



Historic Preservation Services
 Community Development & Neighborhood Services
 281 N. College Ave.
 Fort Collins, CO 80524
 970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE
Site Number/Address: 313 Edwards St.
Laurel School National Register Historic District
ISSUED: 8/8/2024

Claire Pederson
 c/o Brandon Shockey, Old Town Designs Inc.
 210 E. Oak St., Ste. C
 Fort Collins, CO 80524

Dear Property Owner:

This report is to document proposed alterations to the Henry and Elizabeth Maxon House at 313 Edwards St., pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include:

- Demolition of rear addition and deck
- Construction of new rear addition and patio

Our staff review of the proposed work finds the alterations overall do not meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>This addition project will not alter the residential use of the property, and so this Standard is met.</p>	Y

<p>SOI #2</p>	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>Built c. 1904, this house is contributing to the Laurel School Historic District on the National Register of Historic Places and is a rare example of an I-House. “Colorado’s Historic Architecture & Engineering Guide” identifies the character-defining features of an I-House to include: a rectangular plan, two-rooms wide and on-room deep, a gabled roof, a central passage, and a lack of ornamentation. Most I-Houses in Colorado, like this one, were of frame construction, and single-story rear additions were common alterations.</p> <p>Although the loss of historic material for this project will be limited and the design of the addition is simple, like the historic house, the large size and visible location of this addition have a negative effect on the overall historic character of this residence, and so this Standard is not met.</p>	<p>N</p>
<p>SOI #3</p>	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>Because of the alteration to the traditionally rectangular footprint of this building, and due to the significant difference in size between this addition and the historic house, this addition does not create a false sense of historical development or include conjectural features from other historic properties, and so this Standard is met.</p>	<p>Y</p>
<p>SOI #4</p>	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p> <p>The rear mud-porch addition proposed for demolition is not a character-defining feature of this house, and the deck is not a historic element of this house; their removal still meets this Standard.</p>	<p>Y</p>
<p>SOI #5</p>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>Because of the minimal loss of existing historic materials for the new addition and patio, this Standard is met.</p>	<p>Y</p>

SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	N/A
SOI #7	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>Although there is not a reason to believe that there is a likelihood of archaeological resources being uncovered during any needed excavation for this addition and patio project, the applicant should be aware of this Standard and please contact Historic Preservation Services immediately for assistance at preservation@fcgov.com or 970-224-6078 should any such materials be revealed.</p>	Y
SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>The proposed work does not destroy a significant amount of historic material, and its architectural features are overall compatible with the design of the historic house through matching the appearance of the existing siding, window forms, and paint colors. Such substantial matching of materials can sometimes make differentiating the historic elements of a house from newer additions difficult, but this concern is offset somewhat by the incongruity of the size of the original house and its additions. However, the size of the proposed addition, especially when considered cumulatively with the recent second-story rear addition to this home, overwhelms the appearance of the historic I-House, and so does not meet this Standard. Additionally, the proposed change to the footprint of the house does not align well with this Standard because it makes the addition and its patio visible from the street, impacting the character of the home.</p>	N

SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>Although this rear addition would require the removal of some wall material from the existing modified rear addition, it and the related patio could reasonably be removed and the current appearance of the existing rear addition restored, although a recreation of the mud porch would be necessary to completely restore the existing appearance.</p>	Y
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Although this report is advisory in nature, please be aware that exterior alterations that do not meet the Secretary of the Interior’s Standards for Rehabilitation may disqualify this property from eligibility for certain financial incentives for historic properties, such as the State Tax Credits for preservation, should the property be determined no longer eligible for historic designation due to the extent of alterations, and may also diminish the historic district as a whole.

If you have any questions regarding this review, please contact me. I can be reached at yjones@fcgov.com or at 970-224-6078.

Sincerely,

Yani Jones
Historic Preservation Planner



Design Review Application Historic Preservation Division

Fill this form out for all applications regarding designated historic buildings within the city limits of the City of Fort Collins. Review is required for these properties under Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

Applicant Information

Applicant's Name Daytime Phone Evening Phone

Mailing Address (for receiving application-related correspondence) State Zip Code

Email

Property Information (put N/A if owner is applicant)

Owner's Name Daytime Phone Evening Phone

Mailing Address (for receiving application-related correspondence) State Zip Code

Email

Project Description

Provide an overview of your project. Summarize work elements, schedule of completion, and other information as necessary to explain your project.

The following attachments are REQUIRED:

- Complete Application for Design Review
- Detailed Scope of Work (and project plans, if available)
- Color photos of existing conditions

Reminders:

Complete application would need all of checklist items as well as both pages of this document.

Detailed scope of work should include measurements of existing and proposed.

Please note: if the proposal includes partial or full demolition of an existing building or structure, a separate demolition application may need to be approved.

Additional documentation may be required to adequately depict the project, such as plans, elevations, window study, or mortar analysis. If there is insufficient documentation on the property, the applicant may be required to submit an intensive-level survey form (at the applicant's expense).

Detail of Proposed Rehabilitation Work (*Required)

If your project includes multiple features (e.g. roof repair and foundation repair), you must describe each feature separately and provide photographs and other information on each feature.

Feature A Name:	
Describe property feature and its condition:	Describe proposed work on feature:
Feature B Name:	
Describe property feature and its condition:	Describe proposed work on feature:

Use Additional Worksheets as needed.

Required Additional information

The following items must be submitted with this completed application. Digital submittals preferred for photographs, and for other items where possible.

- At least one current photo for each side of the house. Photo files or prints shall be named/labeled with applicant name and elevation. For example, smitheast.jpg, smithwest.jpg, etc. If submitted as prints, photos shall be labeled
- Photos for each feature as described in the section "Detail of Proposed Rehabilitation Work." Photo files or prints shall be named or labeled with applicant name and feature letter. For example, smitha1.jpg, smitha2.jpg, smithb.jpg, smithc.jpg, etc.

Depending on the nature of the project, one or more of the following items shall be submitted. Your contractor should provide these items to you for attachment to this application.

- Drawing with dimensions.
- Product specification sheet(s).
- Description of materials included in the proposed work.
- Color sample(s) or chip(s) of all proposed paint colors.

Partial or full demolition is a part of this project.

Partial demolition could include scopes such as taking off existing rear porches to create space for a new addition or removing an existing wall or demolishing a roof. If you are taking away pieces of the existing residence, you are likely undergoing some partial demolition.

Signature of Owner

Date



From: [Brandon Shockey](#)
To: [Historic Preservation](#)
Subject: [EXTERNAL] Re: Submittal for 313 Edwards
Date: Monday, August 5, 2024 4:08:13 PM
Attachments: [313 Edwards- PEDERSON RESIDENCE-PHASE II SCHEMATIC DESIGN 5-07-24.pdf](#)
[2019-revised-coa-application-fillable-Signed.pdf](#)

Hi,

Thanks for the quick reply!

It is my mistake I did not attach the plans, however they should now be available.

Sorry about that.

Also, I realized Claire's name is missing an 'e' in the submittal. So I have attached a corrected version of that as well.

The siding is 4" drop lap siding, There is also a mixed 12" 3 to 1 siding panel material. We are going to match all of this as well as the color. As we do not want to derive from the aesthetic of the house.

There was a complete historical survey done in 2019 as well if that helps with any of that information.

I did updated those check marks that on the new submittal.

If there is anything else we missed or any more information we need please let us know!

Thank you for your time!

On Mon, Aug 5, 2024 at 3:11 PM Historic Preservation <preservation@fcgov.com> wrote:

Thanks for sending this over, Brandon!

I saw that you checked the boxes on the Design Review Application that you included plans/drawings, product sheets/descriptions of materials, and color samples as attachments, but it doesn't look like any of that came through – Would you mind trying to send those materials again?

Take care,

Yani

.....
YANI JONES

Pronouns: She/Her ([What's this?](#))

Historic Preservation Planner

City of Fort Collins Historic Preservation Services

(970) 224-6045

<https://www.fcgov.com/historicpreservation/>

Get monthly historic preservation updates in your inbox by toggling on “Historic Preservation Matters” [here](#), or email preservation@fcgov.com to be added to the newsletter mailing list!

From: Brandon Shockey <brandon@oldtowndesignbuild.com>

Sent: Monday, August 5, 2024 2:05 PM

To: Historic Preservation <preservation@fcgov.com>

Cc: Keira Harkin <keira@oldtowndesignbuild.com>

Subject: [EXTERNAL] Submittal for 313 Edwards

Good afternoon,

I have an attached PDF and images for historical review to get this project underway.

Please review and let us know if there are any questions or concerns!

Thank you!

--

Brandon Shockey
Architectural Design / 3D Visualization

OLD TOWN DESIGN BUILD, INC.

210 E Oak Street, Suite B

Fort Collins, CO 80524

970.617.8983



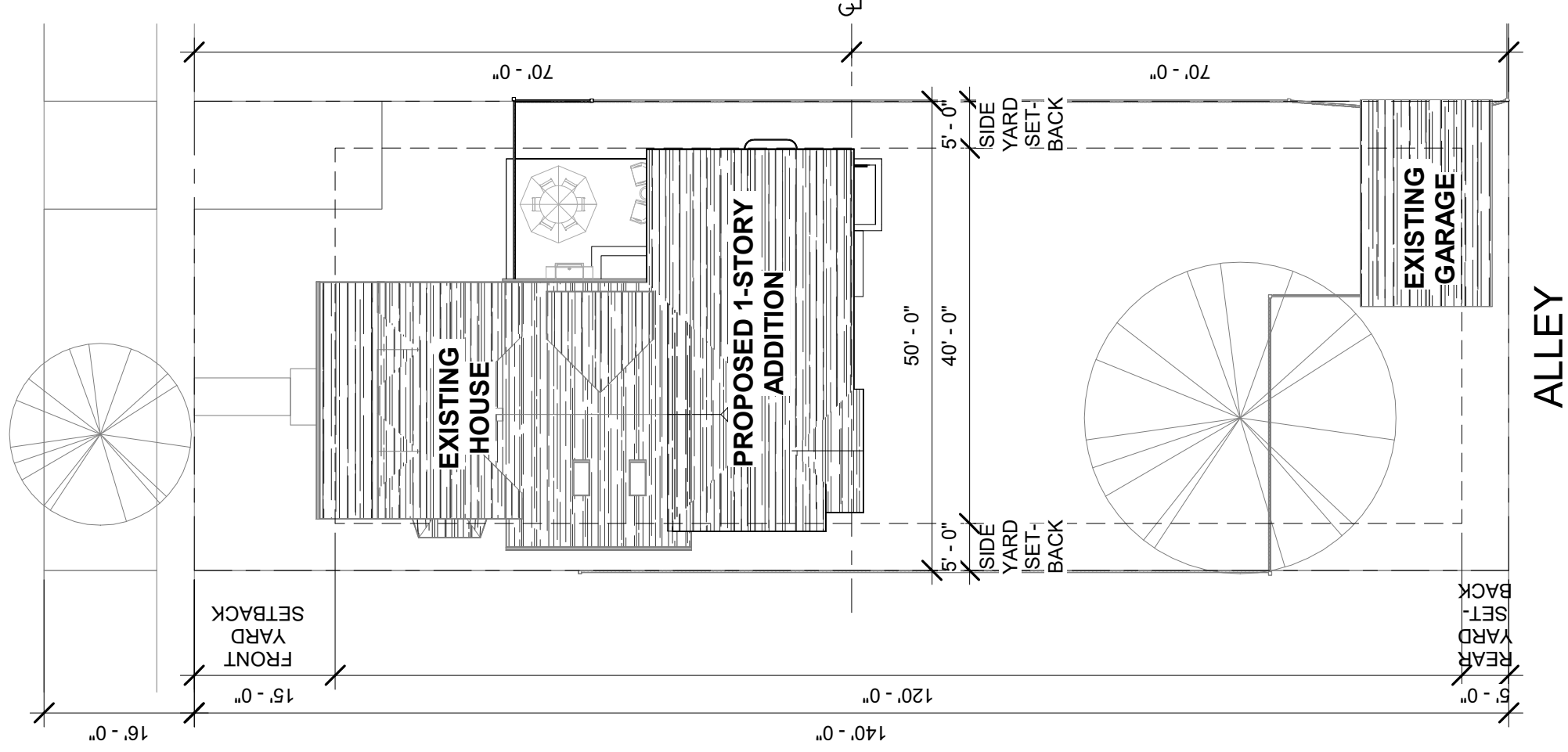
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Brandon Shockey
Architectural Design / 3D Visualization

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EDWARDS STREET

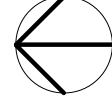


ALLEY

PROPOSED SITE PLAN- PHASE II

SCALE: 1/16" = 1'-0"

SD1-2



PHASE II SD

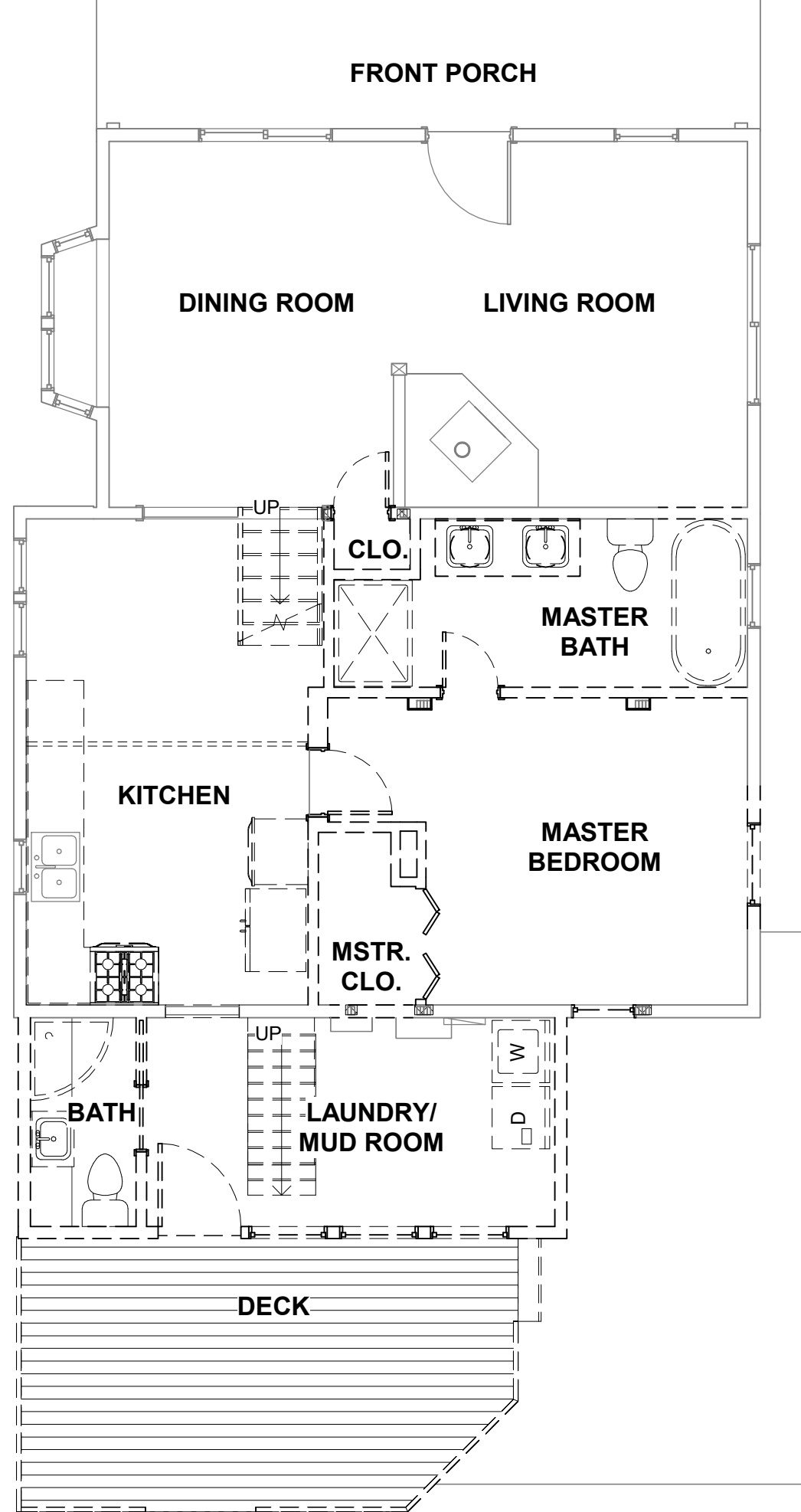
5.07.24

PEDERSON RESIDENCE

313 Edwards Street
Fort Collins, Colorado

s t u d i o
a r c h i t e c t u r e

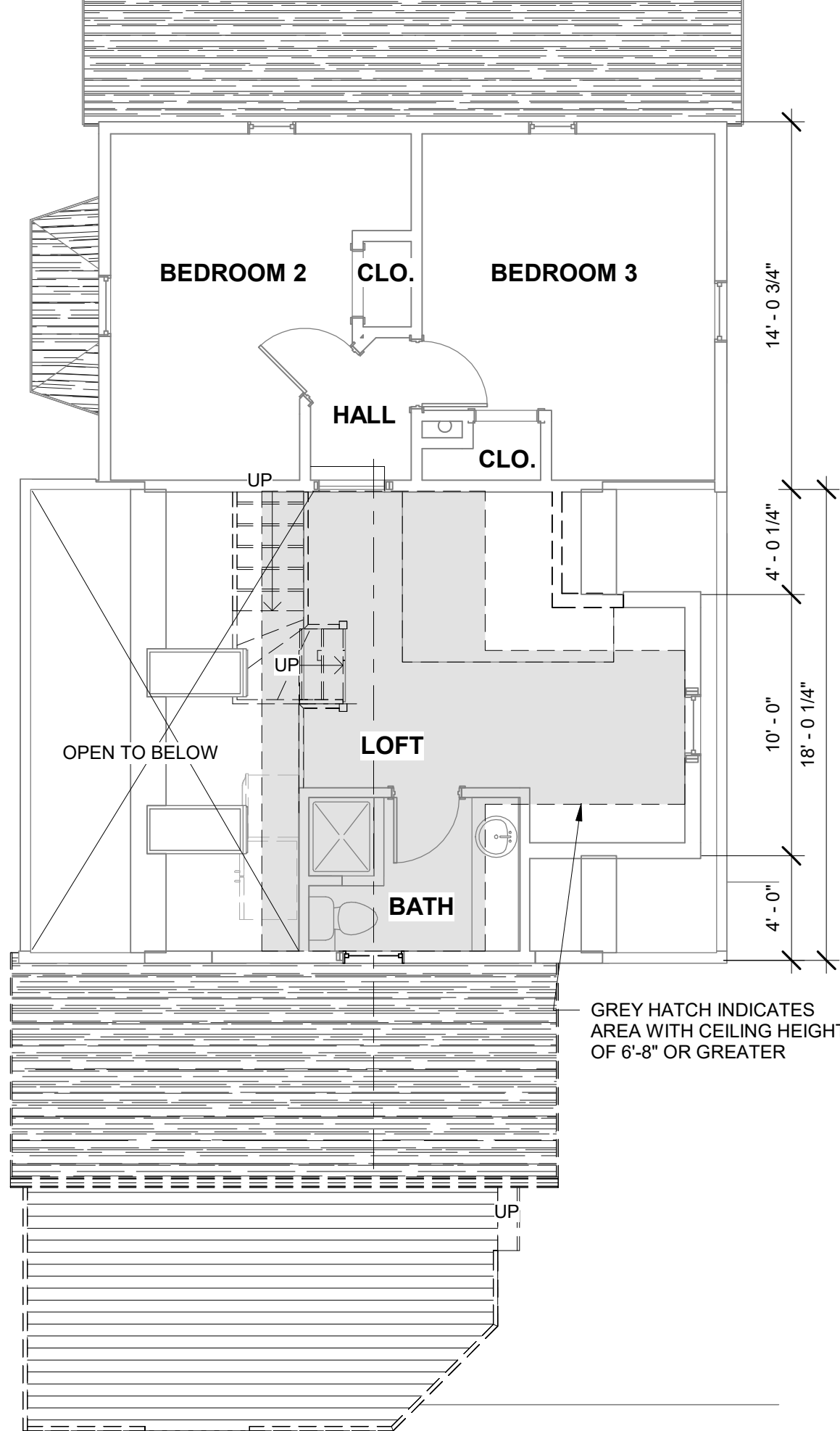
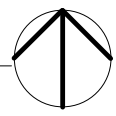
715 west mountain avenue
fort collins, colorado 80521
phone: 970.231.1040
e-mail: heidshuff@gmail.com



FIRST FLOOR DEMO PLAN - PHASE II

1
SD10-2

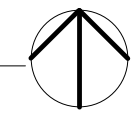
SCALE: 3/16" = 1'-0"



SECOND FLOOR DEMO PLAN - PHASE II

2
SD10-2

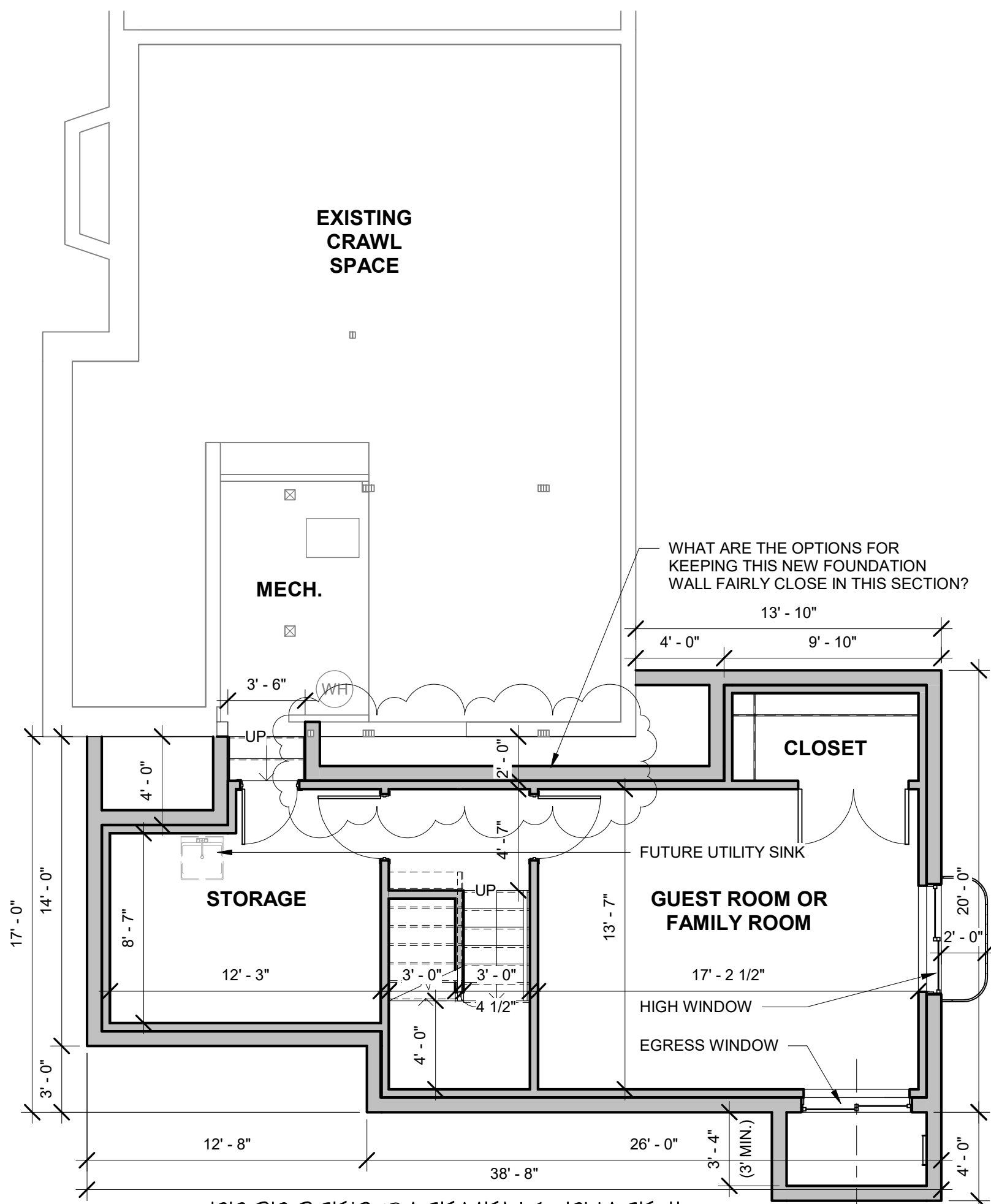
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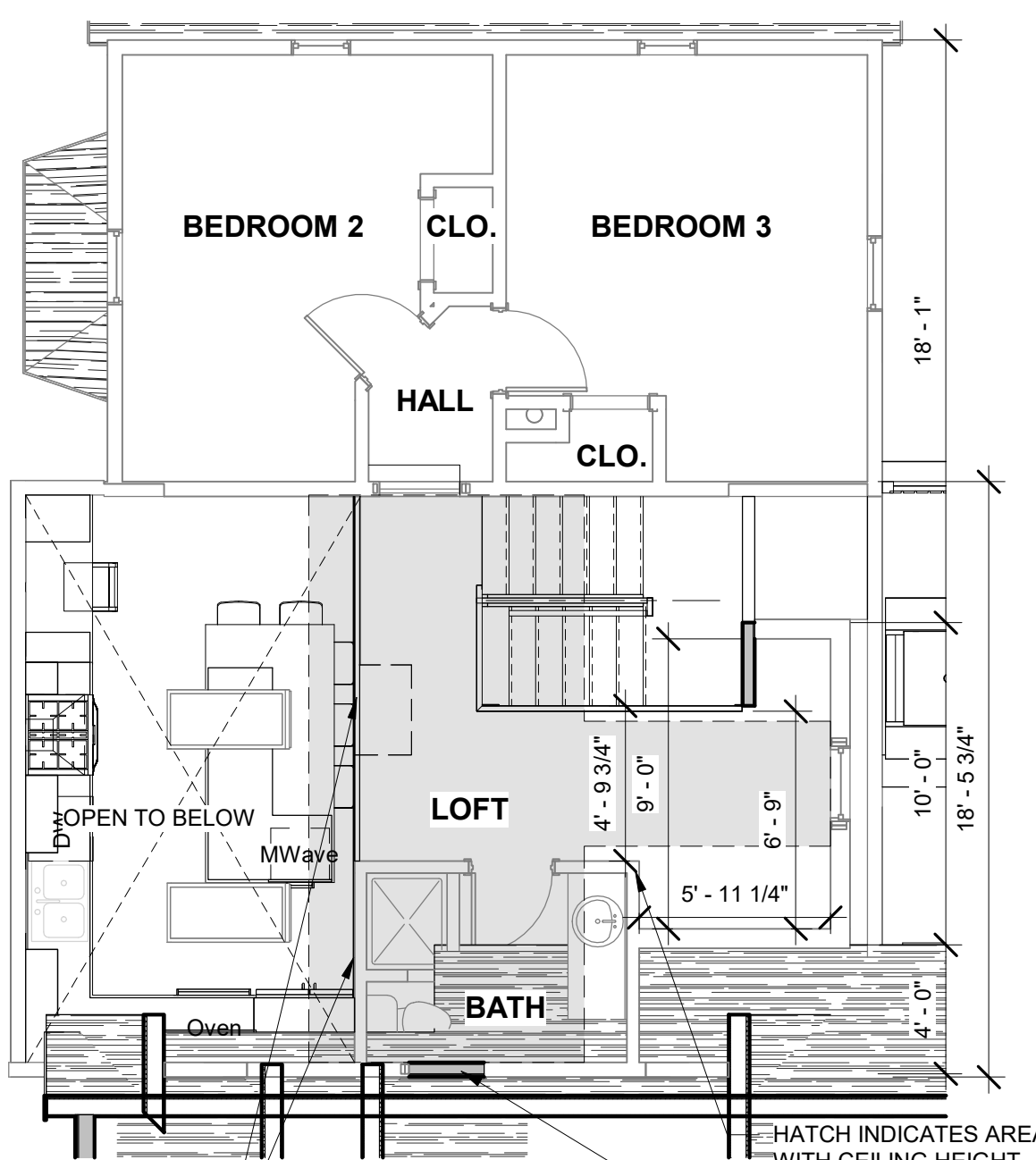
5.07.24

PEDERSON RESIDENCE
313 Edwards Street
Fort Collins, Colorado

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architecture
715 west mountain avenue
fort collins, colorado 80521
phone: 970.231.1040
e-mail: heldishuff@gmail.com



PHASE II SD 2
 2023-2 SCALE: 3/16" = 1'-0"
 PROPOSED BASEMENT- PHASE II



*INSTALL NEW SEMI-FLUSH BEAM AS PART OF PHASE II WHEN WE REMOVE EXST. BEARING WALL BELOW

HATCH INDICATES AREA WITH CEILING HEIGHT OF 6'-8" OR GREATER

NOTE: BATHROOM WINDOW WILL NEED TO BE INFILLED W/ PHASE II ROOF CONSTRUCTION

SD3-2 PROPOSED SECOND FLOOR- PHASE II
 SCALE: 3/16" = 1'-0" 336 SF EXST. + 223 SF ADDITION= 559 SF



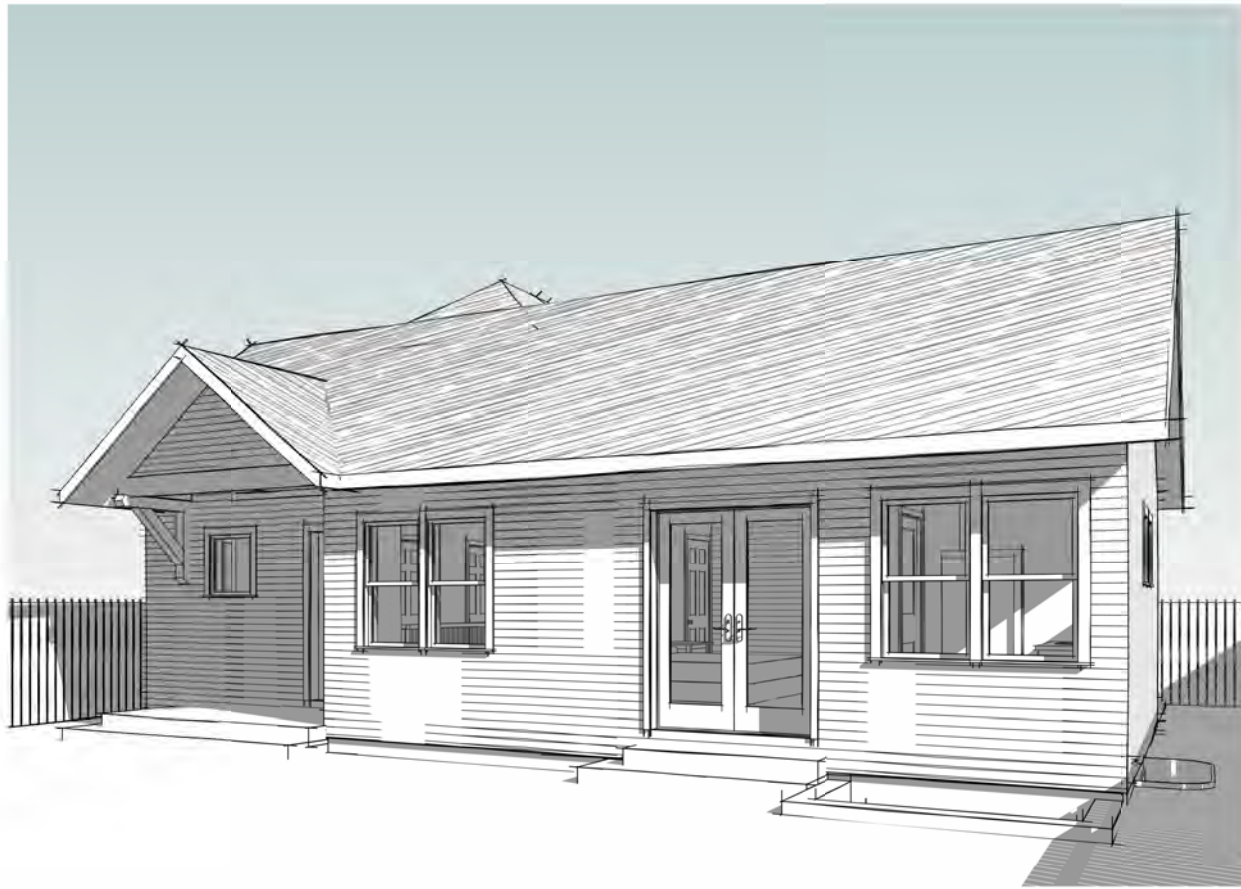
3 SD 3D VIEW- NORTHEAST- PHASE II
SD4-2 SCALE:



1 SD NORTH ELEVATION- PHASE II
SD4-2 SCALE: 3/16" = 1'-0"

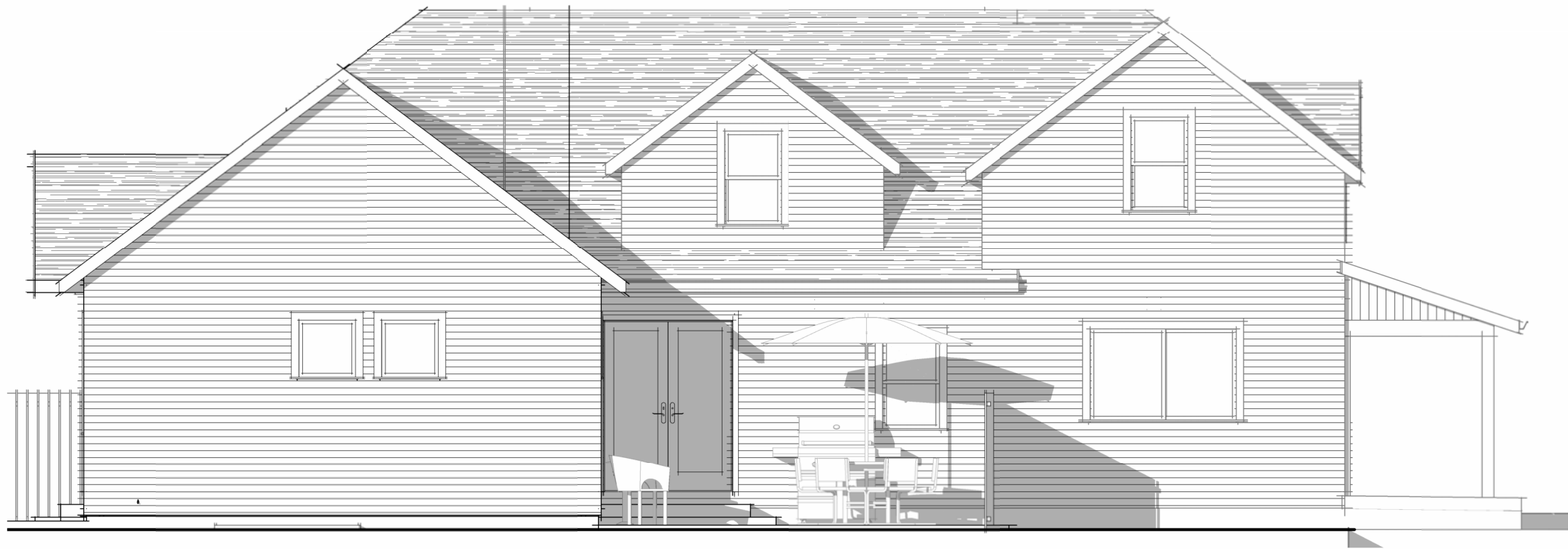


2 SD WEST ELEVATION- PHASE II
SD4-2 SCALE: 3/16" = 1'-0"



3
SD5-2 SCALE: SD 3D VIEW- SOUTHEAST- PHASE II

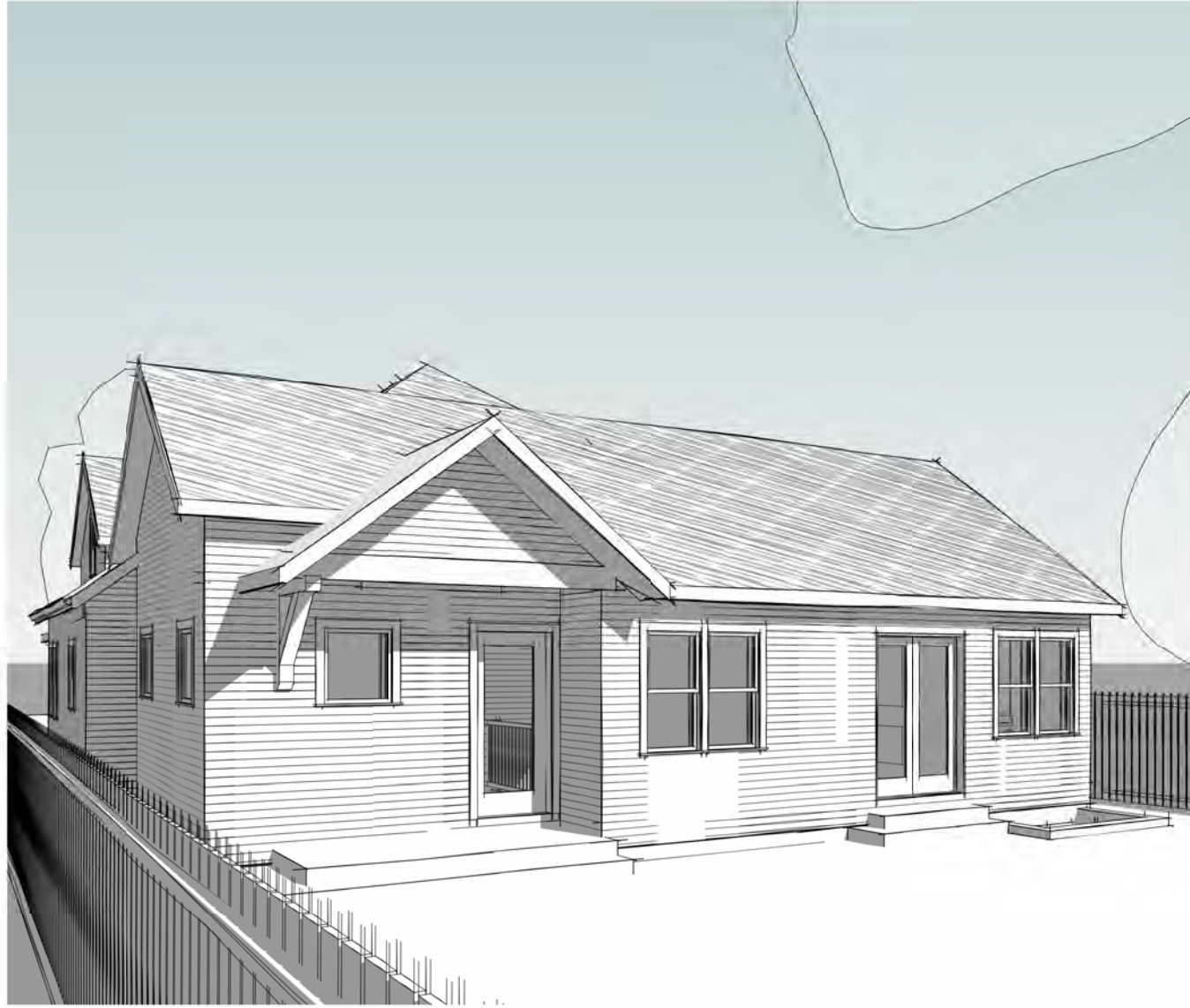
2
SD5-2 SCALE: 3/16" = 1'-0" SD SOUTH ELEVATION- PHASE II



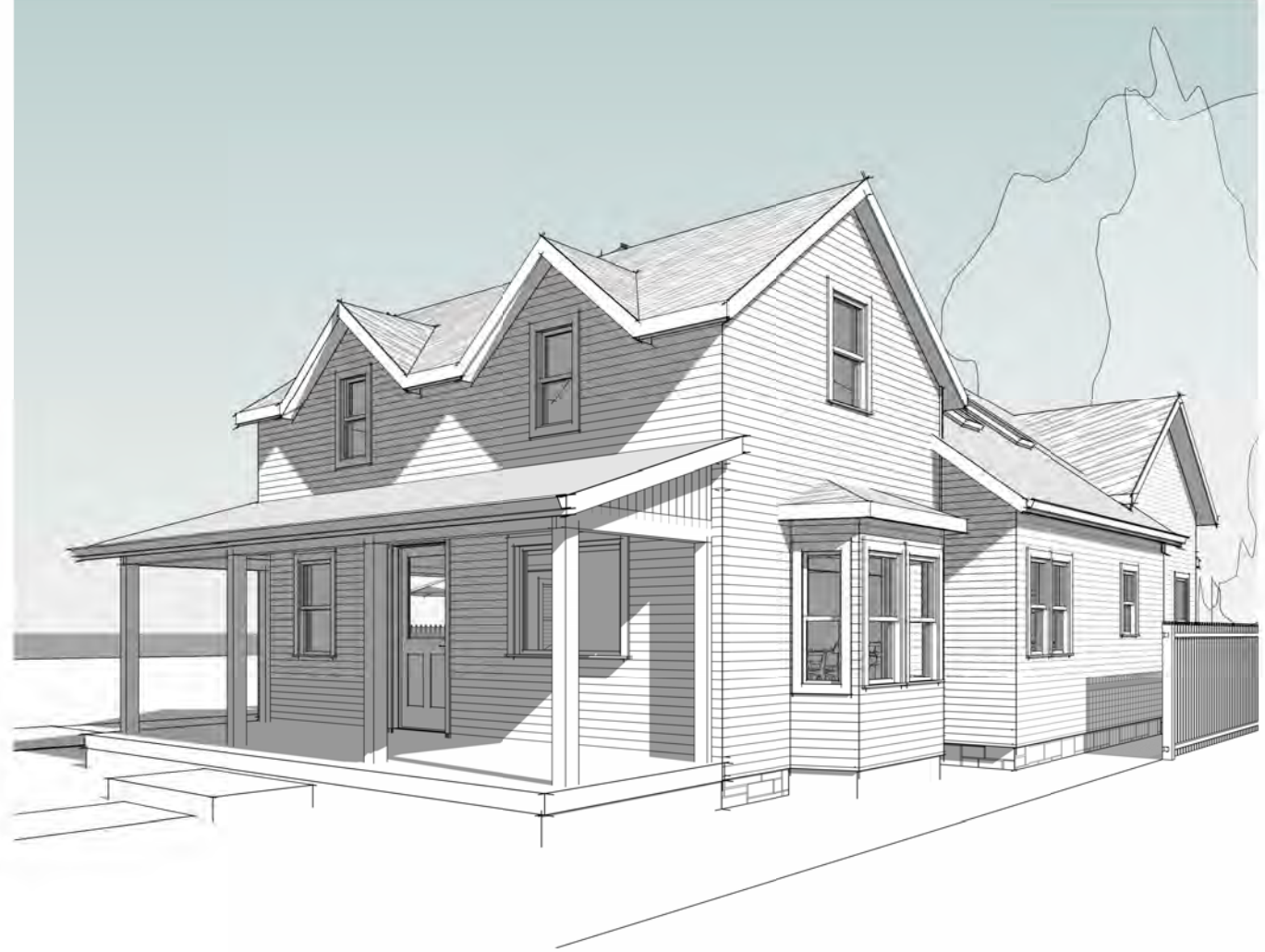
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SD5-2 SCALE: 3/16" = 1'-0" SD EAST ELEVATION- PHASE II

PHASE II SD

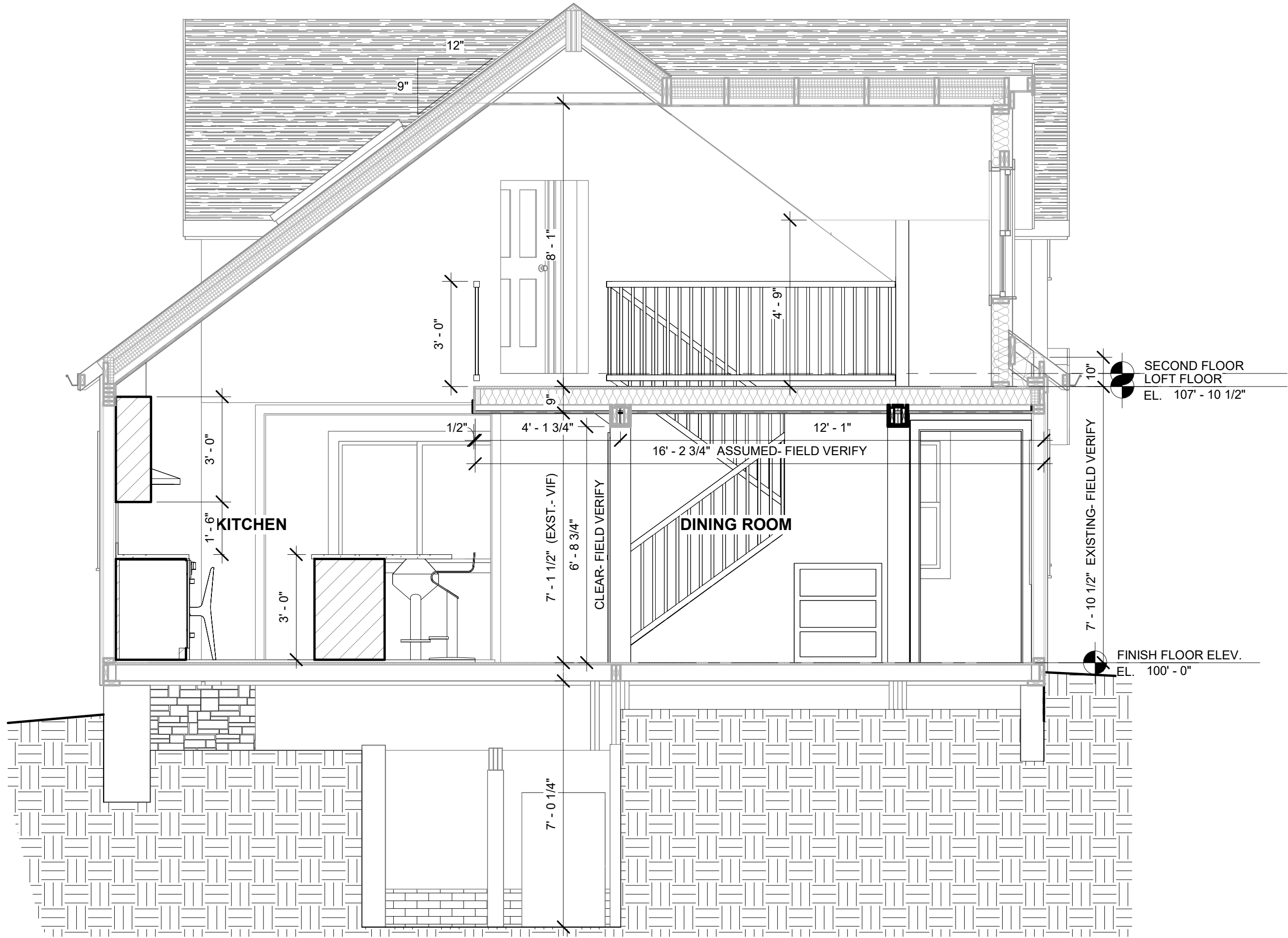
5.07.24



1 SD 3D VIEW- SOUTHWEST- PHASE II
 SD6-2 SCALE:



2 SD 3D VIEW- NORTHWEST- PHASE II
 SD6-2 SCALE:



EAST-WEST SECTION- PHASE II

507-2

SCALE: 3/8" = 1'-0"

PEDERSON RESIDENCE
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 Fort Collins, Colorado

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 phone: 970.231.1040
 715 west mountain avenue
 fort collins, colorado 80521
 e-mail: heldishuff@gmail.com



1
SD8-1 SCALE: 3D INTERIOR VIEW- DINING/ STAIR NE- PHASE II



2
SD8-1 SCALE: 3D INTERIOR VIEW- DINING/ STAIR SE- PHASE II



1
SD8-2 SCALE: 3D INTERIOR VIEW- KITCHEN E- PHASE II



2
SD8-2 SCALE: 3D INTERIOR VIEW- KITCHEN S- PHASE II



tv or artwork opposite the bed?

note: we could use open railing for a lighter feel, or partial height walls here (railing would be more expensive)

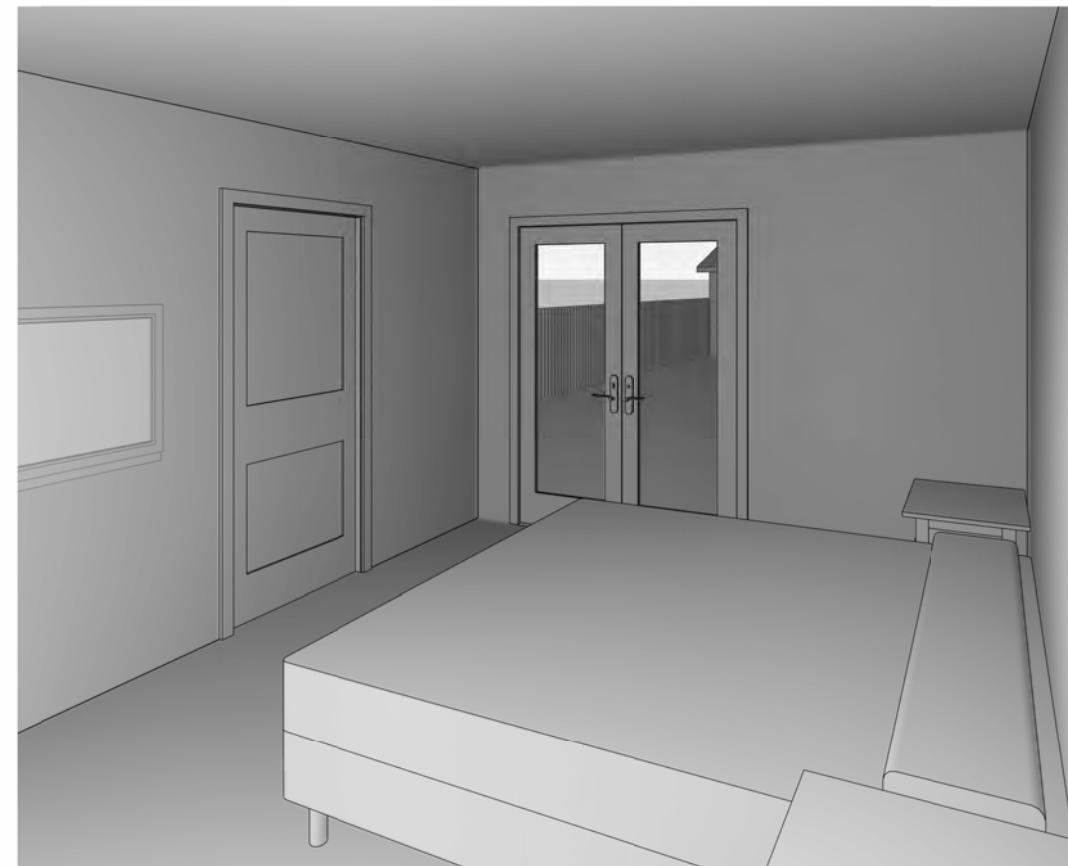
3 3D INTERIOR VIEW- BACK ENTRY N- PHASE II
SD9-2 SCALE:



1 3D INTERIOR VIEW- PRIMARY BED NE- PHASE II
SD9-2 SCALE:



4 3D INTERIOR VIEW- P. BATH SE- PHASE II
SD9-2 SCALE:



2 3D INTERIOR VIEW- PRIMARY BED SE- PHASE II
SD9-2 SCALE:







