



**Historic Preservation Services**  
Community Development & Neighborhood Services  
281 N. College Ave.  
Fort Collins, CO 80524  
970.224.6078  
[preservation@fcgov.com](mailto:preservation@fcgov.com)  
[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

**CERTIFICATE OF APPROPRIATENESS – Minor Alteration**  
**ISSUED: August 9, 2024**  
**EXPIRATION: August 2, 2025**

Astrid  
c/o Adam Trainor, 970 Services  
504 W. Eisenhower Blvd., Ste. 1  
Loveland, CO 80537

Dear Property Owner:

This letter provides you with certification that proposed work to your designated historic property, the Evans Residence at 507 Mathews St., has been approved by the City's Historic Preservation Division (HPD) because the proposed work appears to be routine in nature with minimal effects to the historic resource and meets the requirements of Chapter 14, [Article IV](#) of the Fort Collins Municipal Code and Section 5.8.1 of the Land Use Code.

The alterations reviewed include:

- Structural repair to existing rear deck to bring into conformance with building code. Deck and steps will maintain current exterior appearance. Paint to be touched up as needed.
  - *If it is currently unknown if the paint on the deck is currently water (latex) based or oil based, please test before applying new paint or use an oil-based primer to act as a bridge prior to applying paint; applying water and oil-based paints directly to each other can result in bubbling and peeling.*

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that work beyond that indicated in your permit application/correspondence requires additional approval. Items requiring further approval include, but are not limited to, the following activities:

- Application of water sealants, including waterproof wood treatments or waterproof paints (generally discouraged);
- Highly abrasive paint removal methods such as use of rotary sanders, power washing, or sandblasting that are discouraged due to likelihood of damage to the underlying material

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at (970) 224-6078.

Sincerely,

Yani Jones  
Historic Preservation Planner



BUILDING PERMIT APPLICATION

FOR OFFICE USE
APPLICATION NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Job Site Address \_\_\_\_\_ Unit# \_\_\_\_\_

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name \_\_\_\_\_ First Name \_\_\_\_\_ Middle \_\_\_\_\_

Street Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone # \_\_\_\_\_ Email \_\_\_\_\_

Name of Business (COMMERCIAL USE ONLY) \_\_\_\_\_

CONTRACTOR INFO: Company Name \_\_\_\_\_

License Holder Name \_\_\_\_\_ LIC # \_\_\_\_\_ CERT # \_\_\_\_\_

LEGAL INFO:

Subdivision/PUD \_\_\_\_\_ Filing # \_\_\_\_\_ Lot # \_\_\_\_\_ Block # \_\_\_\_\_ Lot Sq Ft \_\_\_\_\_

CONSTRUCTON INFO: Total Building Sq Ft (NOT including basement) \_\_\_\_\_ Total Garage Sq. Ft. \_\_\_\_\_

Residential Sq Ft \_\_\_\_\_ Commercial Sq Ft \_\_\_\_\_ # of Stories \_\_\_\_\_ Bldg Ht \_\_\_\_\_ # of Dwelling Units \_\_\_\_\_

1st Floor Sq Ft \_\_\_\_\_ 2nd Floor Sq Ft \_\_\_\_\_ 3rd Floor Sq Ft \_\_\_\_\_ Unfinished Basement Sq Ft \_\_\_\_\_

Finished Basement Sq Ft \_\_\_\_\_ # of Bedrooms \_\_\_\_\_ # of Full Baths \_\_\_\_\_

¼ Baths \_\_\_\_\_ ½ Baths \_\_\_\_\_ # Fireplaces \_\_\_\_\_

ENERGY INFORMATION: (CHECK ONE)

Prescriptive [ ] Performance [ ] U/Arescheck [ ] ERI [ ] ASHRAE [ ] Component/Comcheck [ ] IDAP [ ]

Air Conditioning? YES [ ] NO [ ]

City of Fort Collins Approved Stock Plan # SPO \_\_\_\_\_ List Option #s \_\_\_\_\_

Utilities INFO:

New Electric Service [ ] Electric Service Upgrade [ ] Electric Meter Relocation [ ]

Electric Main Breaker Size (Residential Only): 150 amps or less [ ] 200 amps [ ] Other: [ ]

Gas [ ] Electric [ ] Electric Temp Pedestal? Yes [ ] No [ ]

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.) \_\_\_\_\_

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant [ ] New Tenant [ ]

If for a new tenant, is this the first tenant to occupy this space?

Yes [ ] No [ ] If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes [ ] No [ ]

If yes, please describe: \_\_\_\_\_

**Value of Construction (materials and labor):** \$ \_\_\_\_\_

**Description of Work:** \_\_\_\_\_

**JOBSITE SUPERVISOR CONTACT INFO:** Name \_\_\_\_\_ Phone \_\_\_\_\_

**SUBCONTRACTOR INFO:** Electrical \_\_\_\_\_ Mechanical \_\_\_\_\_

Plumbing \_\_\_\_\_ Framing \_\_\_\_\_ Roofing \_\_\_\_\_

Fireplace \_\_\_\_\_ Solar \_\_\_\_\_ Other \_\_\_\_\_

**ASBESTOS STATEMENT DISCLOSURE:** *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

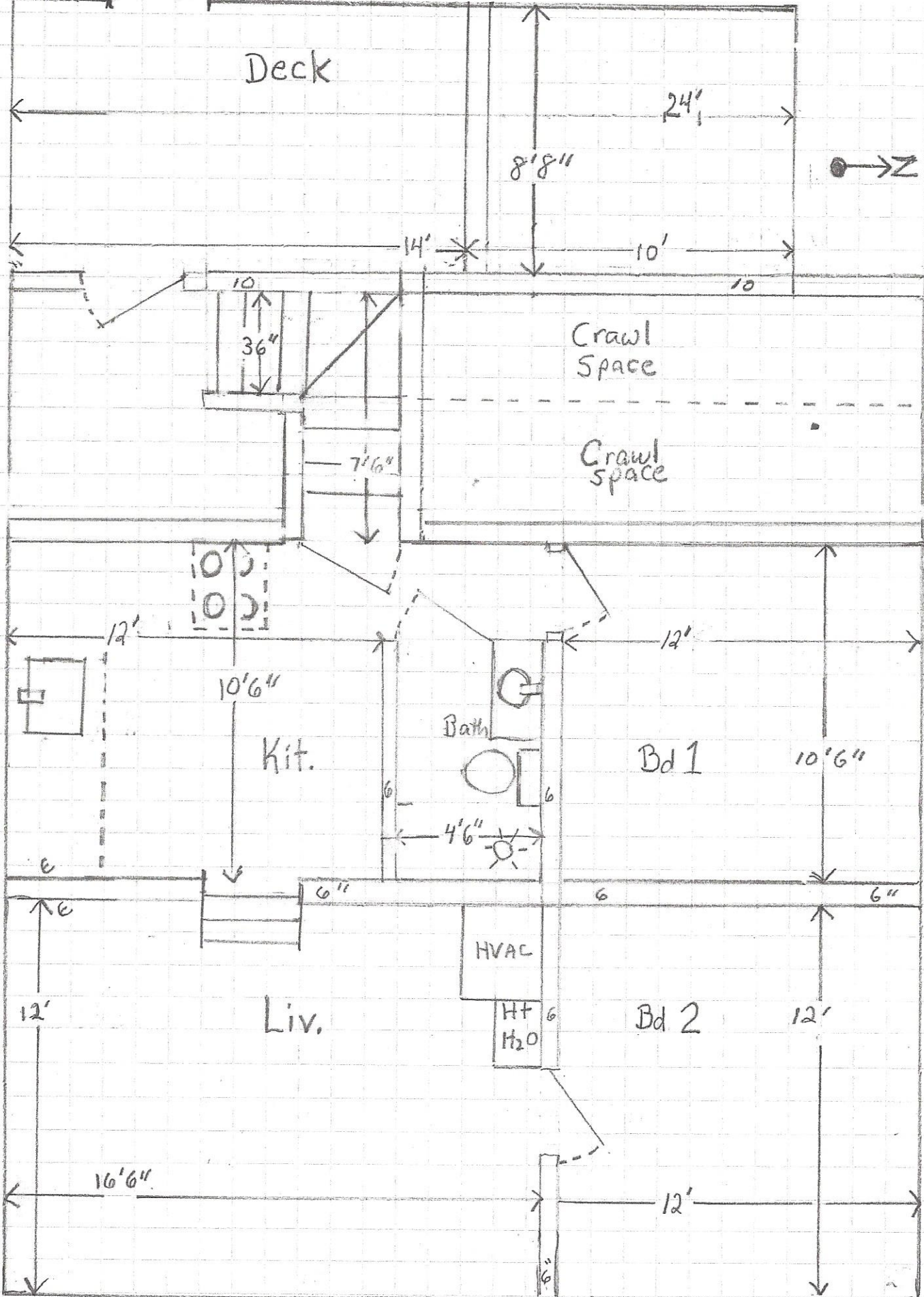
- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) \_\_\_\_\_
- An asbestos inspection has not been conducted on this property.

**Applicant:** I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

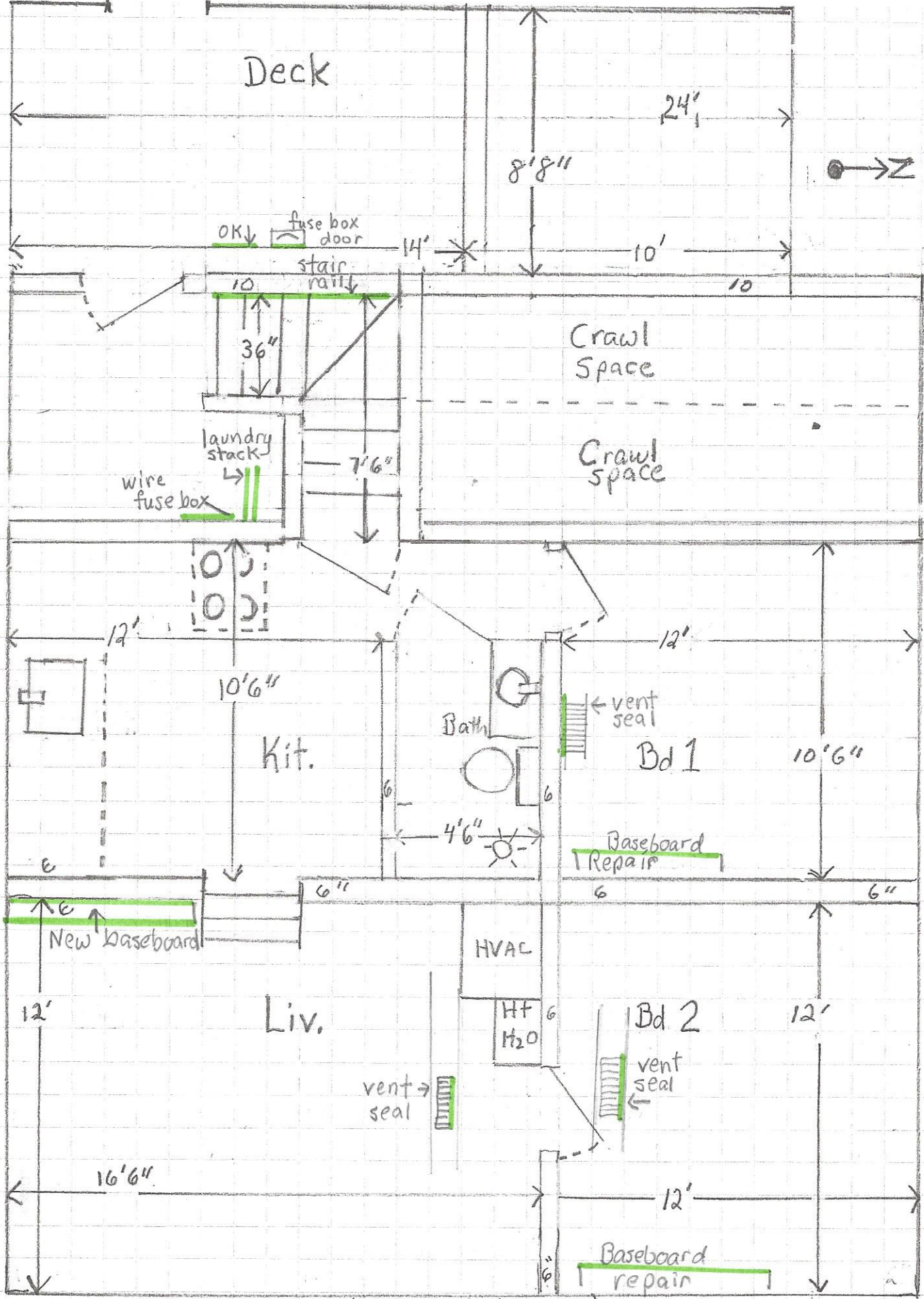
Applicant Signature  Type or Print Name \_\_\_\_\_

Phone # \_\_\_\_\_ Email \_\_\_\_\_

**THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE**



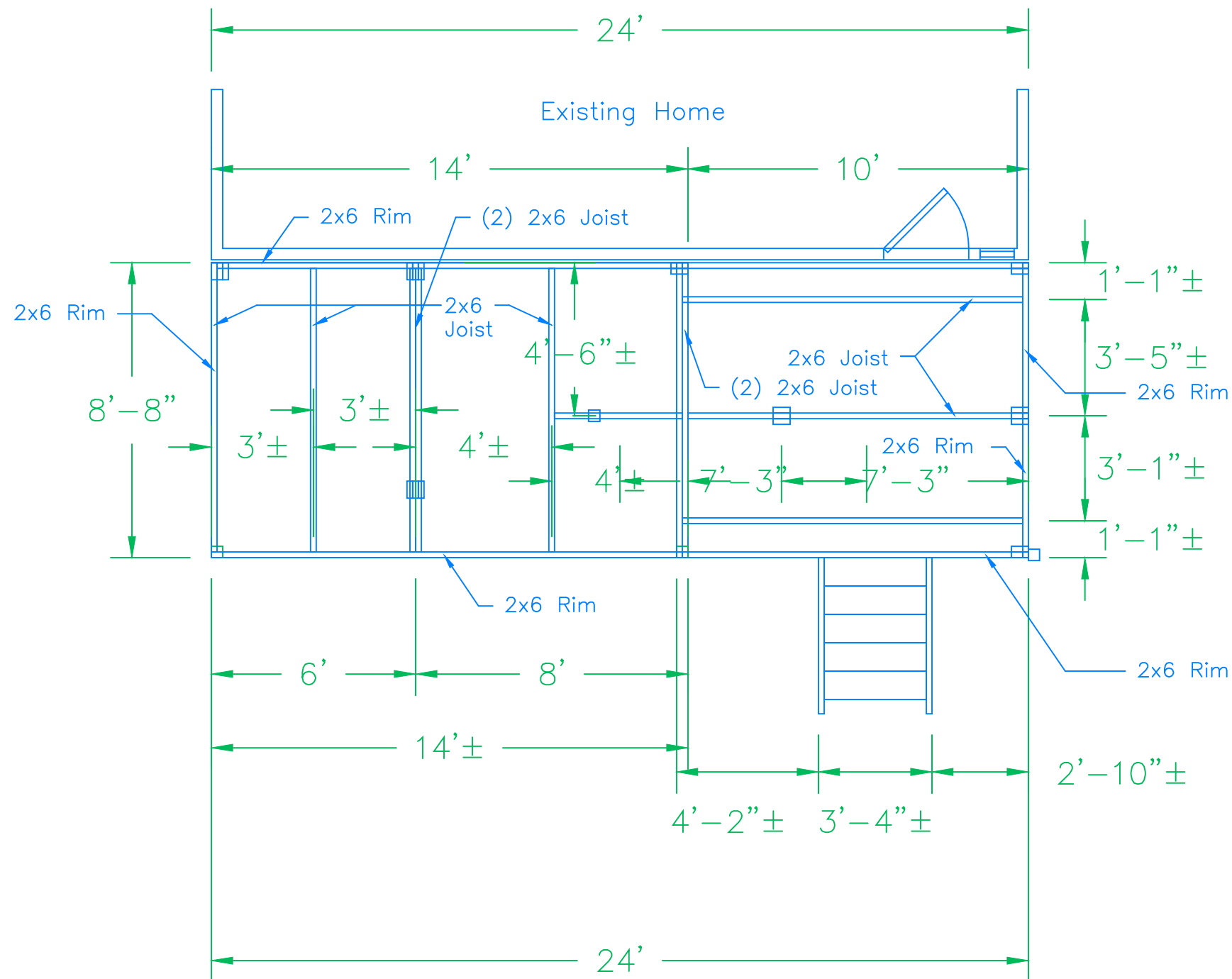
507 Mathews St. (Lower) Ft Collins, CO



507 Mathews St. (Lower) Ft Collins, CO

# Existing Deck Structural Framing Plan

Scale:  $\frac{1}{4}'' = 1'$  or 1:48



**Decking Boards:**  
All decking boards are 2x6 planks gapped approximately  $\frac{1}{8}'' - \frac{1}{4}''$ . Decking boards run perpendicular to the joists shown. The south 10' of deck is 5.5" below the north 14' portion. Though not apparent, the deck must have some connection to the home.

The deck joists and rim boards are 2x6.

The posts are either 4x4 or (2) 2x6s or (3) 2x6s.

Stairs are a short prefab stairway with single stringers. A handrail was attached to one stringer.

**Engineer's Notes:**

This deck as built will not support the site design loads. The major issues are the spacing of the 2x6 joists and the transfer below the joists to the ground via the posts. The improvements listed in Page 2 will allow the existing deck to support the site loads.

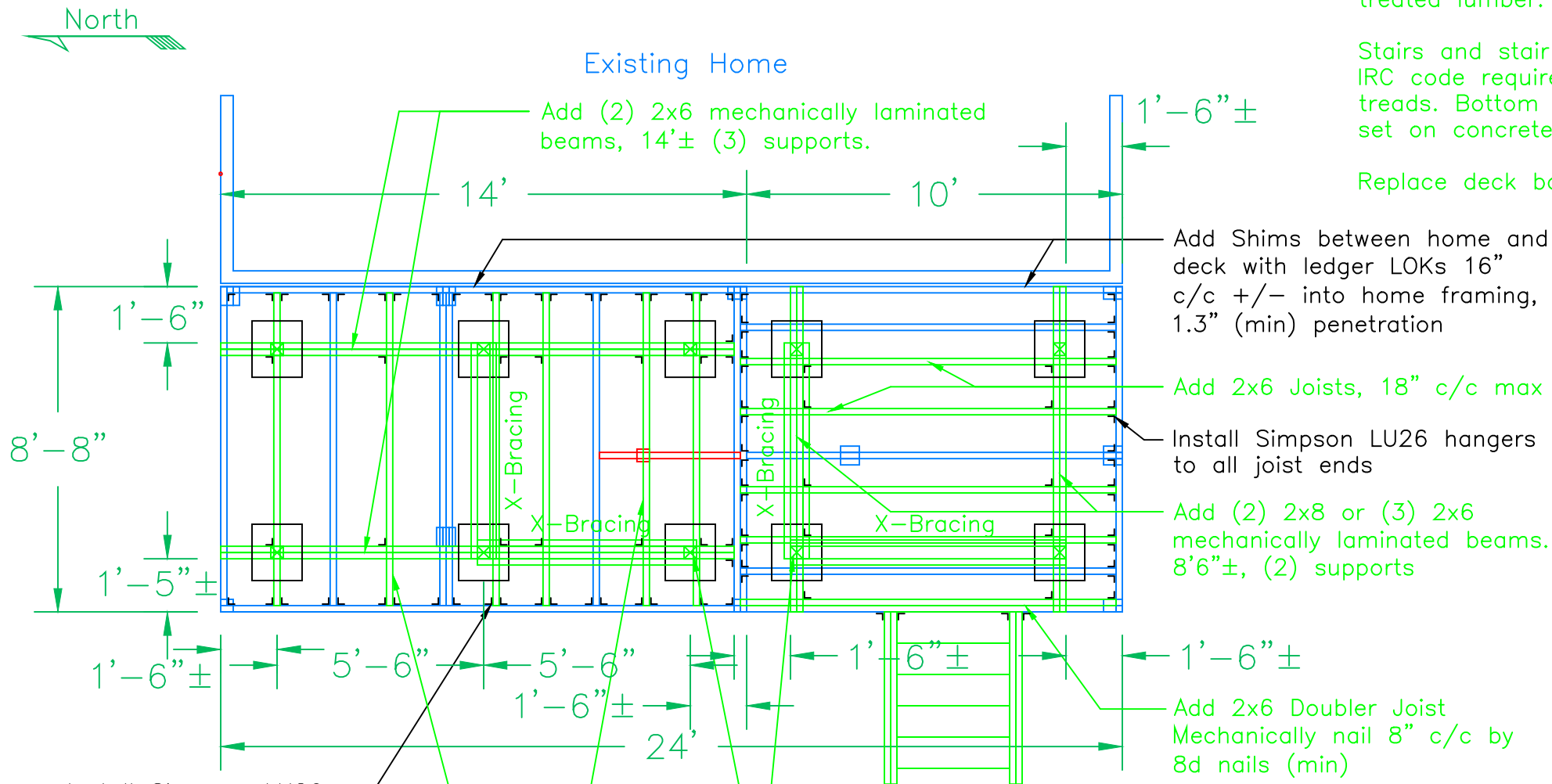


Design Based on:  
2021 IRC Code in Fort Collins  
123 mph - Exp B  $V_{IK}$  Wind Load  
35 psf ground load Snow Load  
60 psf occupancy Live Load  
Reasonable weight estimates  
Footing design based on 1500 psf  
max bearing for DL + LL.

<p>Customer: Astrid Project Number: 24-011</p>	<p>Robinson Engineering, Inc 319 South Grant Avenue Fort Collins, Colorado 80521 (970) 217-4960 Office RobEngInc@gmail.com</p>
<p>Existing Rear Deck Plan</p>	<p>Drawing Information: Astrid 507 Mathews Deck Imp.ACAD 7 May, 2024 Drawn by: Geoff Robinson Reviewed by:</p>
<p>Improvements to 88"x24"± Deck Improvement Design for Astrid 507 Mathews Street, Fort Collins, Colorado 80524</p>	

# Improvements for Deck Plan

Scale:  $\frac{1}{4}" = 1'$  or 1:48



Install Simpson LU26 hangers to all joist ends

Add 2x6 Joists, 18" c/c max

Added beams should be 15"-18" inside perimeter edges.

Add X-Bracing between (1) east-west and (1) north-south post pairs each deck level. 2x4 (min) x-bracing members. (4) min 3.5" Ledger LOKs 2x4 to post.

4x4 Posts (10 total) bearing on firmly on 18"x16" (min) (2ft ) ABS bearing pads. If ground is rough, scrape soil flat and level or add firmly compacted fill. When complete, pads and posts should have solid bearing, Install Simpson LCE4/AC Post Cap pairs to added beams.

Framing:  
Meet the 2021 IRC Code and Practice as adopted by the City of Fort Collins.

Leave existing deck in place with the noted improvements.

All new lumber shall be treated #2 (min) grade. All nails, connectors, hangers and hurricane ties shall be plated for use on treated lumber.

Stairs and stair railings should meet 2021 IRC code requirements. Expect 5 - 6 treads. Bottom of stair framing should set on concrete or ABS Pads.

Replace deck boards as needed.

Remove this 2x6 spreader and post.

Install Simpson L50 angles to all rimboard inside corners.

Install Simpson H2.5A hurricane ties between all joists and the added beams.

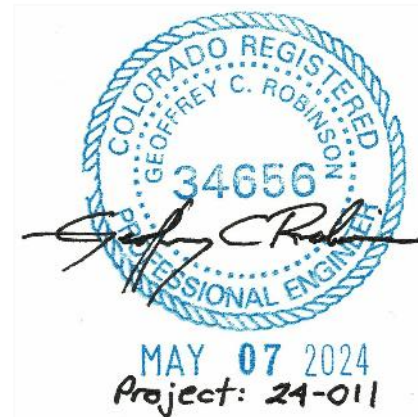
Steps and Railing Guards Framing:

Repair railing as needed.

For railing repair and new steps:  
Meet the 2021 IRC Code and Practice as adopted by the City of Fort Collins.

7.75" (max) risers, 10" (min) treads, 36" min width. no openings greater than 4".

We recommend the steps bear on a 4'x12"x4" minimum surface footing to separate the treated wood from direct soil contact.



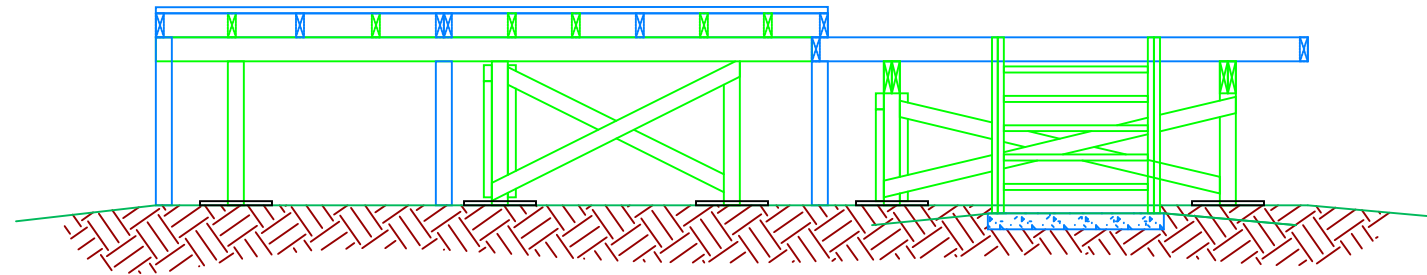
Design Based on:  
2021 IRC Code in Fort Collins  
123 mph - Exp B  $V_{IK}$  Wind Load  
35 psf ground load Snow Load  
60 psf occupancy Live Load  
Reasonable weight estimates  
Footing design based on 1500 psf max bearing for DL + LL.

Robinson Engineering, Inc.



# West Elevation of Deck with Improvements

Scale: 1/4" = 1' or 1:48



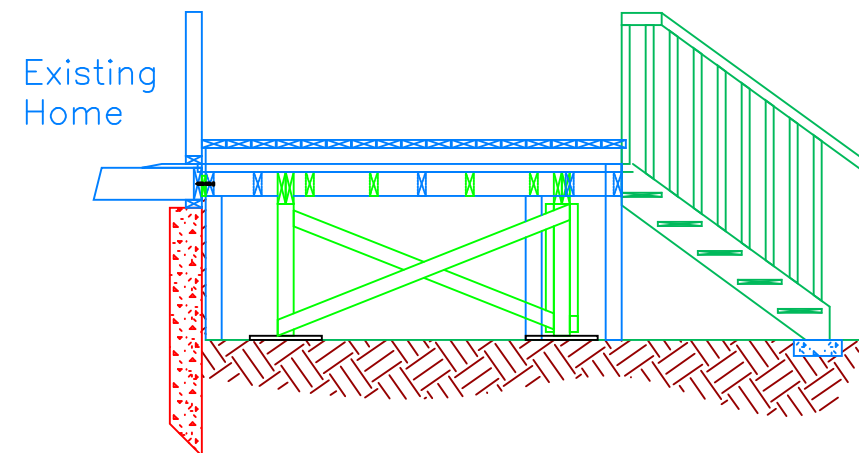
Deck and Stair railing not shown in drawing.

## General Notes as applicable

- This plan assumes builder and contractors use competent methods of construction, demonstrate quality workmanship and recognize customary responsibilities within the scope of this project.
- The structural design of this drawing set assumes the owner and contractor will observe the practice presented in the 2021 International Residential Code as adopted by Fort Collins.
- Soil Report: No soil report supplied  
Design based on typical conservative design values for Fort Collins "Old Town" soils.  
Maximum allowable soil pressure: 1500 psf Total Load  
Minimum Soil Pressure: N/A psf  
Maximum expected swell: none
- Final grade to direct water away from structure for at least 10'.
- Failure to build according to supplied specifications on stamped plans shall function as a release of all liability of the engineer associated with the stamped engineered plans. In such a case, the owner and/or the owner's contractors assume full liability.
- All dimensional lumber shall be treated #2 grade (min)

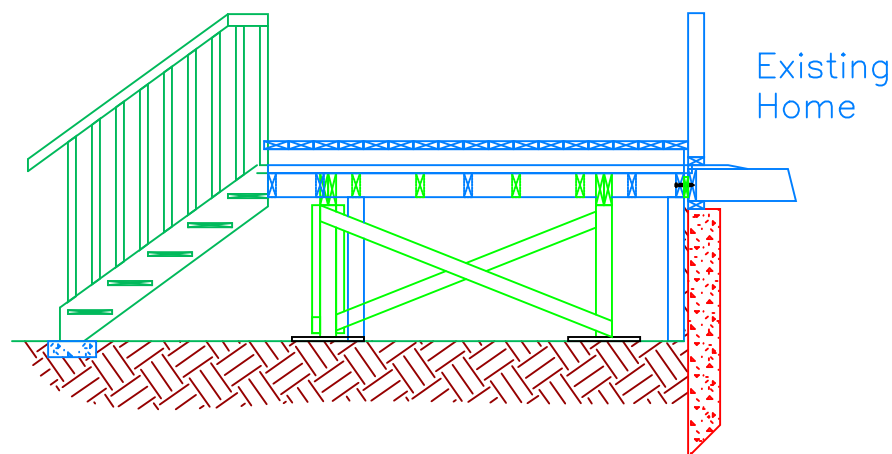
# North Elevation of Deck with Improvements

Scale: 1/4" = 1' or 1:48



# South Elevation of Deck with Improvements

Scale: 1/4" = 1' or 1:48



Customer: Astrid Project Number: 24-011 Drawing Information: Astrid 507 Mathews Deck Imp.ACAD 7 May, 2024 Drawn by: Geoff Robinson Reviewed by:	Roberson Engineering, Inc 319 South Grant Avenue Fort Collins, Colorado 80521 (970) 217-4960 Office RobEngInc@gmail.com
Deck Framing Improvements Plan Improvements to 8'8"x24" ± Deck Improvement Design for Astrid 507 Mathews Street, Fort Collins, Colorado 80524	



Design Based on:  
 2021 IRC Code in Fort Collins  
 123 mph - Exp B V<sub>W</sub> Wind Load  
 35 psf ground load Snow Load  
 60 psf occupancy Live Load  
 Reasonable weight estimates  
 Footing design based on 1500 psf  
 max bearing for DL + LL.

**From:** [Adam Trainor](#)  
**To:** [Yani Jones](#); [Historic Preservation](#)  
**Subject:** [EXTERNAL] Fw: 507 Mathews deck structure strengthen Permit B2405213 - Historic Preservation Review  
**Date:** Thursday, August 8, 2024 3:57:19 PM

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Good afternoon Yani,

Apologies for the delay. Attached are photos of the existing deck. The bulk of the work will take place below the deck surface to strengthen the existing deck and bring it up to code from a structural standpoint. For the steps, we plan to detach them and properly secure them, but they will remain the same from an appearance standpoint. If the city requires that they be modified for any reason, they will be re-built as close to the existing style as possible. The paint will be touched up as needed, but the color scheme is currently planned to remain the same as before.

Please let me know if you need anything else.

Thank you,  
Adam

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**From:** Astrid . <[astrid@aastarship.com](mailto:astrid@aastarship.com)>  
**Sent:** Wednesday, July 31, 2024 6:19 PM  
**To:** Adam Trainor <[Adam@970services.com](mailto:Adam@970services.com)>  
**Subject:** 507 Mathews deck structure strengthen Permit B2405213 - Historic Preservation Review

To whom it may concern.,

The permit is to structurally strengthen the EXISTING DECK from underneath. photos attached.

Nothing visual to be changed.

The deck needed structural reinforcement from below.

Thank you,

Astrid  
970 219 8160



2 HR PARKING  
ONE TIME PER DAY  
MON - FRI  
8 AM TO 5 PM  
EXCEPT PERMIT HOLDERS  
← →





