDATION	ABU-SERIES

NOTES:  
1. HANGERS SHALL BE PROVIDED PER SCHEDULE U.N.O. ON THE PLANS.  
2. SOME HANGERS MAY BE SPECIAL ORDER.  
3. HANGERS SHALL HAVE ZMAX CORROSION PROTECTION FOR ALL EXTERIOR APPLICATIONS OR WHERE PRESSURE TREATED LUMBER IS USED.  
4. CONTACT INSPIRE ENGINEERING IF ALTERNATIVE HANGER OPTIONS ARE PREFERRED.  
5. ALL HANGERS ARE SIMPSON MFR. INSTALL HANGERS PER MFR. SPECIFICATIONS.

INSPIRE ENGINEERING

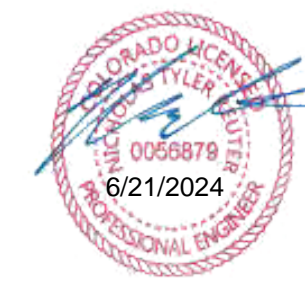


4803 INNOVATION DRIVE, SUITE 4  
FORT COLLINS, CO 80526  
PHONE: (319) 631-5935

CLIENT:  
**ARMSTEAD CONSTRUCTION**  
375 E. HORSESHOOTH ROAD  
BUILDING 4, SUITE 102  
FORT COLLINS, COLORADO  
CLIENT PHONE: (970) 472-1113

REID DETACHED GARAGE

215 WHEDBEE STREET  
FORT COLLINS, COLORADO



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DESIGN BY: NTR  
DATE: 06/21/2024  
PROJECT #: ENG24.0150

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PROJECT INFORMATION

SCALE: PER PLAN

S0.0

**REID DETACHED GARAGE**  
215 WHEDEE STREET  
FORT COLLINS, COLORADO

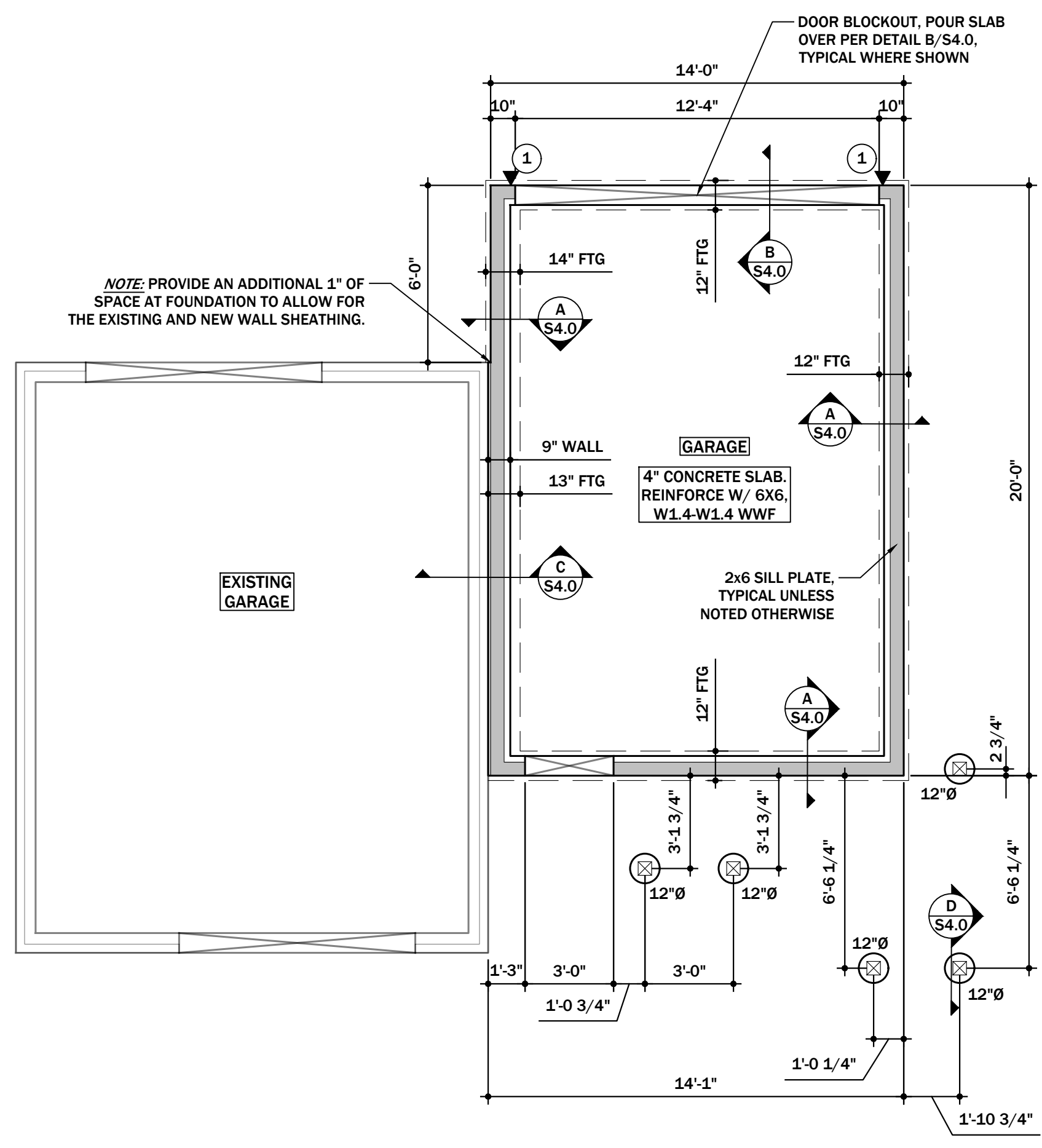


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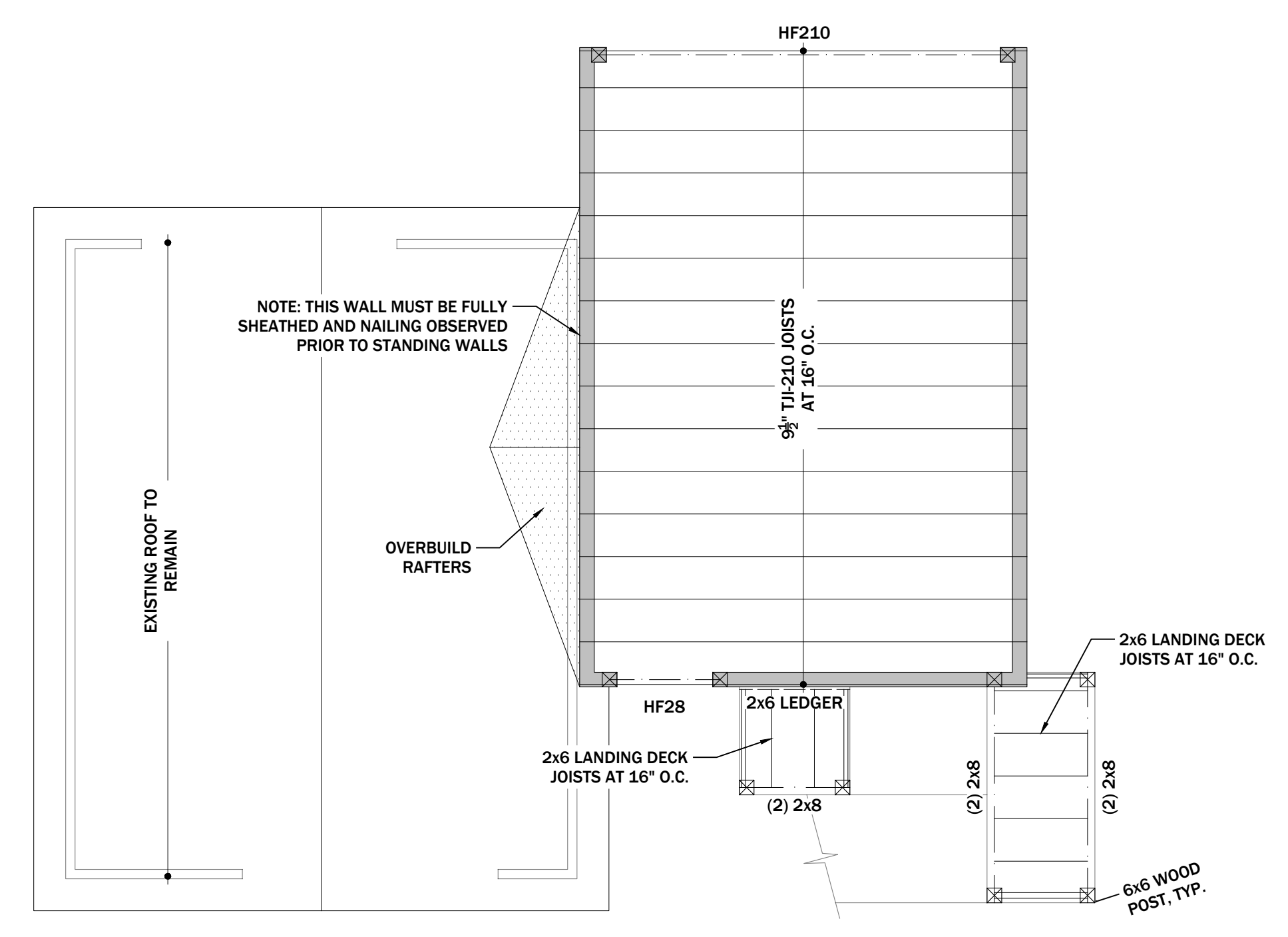
**PLAN VIEWS**

SCALE: PER PLAN

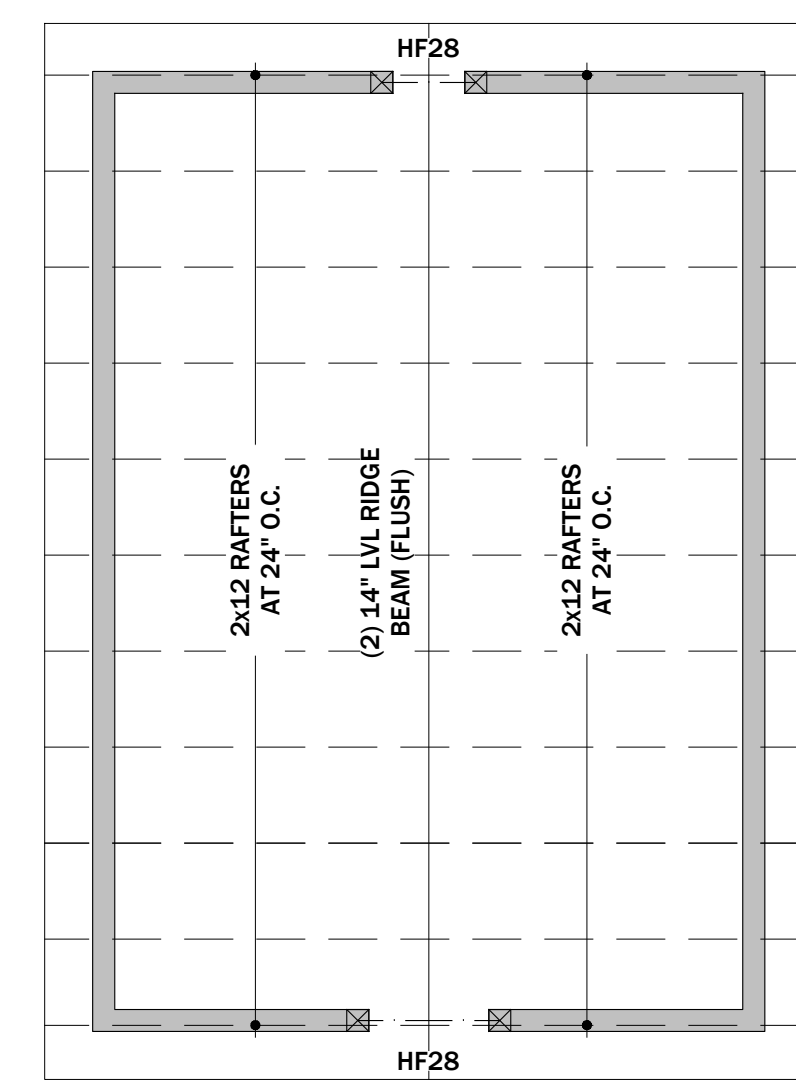
**S1.0**



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

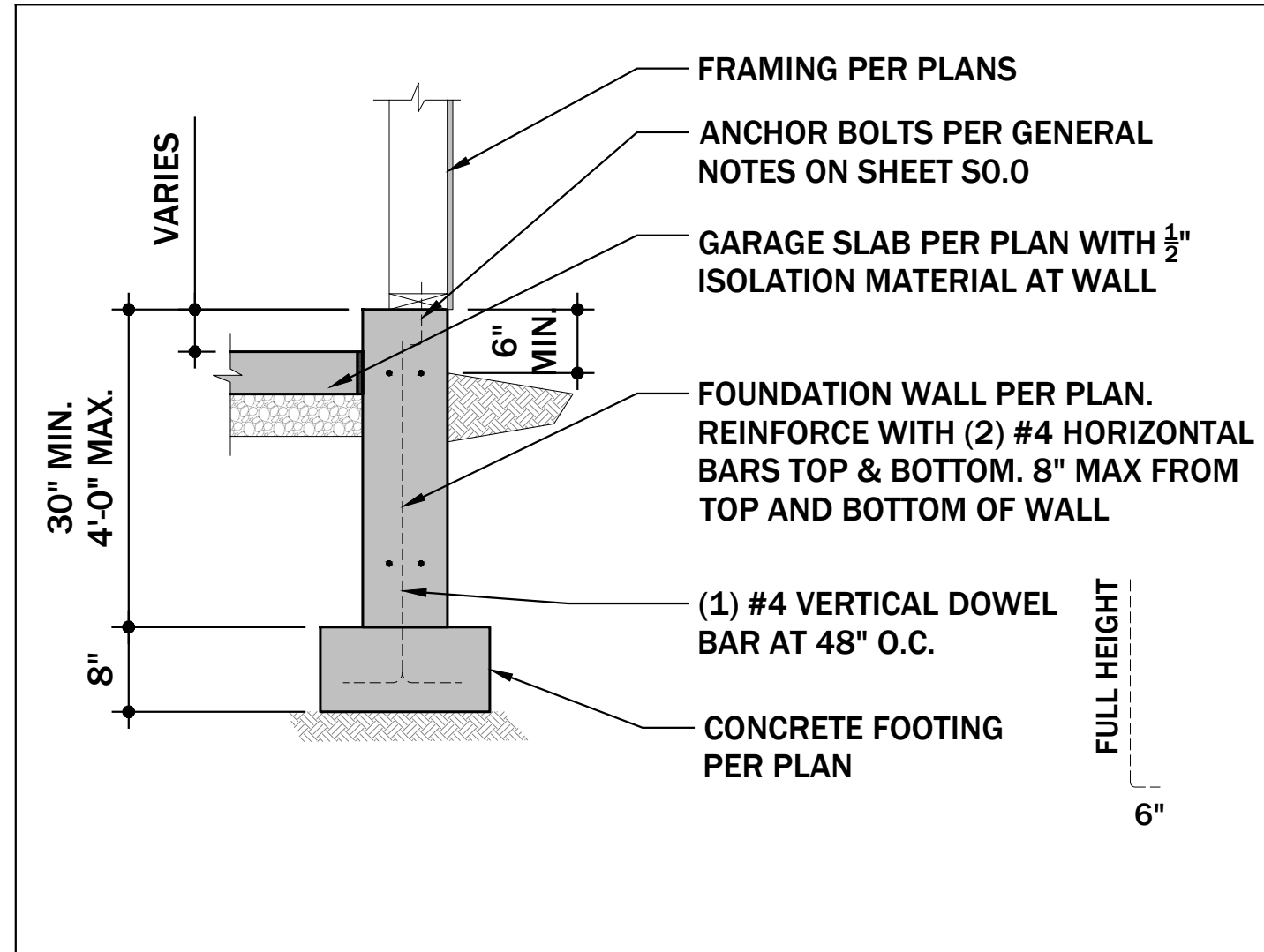


**UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



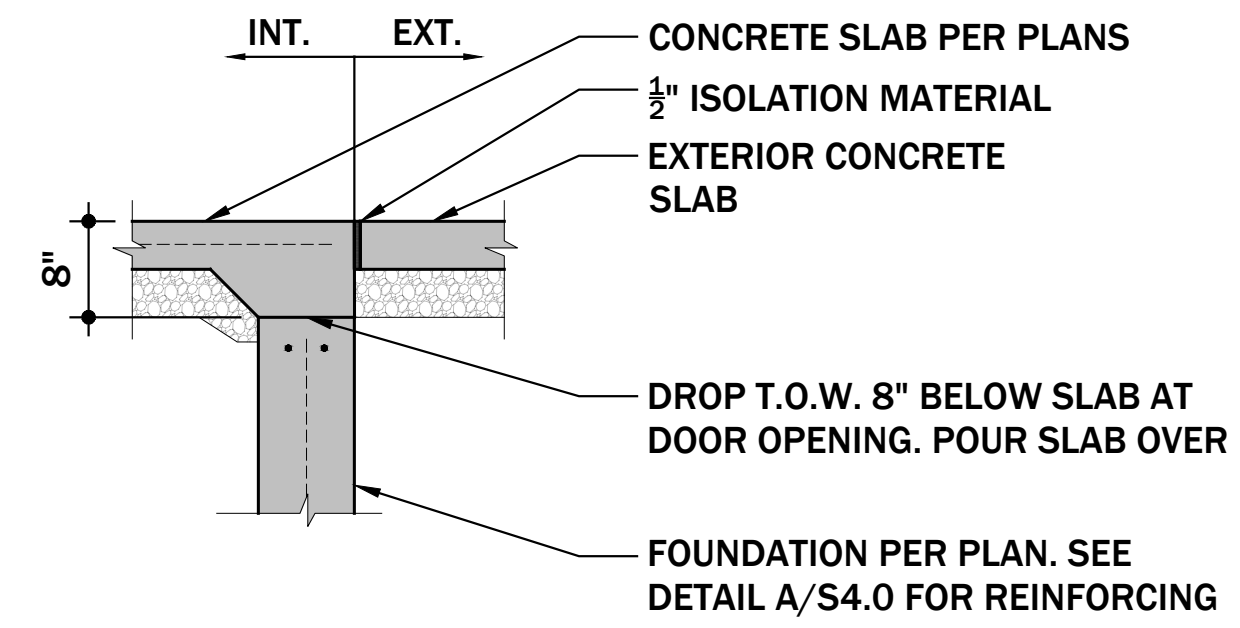
**UPPER ROOF PLAN**  
SCALE: 1/4" = 1'-0"





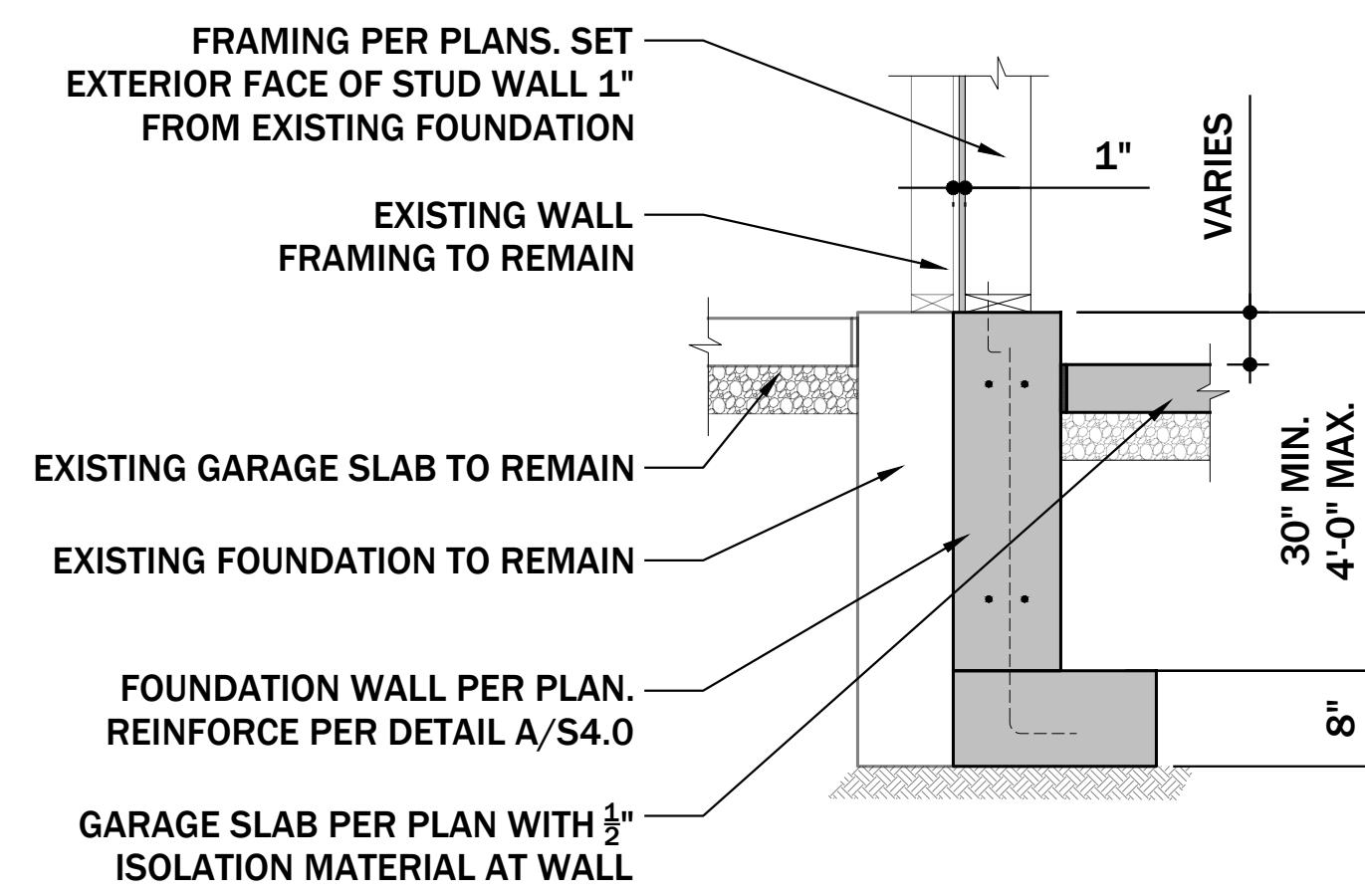
**GARAGE FOUNDATION WALL**  
(SCALE: 3/4" = 1'-0")

**A**



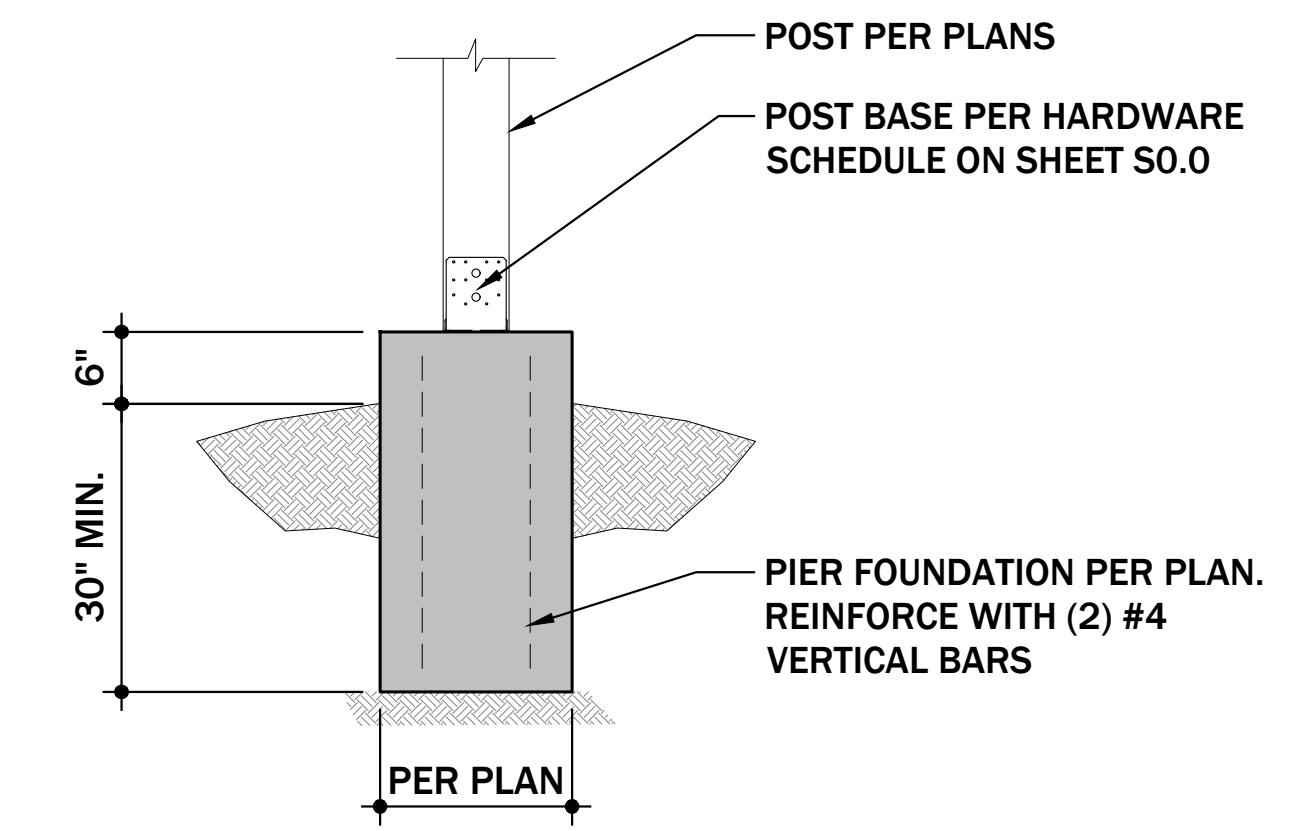
**SLAB POUR OVER WALL**  
(SCALE: 3/4" = 1'-0")

**B**



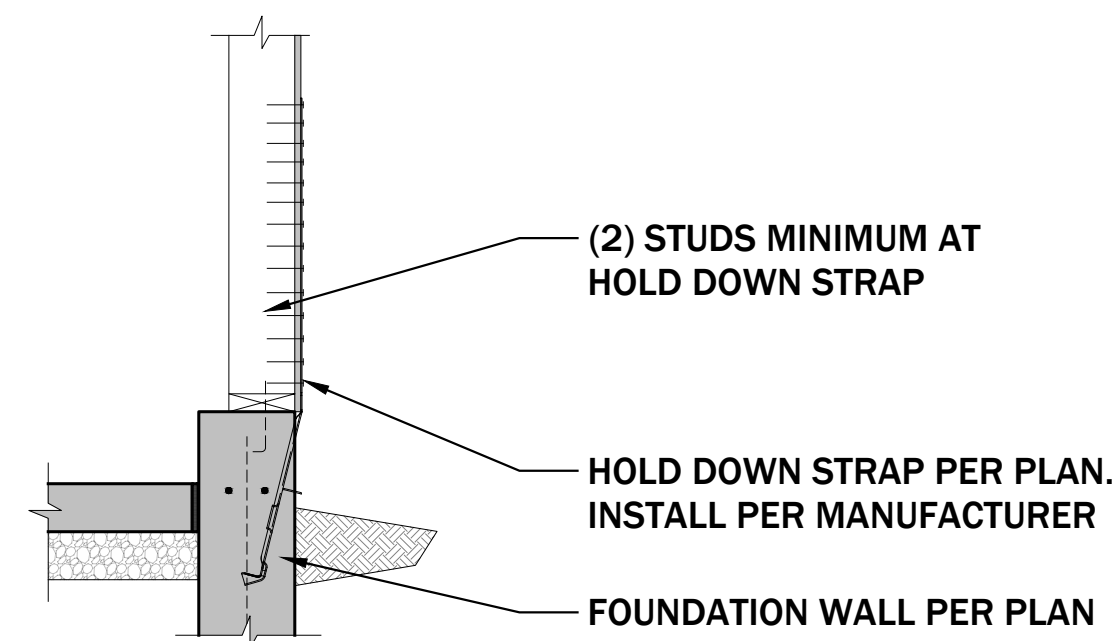
**FOUNDATION AT EXISTING**  
(SCALE: 3/4" = 1'-0")

**C**



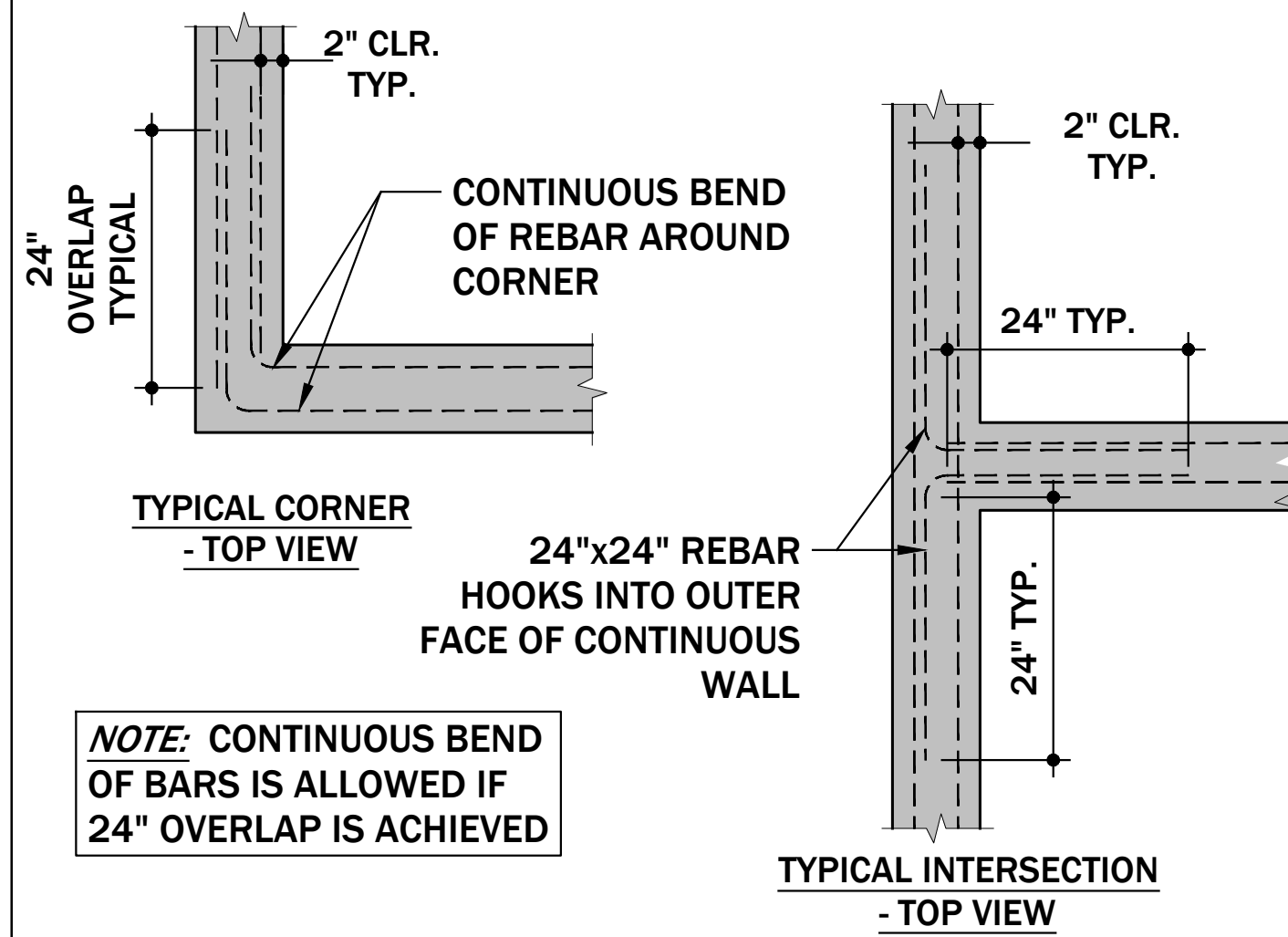
**DECK PIER**  
(SCALE: 3/4" = 1'-0")

**D**



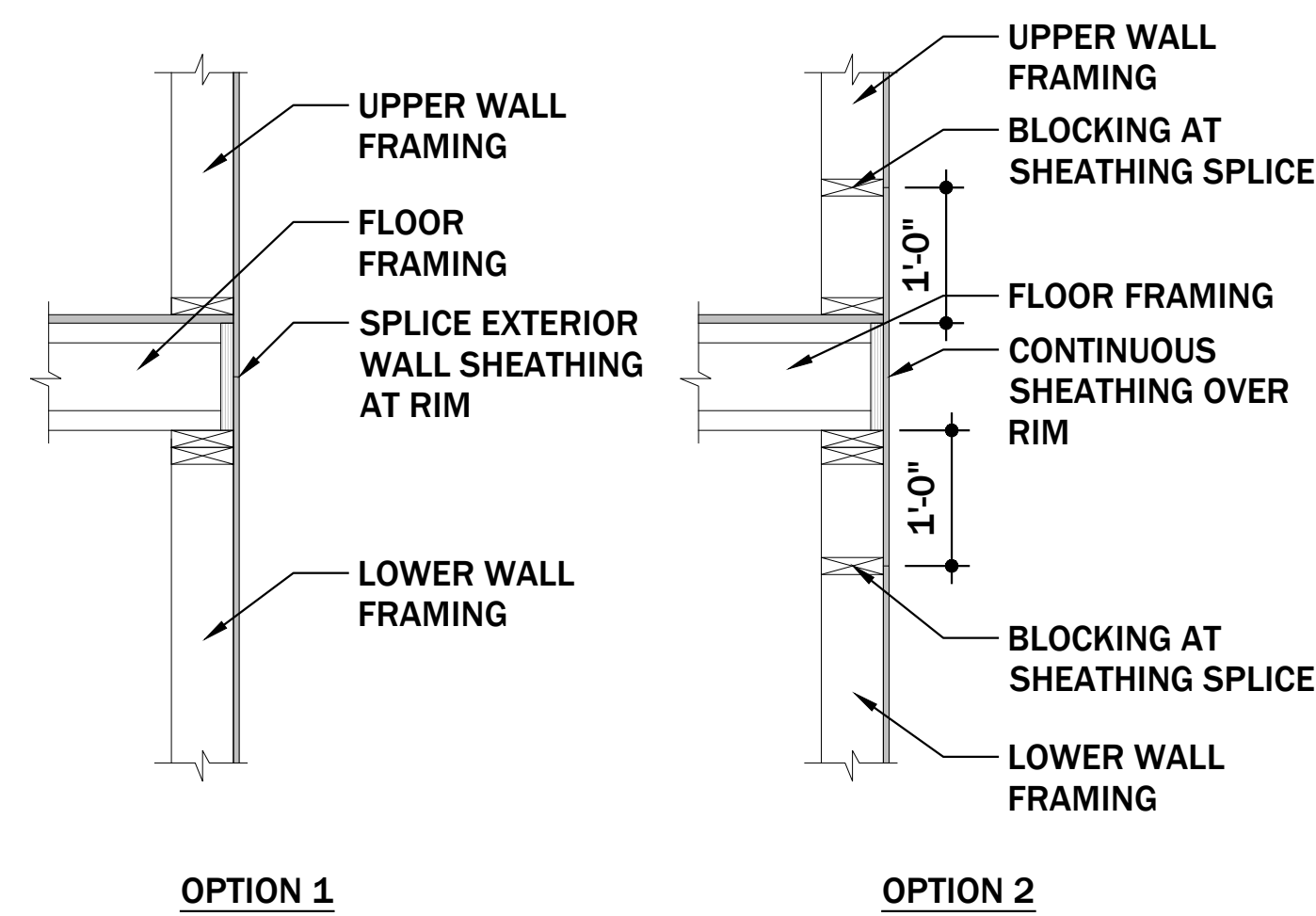
**HOLDOWN**  
(SCALE: 3/4" = 1'-0")

**E**



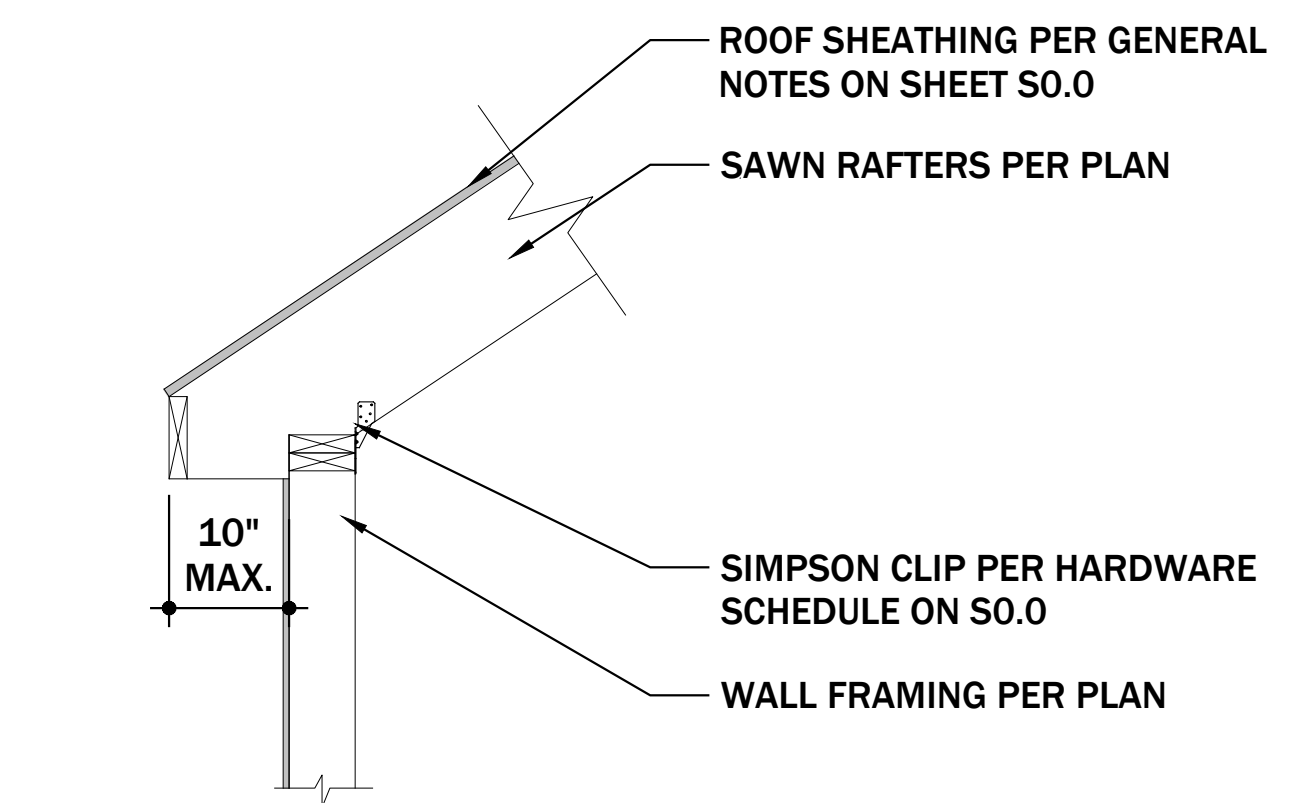
**REINFORCING AT CORNERS**  
(SCALE: 3/4" = 1'-0")

**F**



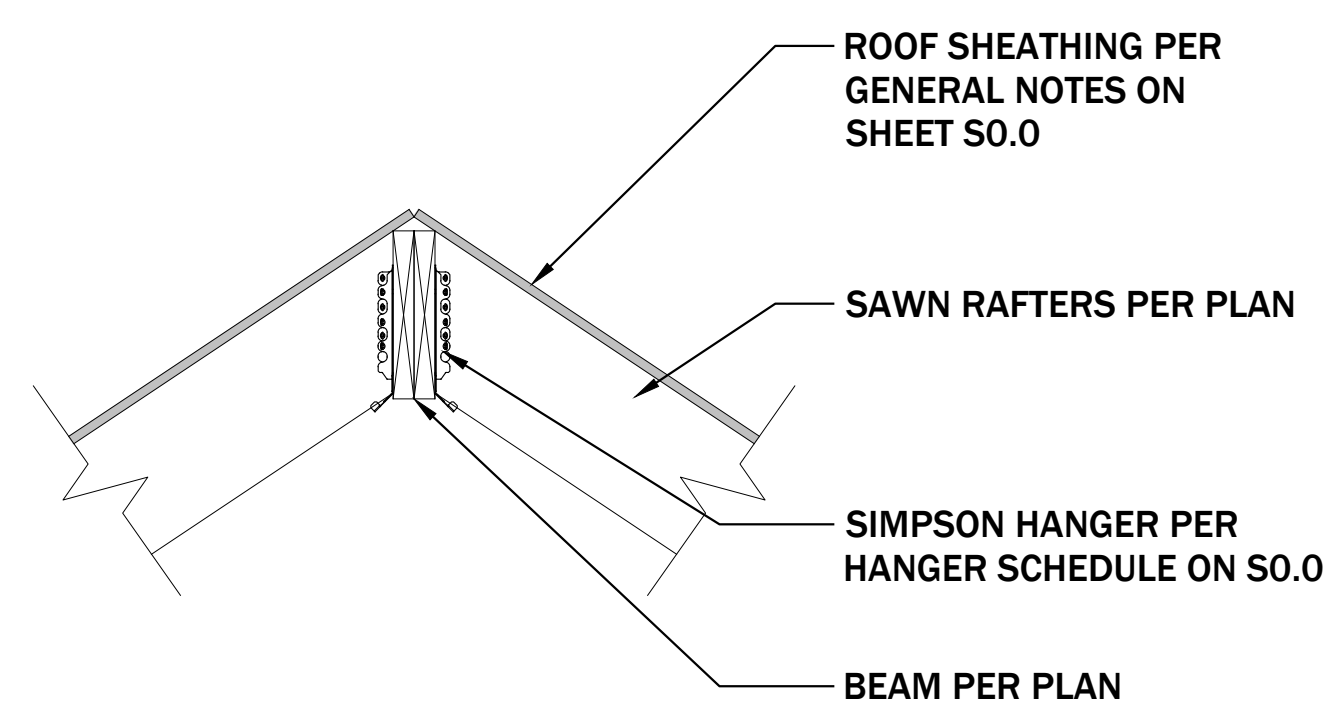
**SHEATHING SPLICE AT UPPER FLOOR**  
(SCALE: 3/4" = 1'-0")

**G**



**RAFTERS AT WALL BEARING**  
(SCALE: 3/4" = 1'-0")

**H**



**RAFTERS TO RIDGE BEAM**  
(SCALE: 3/4" = 1'-0")

**J**

**OPEN**  
(SCALE: 3/4" = 1'-0")

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**OPEN**  
(SCALE: 3/4" = 1'-0")

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**OPEN**  
(SCALE: 3/4" = 1'-0")

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**DETAILS**

SCALE: PER PLAN















