



Historic Preservation Services
Community Development & Neighborhood Services
281 N. College Ave.
Fort Collins, CO 80524
970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS
ISSUED: August 15, 2024
EXPIRATION: August 15, 2025

Colleen Webb
c/o David Kaplan, Elevated Design Build, LLC
144 Racquette Dr.
Fort Collins, CO 80524

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the G.R. McDaniel House I at 632 Peterson St., been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Replace 2 non-historic windows (basement, bathroom) with awning-type Fibrex units

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at 970-224-6078.

Sincerely,

Yani Jones
Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>This project will not alter the residential use of this property.</p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>This house is an example of a Dutch Colonial Revival residence, built c. 1907, that was likely originally owned by G.R. McDaniel, a Fort Collins contractor and carpenter.</p> <p>Because these are non-historic window units being replaced, there will not be an impact on the historic character of the property, and so this Standard is met.</p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p>	N/A
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	N/A
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>Again, because the windows proposed for replacement are not historic, their removal still conforms to this Standard.</p>	Y

<p>SOI #6</p>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p>The basement window proposed for replacement is clearly not historic. It is a plexiglass unit that is dissimilar from the nearby wood basement window in its design. The other window proposed for replacement is an upper floor shower window; although there are no known historic photos showing this elevation of the home, it is likely that this is a non-historic window because its form is dissimilar from other windows on this house, and the window casing is also lacking the decorative trim present on all of the other windows. The replacement unit proposed for the basement window is similar in design to the existing historic basement window, with a grille simulating the 3 vertical lites. The bathroom window replacement is a simple awning window similar to what is there now. This Standard is considered met for these reasons.</p>	<p>Y</p>
<p>SOI #7</p>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<p>N/A</p>
<p>SOI #8</p>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p>	<p>N/A</p>
<p>SOI #9</p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p>	<p>N/A</p>
<p>SOI #10</p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p>	<p>N/A</p>



BUILDING PERMIT APPLICATION

FOR OFFICE USE
APPLICATION NUMBER: _____ APPLICATION DATE: _____

Job Site Address _____ Unit# _____

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name _____ First Name _____ Middle _____

Street Address _____ City _____ State _____ Zip _____

Phone # _____ Email _____

Name of Business (COMMERCIAL USE ONLY) _____

CONTRACTOR INFO: Company Name _____

License Holder Name _____ LIC # _____ CERT # _____

LEGAL INFO:

Subdivision/PUD _____ Filing # _____ Lot # _____ Block # _____ Lot Sq Ft _____

CONSTRUCTION INFO: Total Building Sq Ft (NOT including basement) _____ Total Garage Sq. Ft. _____

Residential Sq Ft _____ Commercial Sq Ft _____ # of Stories _____ Bldg Ht _____ # of Dwelling Units _____

1st Floor Sq Ft _____ 2nd Floor Sq Ft _____ 3rd Floor Sq Ft _____ Unfinished Basement Sq Ft _____

Finished Basement Sq Ft _____ # of Bedrooms _____ # of Full Baths _____

3/4 Baths _____ 1/2 Baths _____ # Fireplaces _____

ENERGY INFORMATION: (CHECK ONE)

Prescriptive [] Performance [] U/Arescheck [] ERI [] ASHRAE [] Component/Comcheck [] IDAP []

Air Conditioning? YES [] NO []

City of Fort Collins Approved Stock Plan # SPO _____ List Option #s _____

Utilities INFO:

New Electric Service [] Electric Service Upgrade [] Electric Meter Relocation []

Electric Main Breaker Size (Residential Only): 150 amps or less [] 200 amps [] Other: []

Gas [] Electric [] Electric Temp Pedestal? Yes [] No []

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.) _____

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant [] New Tenant []

If for a new tenant, is this the first tenant to occupy this space?

Yes [] No [] If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes [] No []

If yes, please describe: _____

Value of Construction (materials and labor): \$ _____

Description of Work: _____

JOBSITE SUPERVISOR CONTACT INFO: Name _____ Phone _____

SUBCONTRACTOR INFO: Electrical _____ Mechanical _____

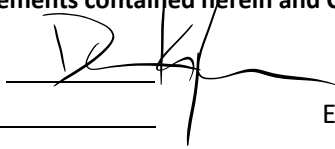
Plumbing _____ Framing _____ Roofing _____

Fireplace _____ Solar _____ Other _____

ASBESTOS STATEMENT DISCLOSURE: *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) _____
- An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature  _____ Type or Print Name _____
Phone # _____ Email _____

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE



ELEVATED DESIGN BUILD
144 RACQUETTE DR
FORT COLLINS, CO 80524
© 2024

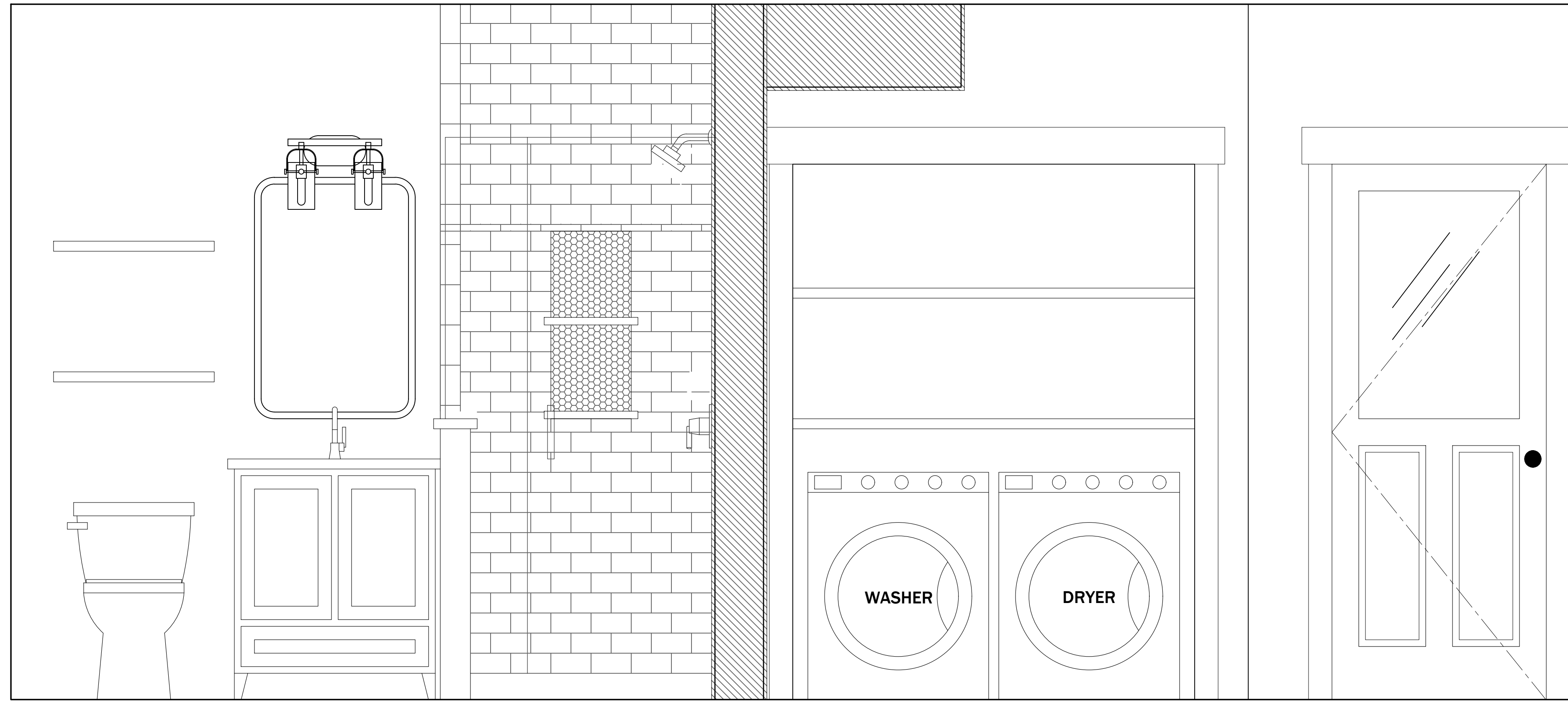


IMAGE SHOWS DESIGN INTENT ONLY, DO NOT USE FOR CONSTRUCTION

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	ID	INSIDE DIMENSION
ARCH	ARCHITECT	IN	INCH
BO_	BOTTOM OF _	INSUL	INSULATION
BLKG	BLOCKING	INT	INTERIOR
BRG	BEARING	MFR	MANUFACTURER
CMU	CONC MASONRY UNIT	MAX	MAXIMUM
CLG	CEILING	MECH	MECHANICAL
CO	CASED OPENING	MIN	MINIMUM
COL	COLUMN	NTS	NOT TO SCALE
CONC	CONCRETE	OC	ON CENTER
CONT	CONTINUOUS	OD	OUTSIDE DIMENSION
CONST	CONSTRUCTION	OPP	OPPOSITE
D	DRYER	PL	PLATE
DIM	DIMENSION	PLYWD	PLYWOOD
DN	DOWN	PT	POINT
DR	DOOR	R	RADIUS
DS	DOWNSPOUT	RE	REFERENCE/REFER TO
DTL	DETAIL	REFR	REFRIGERATOR
DW	DISHWASHER	REINF	REINFORCED/ING
DWGS	DRAWINGS	REQD	REQUIRED
(E)	EXISTING	RM	ROOM
EA	EACH	RO	ROUGH OPENING
ELEC	ELECTRICAL	RS	ROUGH SAWN
ELEV	ELEVATION	SF	SQUARE FEET
EQ	EQUAL	SHWR	SHOWER
EQUIP	EQUIPMENT	SIM	SIMILAR
FOC	FACE OF CONCRETE	STL	STEEL
FOM	FACE OF MASONRY	STRL	STRUCTURAL
FOS	FACE OF STUD	SQ	SQUARE
FP	FIREPLACE	TBD	TO BE DETERMINED
FIN	FINISH	TF	TIMBER FRAME
FD	FLOOR DRAIN	THK	THICK
FLR	FLOOR	TO_	TOP OF _
GA	GAGE	TYP	TYPICAL
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GC	GENERAL CONTRACTOR	VERT	VERTICAL
GYP	GYPSOM BOARD	W	WASHER
G.L.	GLU-LAM	WDO	WINDOW
HB	HOSE BIB	W/	WITH
HDWR	HARDWARE	W/O	WITHOUT
HORIZ	HORIZONTAL	∠	ANGLE
HR	HOUR	Ø	DIAMETER
		⊥	CENTERLINE

PROJECT DESCRIPTION

DESIGN and CONSTRUCTION of a REMODEL at 632 PETERSON ST. FORT COLLINS, CO 80524

GENERAL NOTES:

ENERGY CODE COMPLIANCE

CODE:	2021 IECC
CLIMATE ZONE:	ZONE 5b
HEAT SOURCE:	FORCED AIR
R-VALUE CEILINGS:	R-60 MIN.
R-VALUE UNVENTED VAULTED CEILINGS:	R-30 MIN.
R-VALUE EXTERIOR WALLS:	R-20+5CI, R-13+10CI, or R-15CI MIN.
R-VALUE FLOORS:	R-30 MIN.
R-VALUE CRAWL/BASEMENT WALLS:	R-19, R15CI, or R-13+5CI MIN.
U-FACTOR DOORS:	U-.30 MIN.
U-FACTOR WINDOWS:	U-.30 MIN.

DESIGN CRITERIA

CODE:	2021 IRC
OCCUPANCY:	SINGLE FAMILY
SQUARE FOOTAGE:	REMODELED BASEMENT 589 sf
	REMODELED UPPER BATH 51 sf
	TOTAL CONDITIONED 640 sf

LIST OF DRAWINGS

- A.1 COVER SHEET
- A.2 EXISTING BASEMENT FLOOR PLAN
- A.3 BASEMENT DEMOLITION PLAN
- A.4 NEW BASEMENT FLOOR PLAN
- A.5 BASEMENT SECTIONS A&B
- A.6 BASEMENT SECTIONS C&D
- A.7 EXISTING UPPER BATH FLOOR PLAN
- A.8 UPPER BATH DEMOLITION PLAN
- A.9 NEW UPPER BATH FLOOR PLAN

- E.1 EXISTING BASEMENT ELECTRICAL PLAN
- E.2 NEW BASEMENT ELECTRICAL PLAN
- E.3 EXISTING UPPER BATH ELECTRICAL PLAN
- E.4 NEW UPPER BATH ELECTRICAL PLAN

- F.1 BASEMENT FLOORING LAYOUT DIAGRAM
- F.2 BASEMENT INTERIOR ELEVATIONS
- F.3 UPPER BATH INTERIOR ELEVATIONS
- F.4 MISC INTERIOR ELEVATIONS

ARCHITECTURAL DESIGN

Elevated Design Build
144 Racquette Dr.
Fort Collins, CO 80524
Phone: (970) 682-8363
Email: Dave@elevateddesignbuild.com
Contact: Dave Kaplan

GENERAL CONTRACTOR

Elevated Design Build
144 Racquette Dr.
Fort Collins, CO 80524
Phone: (970) 682-8363
Email: Dave@elevateddesignbuild.com
Contact: Dave Kaplan

ENGINEER

N/A

OWNER

Colleen Webb
632 Peterson St.
Fort Collins, CO 80524
Phone: (970) 402-5880
Email: colleen.webb@colostate.edu

SHEET TITLE:
COVER SHEET

PROJECT:
WEBB RESIDENCE
632 PETERSON ST.
FORT COLLINS, CO 80524

ISSUE SET:

PERMIT SET

DRAWING DATE:

6/25/2024

REVISIONS: DATE:

1	
2	
3	
4	

DRAWN BY: HR CHECKED BY: DK

FILE NAME:
Webb- Permit Set-4.30.24

SCALE:
N/A

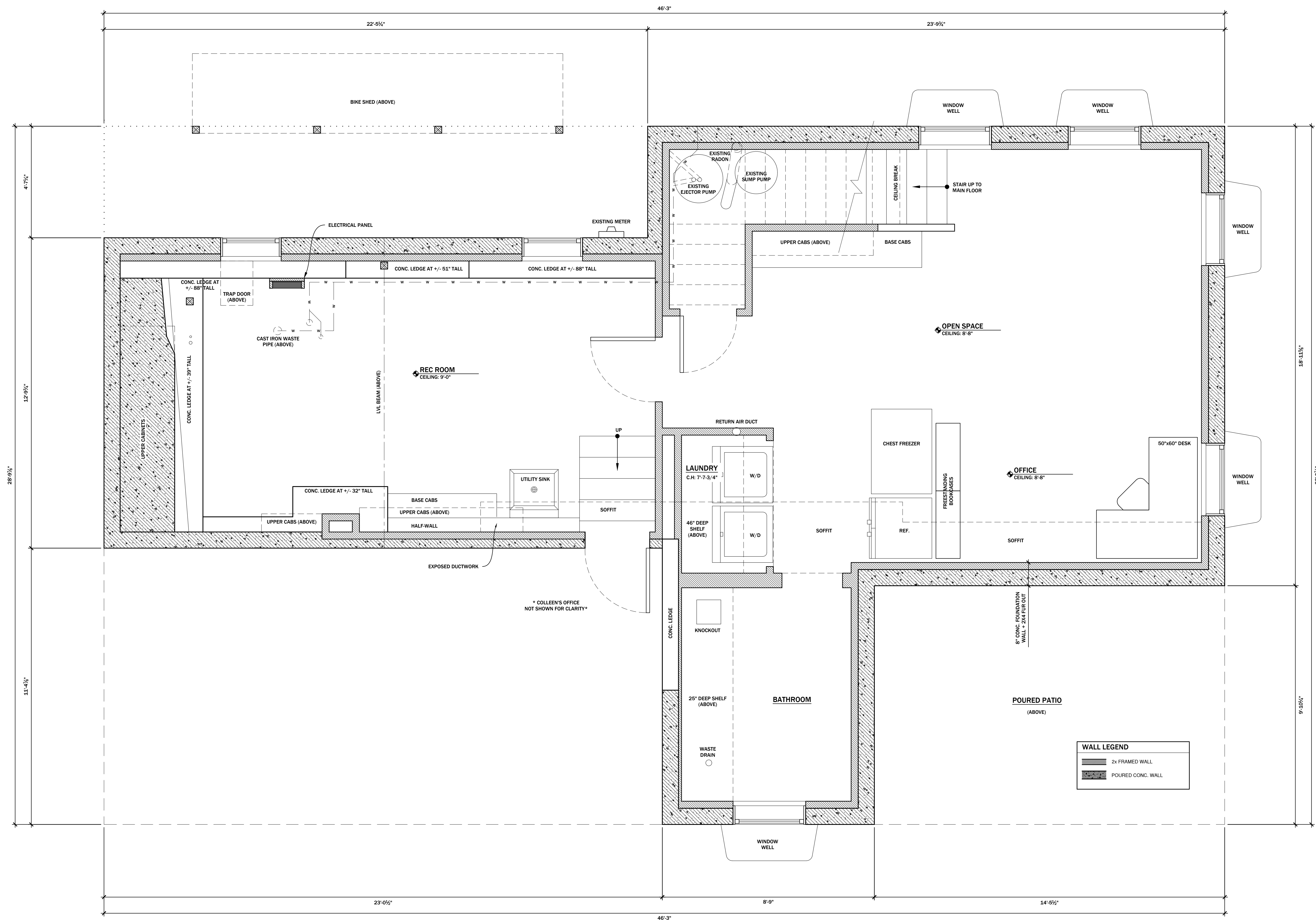
SHEET NO:

A.1

1 of 13



ELEVATED DESIGN BUILD
 144 RACQUETTE DR
 FORT COLLINS, CO 80524
 © 2024



SHEET TITLE:
EXISTING BASEMENT PLAN

PROJECT:
**WEBB RESIDENCE
 632 PETERSON ST.
 FORT COLLINS, CO 80524**

ISSUE SET:
PERMIT SET

DRAWING DATE:
6/25/2024

REVISIONS:	DATE:
1	
2	
3	
4	

DRAWN BY: **HR** CHECKED BY: **DK**

FILE NAME:
Webb-Permit Set-4.30.24

SCALE:
1/2" = 1'-0"

SHEET NO:

A.2
 2 of 13



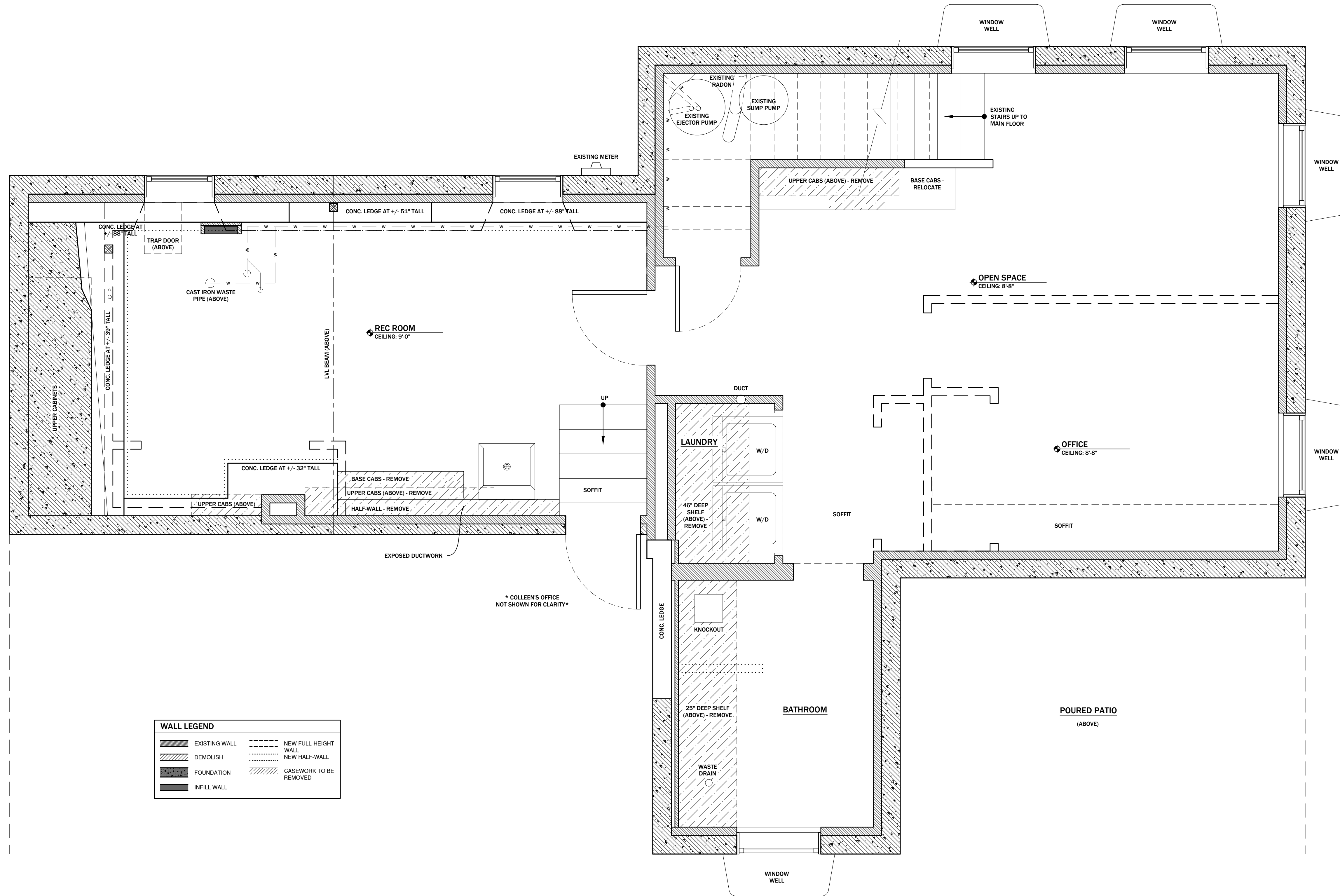
EXISTING BASEMENT PLAN

SCALE: 1/2" = 1'-0"

BASEMENT 824 sf



ELEVATED DESIGN BUILD
 144 RACQUETTE DR
 FORT COLLINS, CO 80524
 © 2024



SHEET TITLE:
BASEMENT DEMOLITION PLAN

PROJECT:
**WEBB RESIDENCE
 632 PETERSON ST.
 FORT COLLINS, CO 80524**

ISSUE SET:
PERMIT SET

DRAWING DATE:
6/25/2024

REVISIONS:	DATE:
1	
2	
3	
4	

DRAWN BY: **HR** CHECKED BY: **DK**

FILE NAME:
Webb-Permit Set-4.30.24

SCALE:
1/2" = 1'-0"

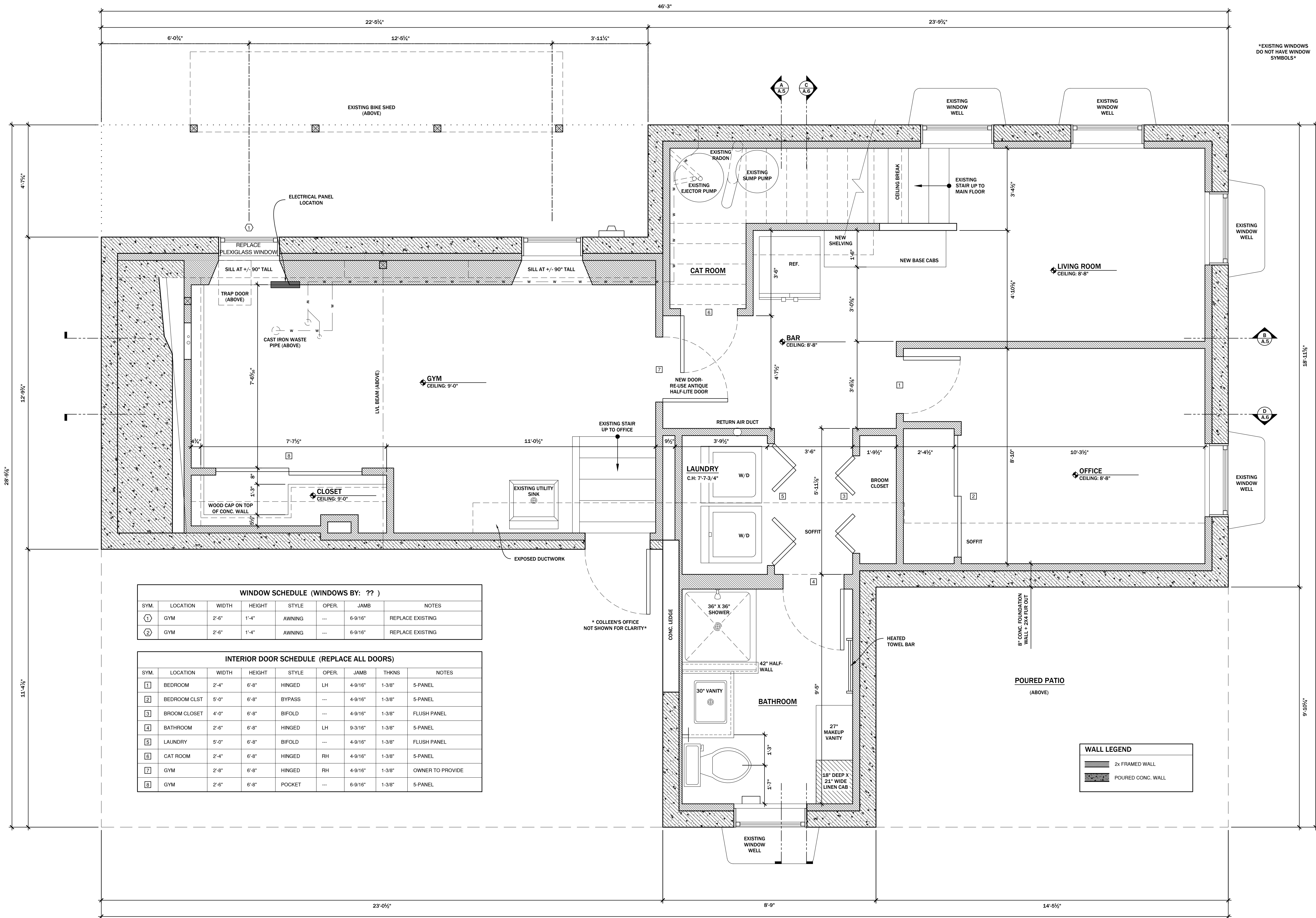
SHEET NO:
A.3
 3 of 13



BASEMENT DEMOLITION PLAN
 SCALE: 1/2" = 1'-0"



ELEVATED DESIGN BUILD
 144 RACQUETTE DR
 FORT COLLINS, CO 80524
 © 2024



WINDOW SCHEDULE (WINDOWS BY: ??)

SYM.	LOCATION	WIDTH	HEIGHT	STYLE	OPER.	JAMB	NOTES
1	GYM	2'-6"	1'-4"	AWNING	---	6-9/16"	REPLACE EXISTING
2	GYM	2'-6"	1'-4"	AWNING	---	6-9/16"	REPLACE EXISTING

INTERIOR DOOR SCHEDULE (REPLACE ALL DOORS)

SYM.	LOCATION	WIDTH	HEIGHT	STYLE	OPER.	JAMB	THKNS	NOTES
1	BEDROOM	2'-4"	6'-8"	HINGED	LH	4-9/16"	1-3/8"	5-PANEL
2	BEDROOM CLST	5'-0"	6'-8"	BYPASS	---	4-9/16"	1-3/8"	5-PANEL
3	BROOM CLOSET	4'-0"	6'-8"	BIFOLD	---	4-9/16"	1-3/8"	FLUSH PANEL
4	BATHROOM	2'-6"	6'-8"	HINGED	LH	9-3/16"	1-3/8"	5-PANEL
5	LAUNDRY	5'-0"	6'-8"	BIFOLD	---	4-9/16"	1-3/8"	FLUSH PANEL
6	CAT ROOM	2'-4"	6'-8"	HINGED	RH	4-9/16"	1-3/8"	5-PANEL
7	GYM	2'-8"	6'-8"	HINGED	RH	4-9/16"	1-3/8"	OWNER TO PROVIDE
8	GYM	2'-6"	5'-8"	POCKET	---	6-9/16"	1-3/8"	5-PANEL

WALL LEGEND

	2x FRAMED WALL
	POURED CONC. WALL

SHEET TITLE:
BASEMENT REMODEL PLAN

PROJECT:
**WEBB RESIDENCE
 632 PETERSON ST.
 FORT COLLINS, CO 80524**

ISSUE SET:
PERMIT SET

DRAWING DATE:
6/25/2024

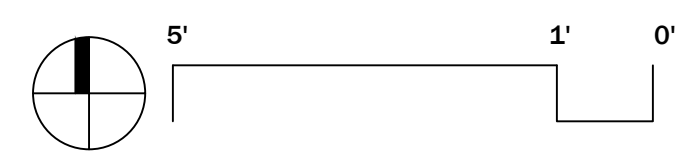
REVISIONS:	DATE:
1	
2	
3	
4	

DRAWN BY: **HR** CHECKED BY: **DK**

FILE NAME:
**Webb- Permit Set-
 4.30.24**

SCALE:
1/2" = 1'-0"

SHEET NO:
A.4
 4 of 13

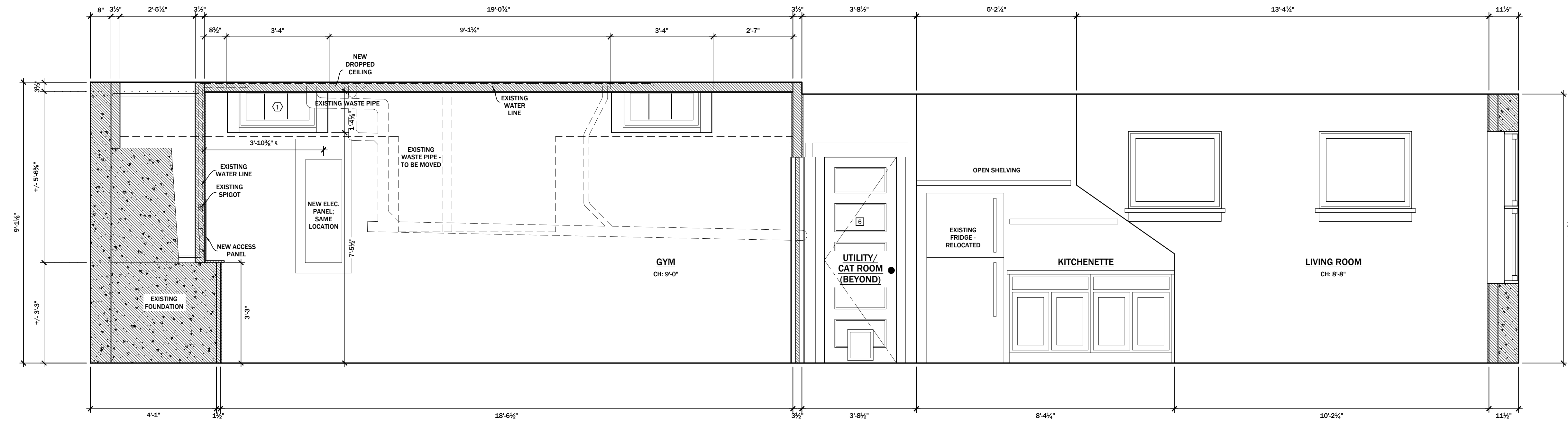


BASEMENT REMODEL PLAN

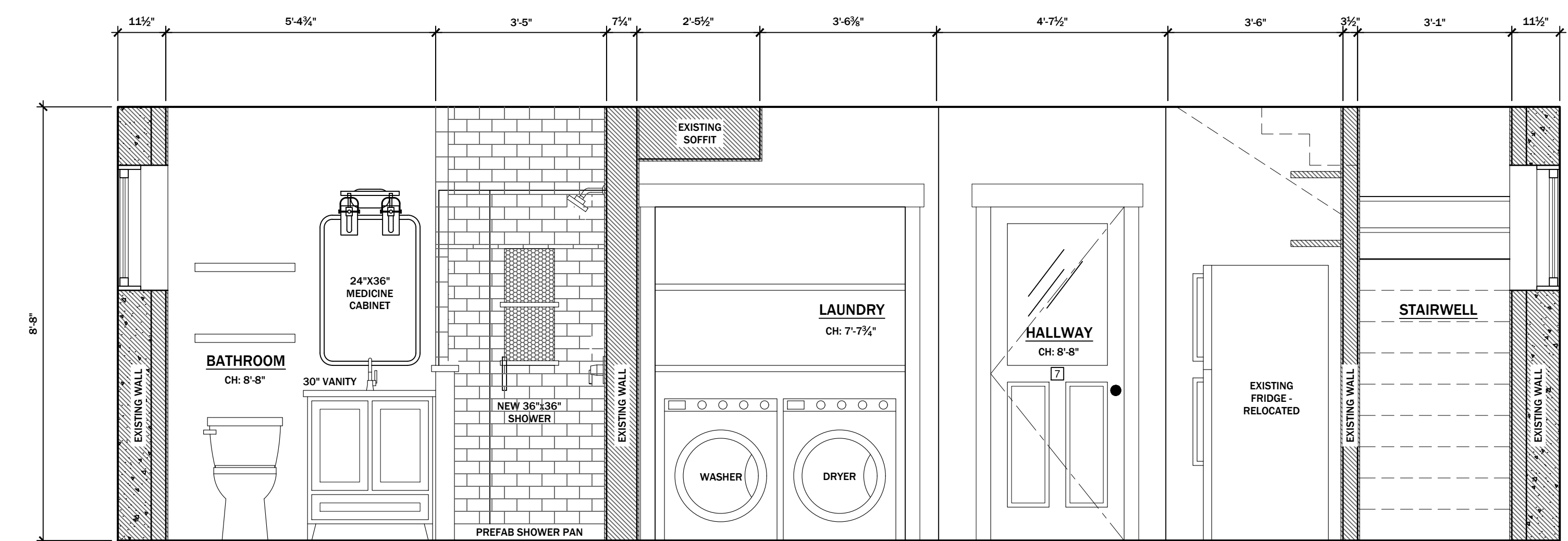
SCALE: 1/2" = 1'-0" BASEMENT 824 sf



ELEVATED DESIGN BUILD
 144 RACQUETTE DR
 FORT COLLINS, CO 80524
 © 2024



SECTION B
 SCALE: 1/2" = 1'-0"



SECTION A
 SCALE: 1/2" = 1'-0"

SHEET TITLE:
BASEMENT SECTIONS A&B

PROJECT:
**WEBB RESIDENCE
 632 PETERSON ST.
 FORT COLLINS, CO 80524**

ISSUE SET:
PERMIT SET

DRAWING DATE:
6/25/2024

REVISIONS:	DATE:
1	
2	
3	
4	

DRAWN BY: **HR** CHECKED BY: **DK**

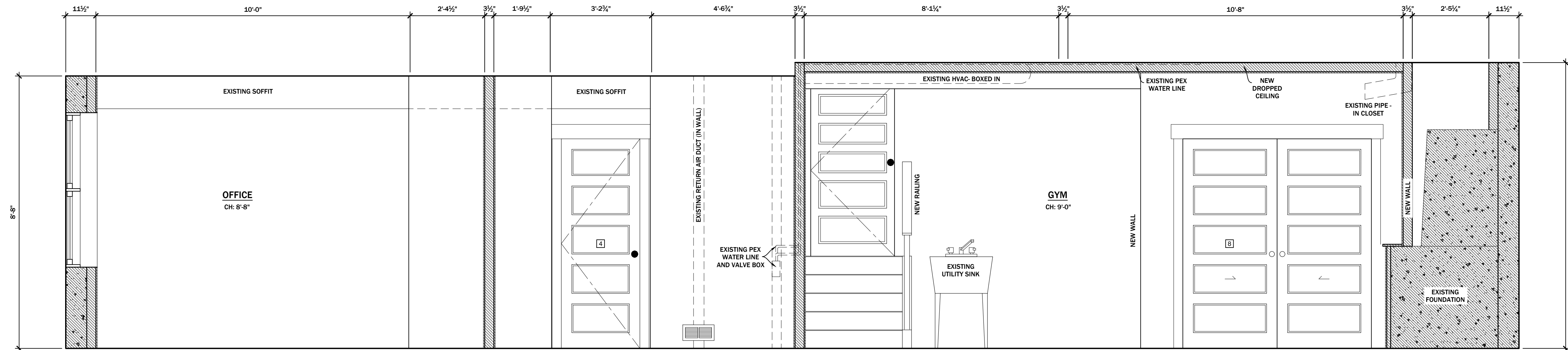
FILE NAME:
**Webb-Permit Set-
 4.30.24**

SCALE:
1/2" = 1'-0"

SHEET NO:
A.5
 5 of 13

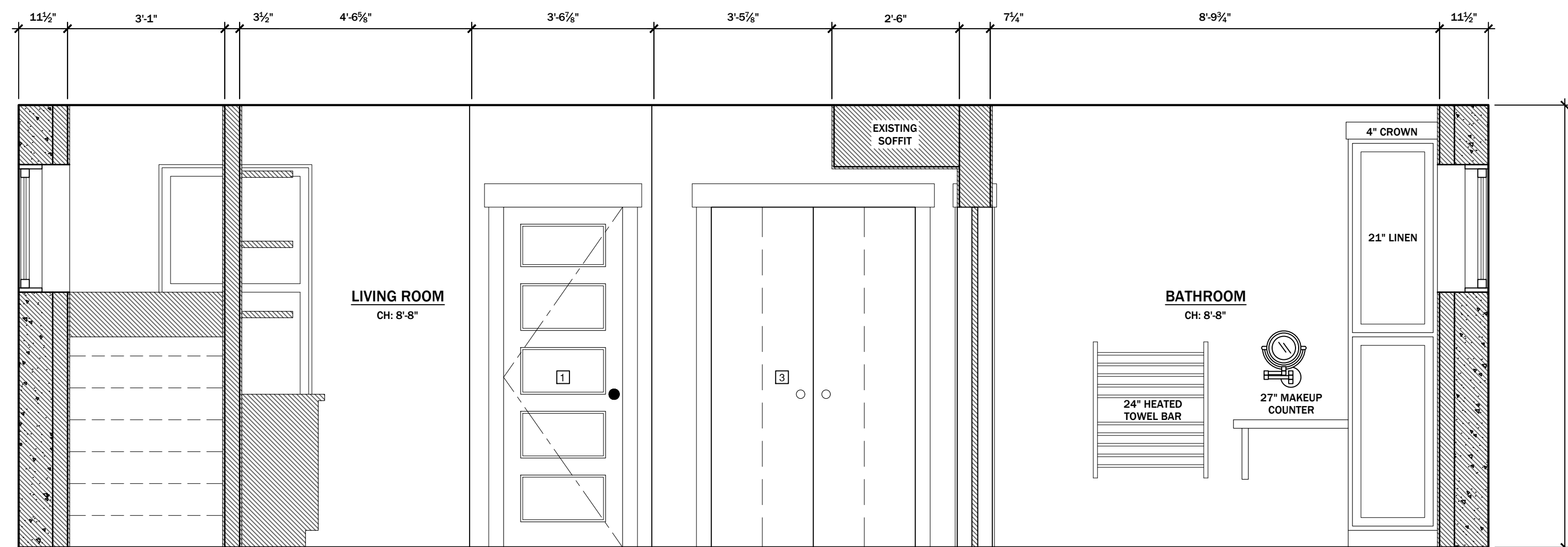


ELEVATED DESIGN BUILD
 144 RACQUETTE DR
 FORT COLLINS, CO 80524
 © 2024



SECTION D

SCALE: 1/2" = 1'-0"



SECTION C

SCALE: 1/2" = 1'-0"

SHEET TITLE:
 BASEMENT SECTIONS C&D

PROJECT:
 WEBB RESIDENCE
 632 PETERSON ST.
 FORT COLLINS, CO 80524

ISSUE SET:

PERMIT SET

DRAWING DATE:

6/25/2024

REVISIONS:

1	DATE:

DRAWN BY: CHECKED BY:

HR DK

FILE NAME:

Webb-Permit Set-4.30.24

SCALE:

1/2" = 1'-0"

SHEET NO:


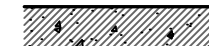
A.6

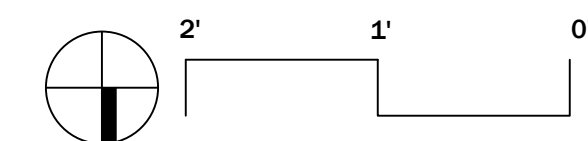
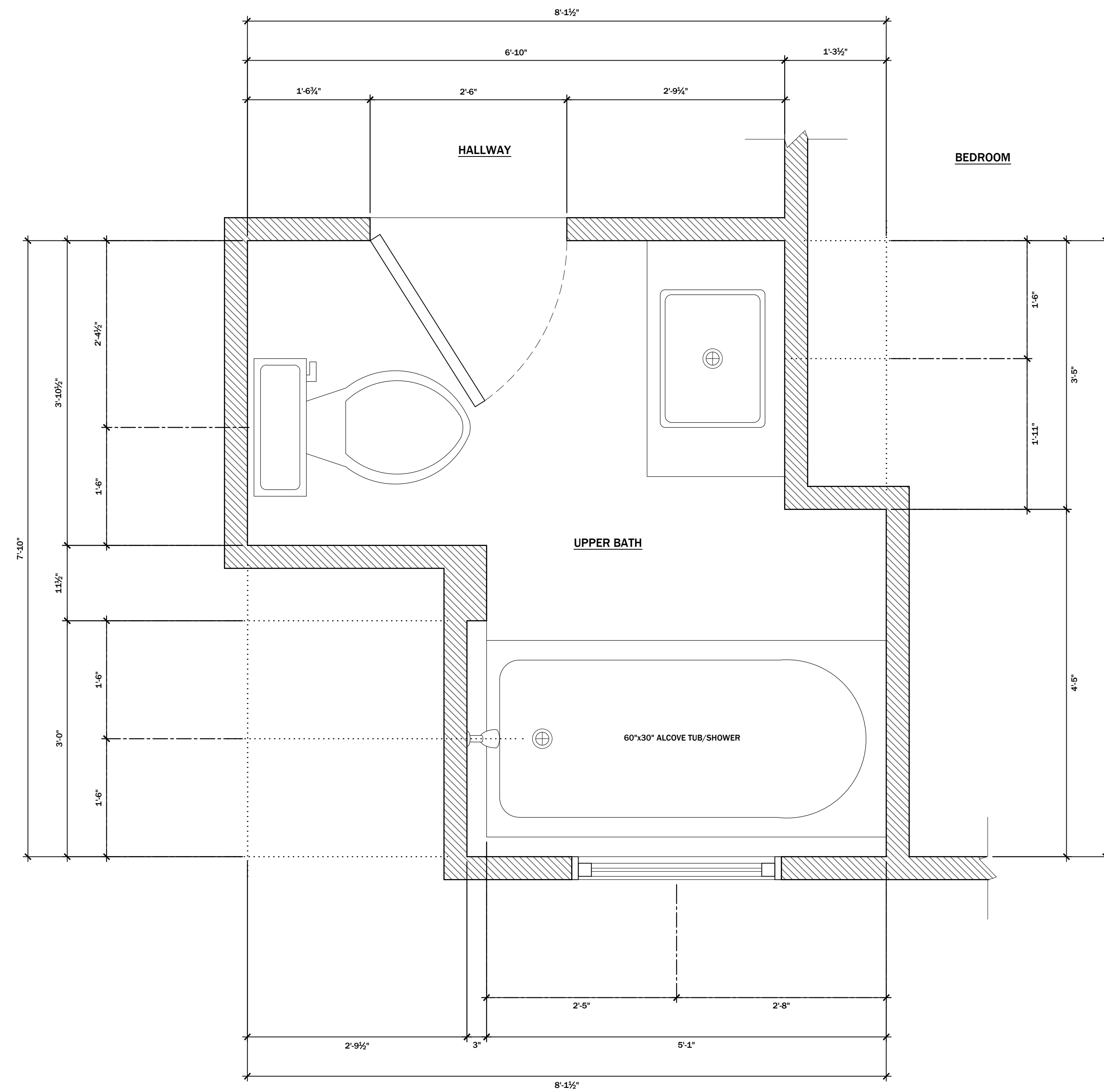
6 of 13



ELEVATED DESIGN BUILD
144 RACQUETTE DR
FORT COLLINS, CO 80524
© 2024

WALL LEGEND

-  2x FRAMED WALL
-  POURED CONC. WALL



UPPER BATH EXISTING FLOOR PLAN

SCALE: 1" = 1'-0"

BATH 46 sf

SHEET TITLE:
EXISTING UPPER BATH FLOOR PLAN

PROJECT:
WEBB RESIDENCE
632 PETERSON ST.
FORT COLLINS, CO 80524

ISSUE SET:

PERMIT SET

DRAWING DATE:

6/25/2024

REVISIONS: DATE:

REVISIONS:	DATE:
1	
2	
3	
4	

DRAWN BY: CHECKED BY:

HR DK

FILE NAME:
Webb-Permit Set-
4.30.24

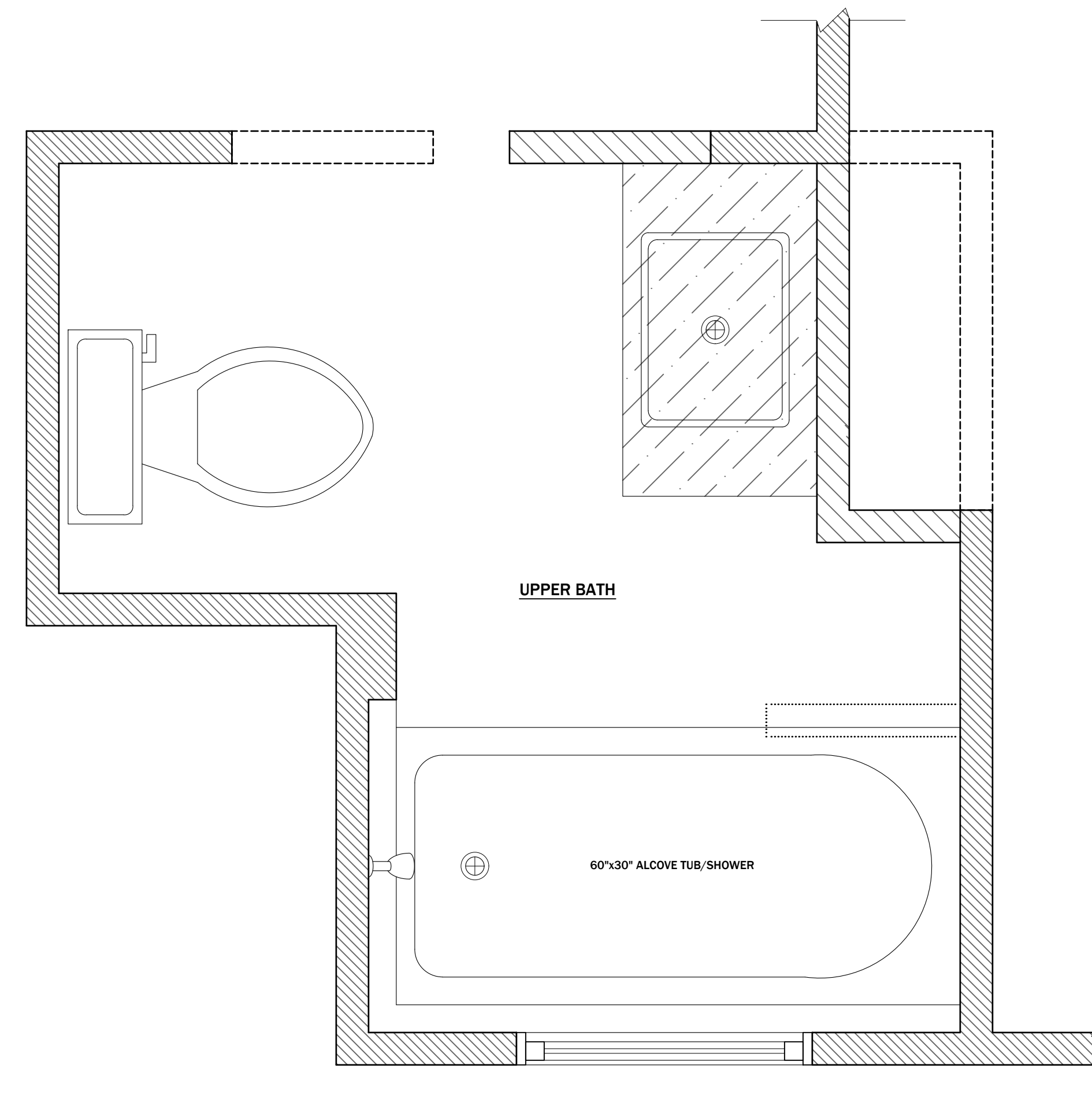
SCALE:
1" = 1'-0"

SHEET NO:

A.7
7 of 13



ELEVATED DESIGN BUILD
 144 RACQUETTE DR
 FORT COLLINS, CO 80524
 © 2024



WALL LEGEND			
	EXISTING WALL		NEW FULL-HEIGHT WALL
	DEMOLISH		NEW HALF-WALL
	FOUNDATION		CASEWORK TO BE REMOVED
	INFILL WALL		

SHEET TITLE:
 UPPER BATH DEMO PLAN

PROJECT:
 WEBB RESIDENCE
 632 PETERSON ST.
 FORT COLLINS, CO 80524

ISSUE SET:

PERMIT SET

DRAWING DATE:

6/25/2024

REVISIONS: DATE:

REVISIONS	DATE
1	
2	
3	
4	

DRAWN BY: CHECKED BY:

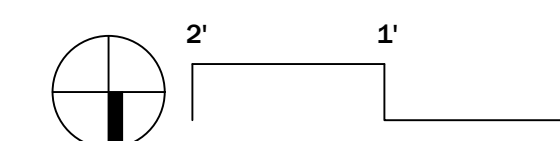
HR DK

FILE NAME:
 Webb-Permit Set-
 4.30.24

SCALE:
 1" = 1'-0"

SHEET NO:

A.8
 8 of 13





UPPER BATH DEMO PLAN

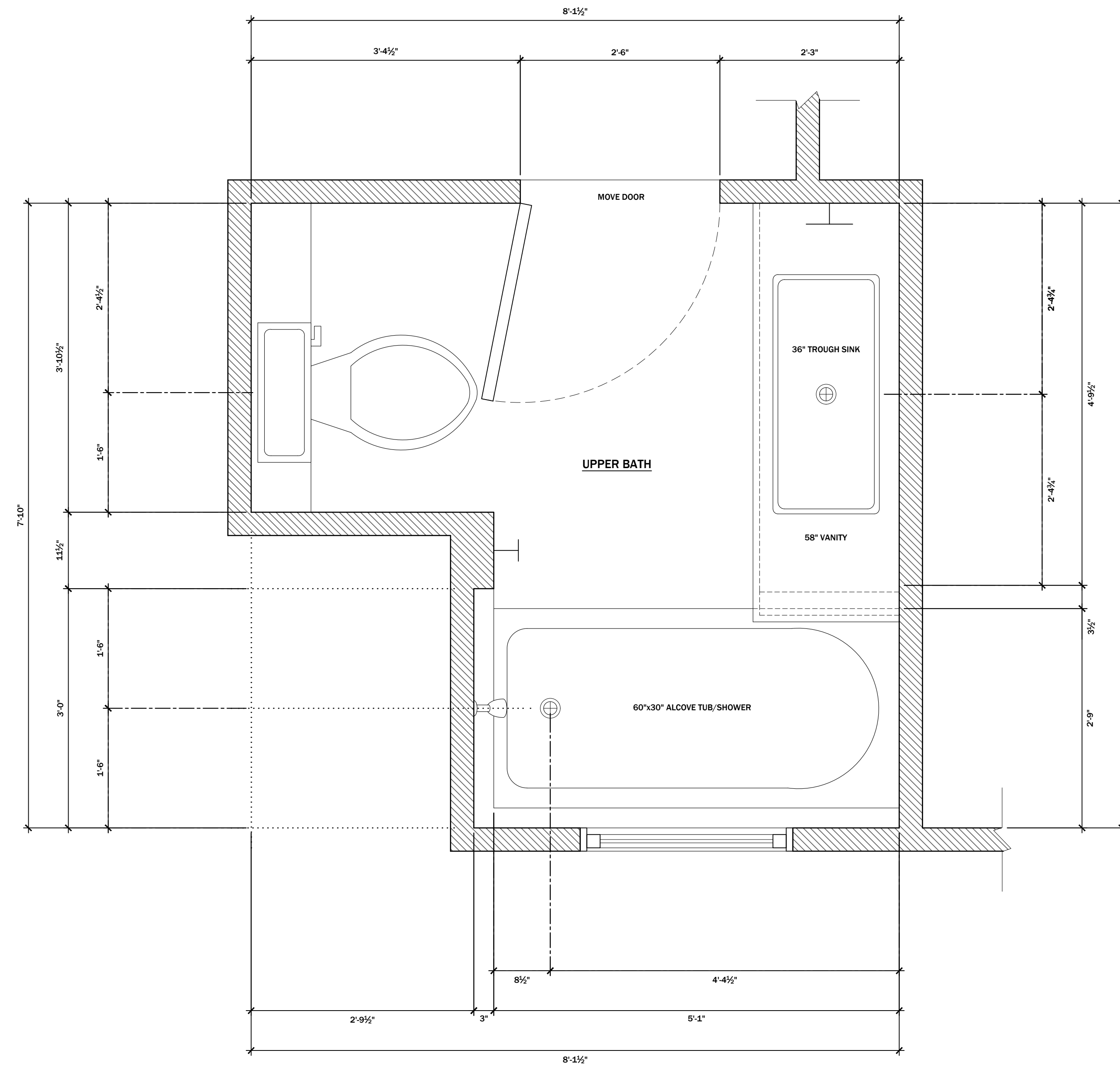
SCALE: 1" = 1'-0"



ELEVATED DESIGN BUILD
144 RACQUETTE DR
FORT COLLINS, CO 80524
© 2024

WALL LEGEND

-  2x FRAMED WALL
-  POURED CONC. WALL



SHEET TITLE:
NEW UPPER BATH FLOOR PLAN

PROJECT:
**WEBB RESIDENCE
632 PETERSON ST.
FORT COLLINS, CO 80524**

ISSUE SET:
PERMIT SET

DRAWING DATE:
6/25/2024

REVISIONS:	DATE:
1	
2	
3	
4	

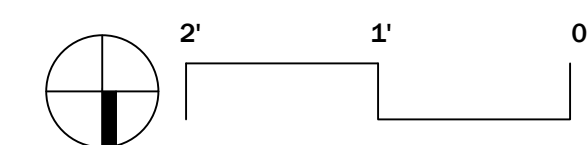
DRAWN BY: **HR** CHECKED BY: **DK**

FILE NAME:
**Webb-Permit Set-
4.30.24**

SCALE:
1" = 1'-0"

SHEET NO:

A.9
9 of 13



NEW UPPER BATH FLOOR PLAN

SCALE: 1" = 1'-0"

BATH 50 sf



ELEVATED DESIGN BUILD
 144 RACQUETTE DR
 FORT COLLINS, CO 80524
 © 2024

SHEET TITLE:
EXISTING BASEMENT ELECTRICAL PLAN

PROJECT:
**WEBB RESIDENCE
 632 PETERSON ST.
 FORT COLLINS, CO 80524**

ISSUE SET:
PERMIT SET

DRAWING DATE:
6/25/2024

REVISIONS:	DATE:
1	
2	
3	
4	

DRAWN BY: **HR** CHECKED BY: **DK**

FILE NAME:
Webb-Permit Set-4.30.24

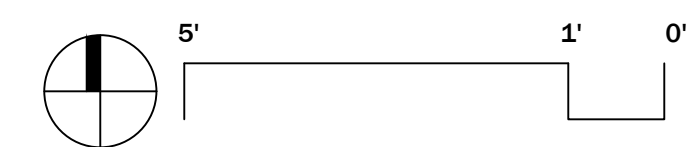
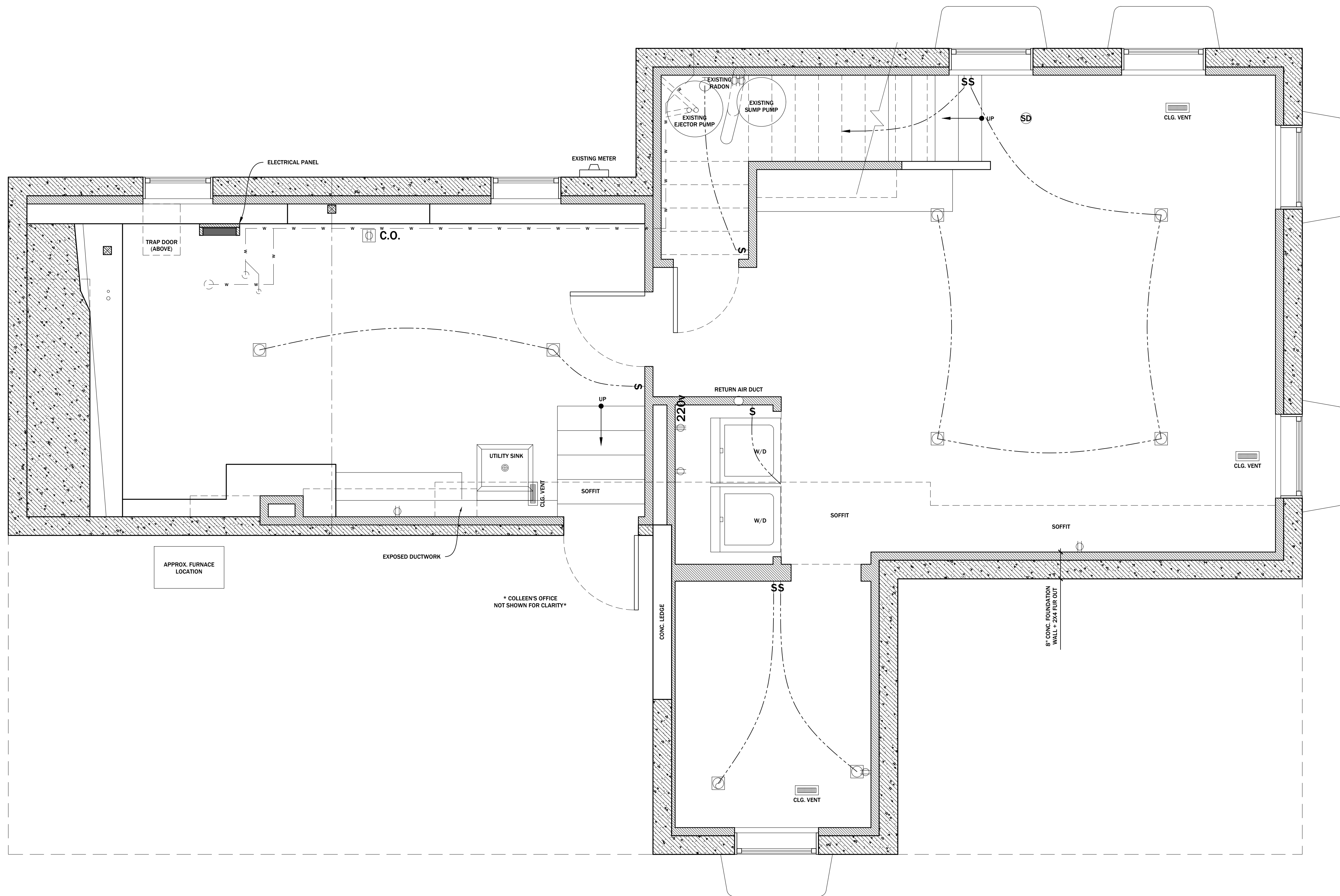
SCALE:
1/2" = 1'-0"

SHEET NO:

E.1
 10 of 13

LIGHTING/ELEC. LEGEND

	2x FRAMED WALL
	METER
	PANEL
	CIRCUIT
	SEMI-FLUSH MOUNT
	PENDANT
	WALL MOUNT
	MOTION SENSING (ON FIXTURE)
	MS
	SMOKE DETECTOR
	CAN LIGHT
	GIMBAL
	TRACK
	MONO-POINT
	LOW VOLTAGE LIGHT
	CEILING FAN
	BATH FAN/LIGHT
	BATH FAN
	FLUORESCENT
	UNDER CAB FIXTURE
	SWITCH
	DIMMER SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	THERMOSTAT
	110v DUPLEX OUTLET
	GROUND-FAULT
	WEATHER-PROOF
	220v DUPLEX OUTLET
	CEILING OUTLET



**EXISTING BASEMENT
 ELECTRICAL + MECH. PLAN**

SCALE: 1/2" = 1'-0"



ELEVATED DESIGN BUILD
 144 RACQUETTE DR
 FORT COLLINS, CO 80524
 © 2024

SHEET TITLE:
NEW BASEMENT ELECTRICAL PLAN

PROJECT:
**WEBB RESIDENCE
 632 PETERSON ST.
 FORT COLLINS, CO 80524**

ISSUE SET:
PERMIT SET

DRAWING DATE:
6/25/2024

REVISIONS:	DATE:
1	
2	
3	
4	

DRAWN BY: **HR** CHECKED BY: **DK**

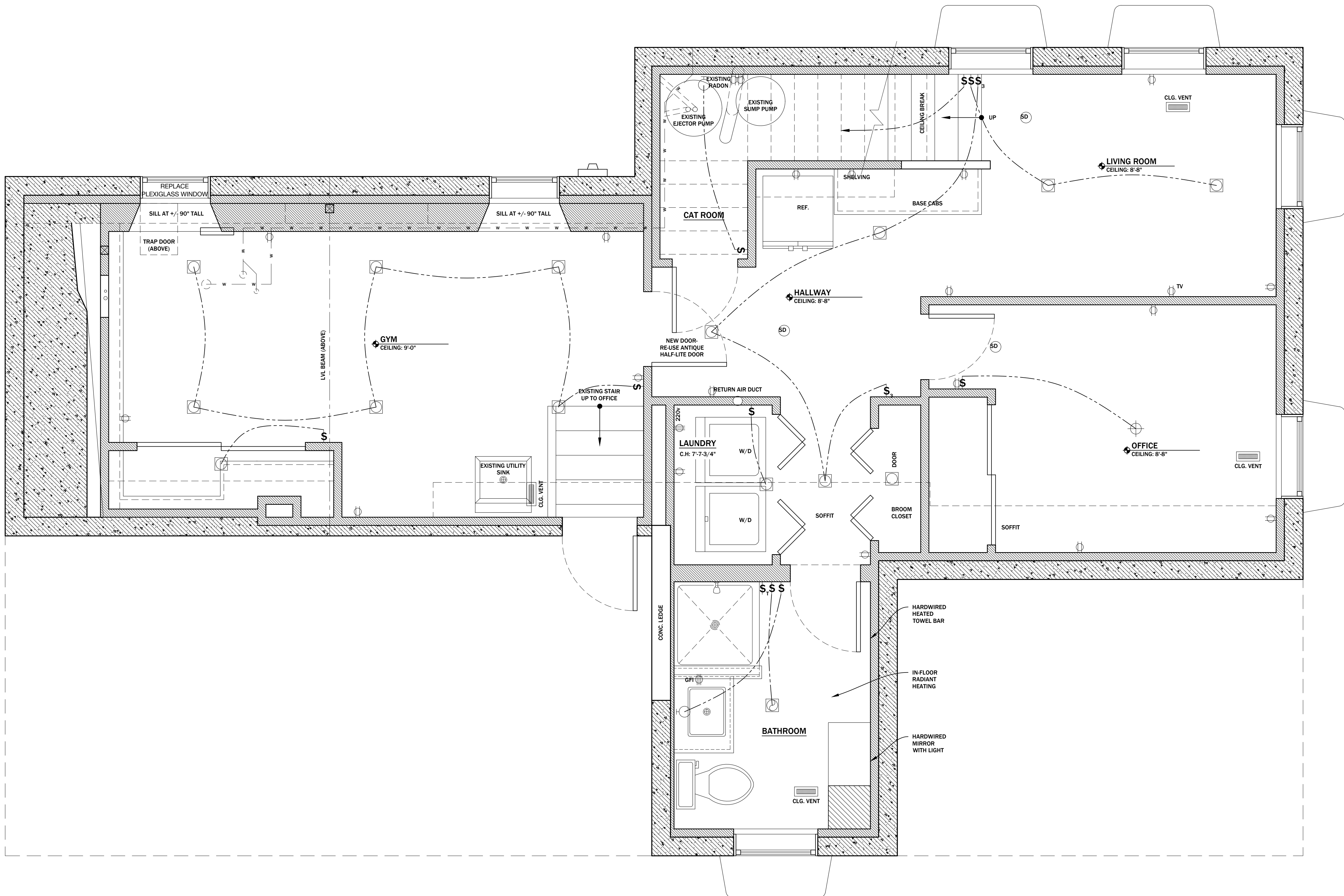
FILE NAME:
**Webb- Permit Set-
 4.30.24**

SCALE:
1/2" = 1'-0"

SHEET NO:
E.2
 11 of 13

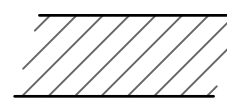
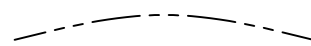

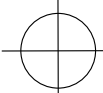
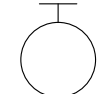
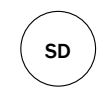
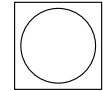
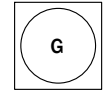
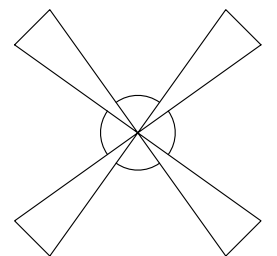
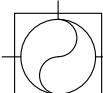
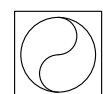
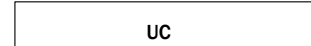


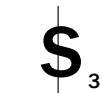


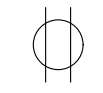

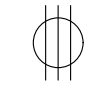
LIGHTING/ELEC. LEGEND

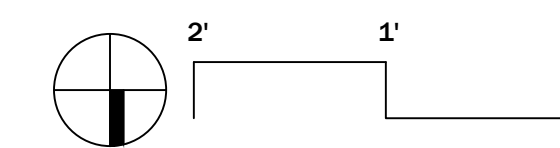
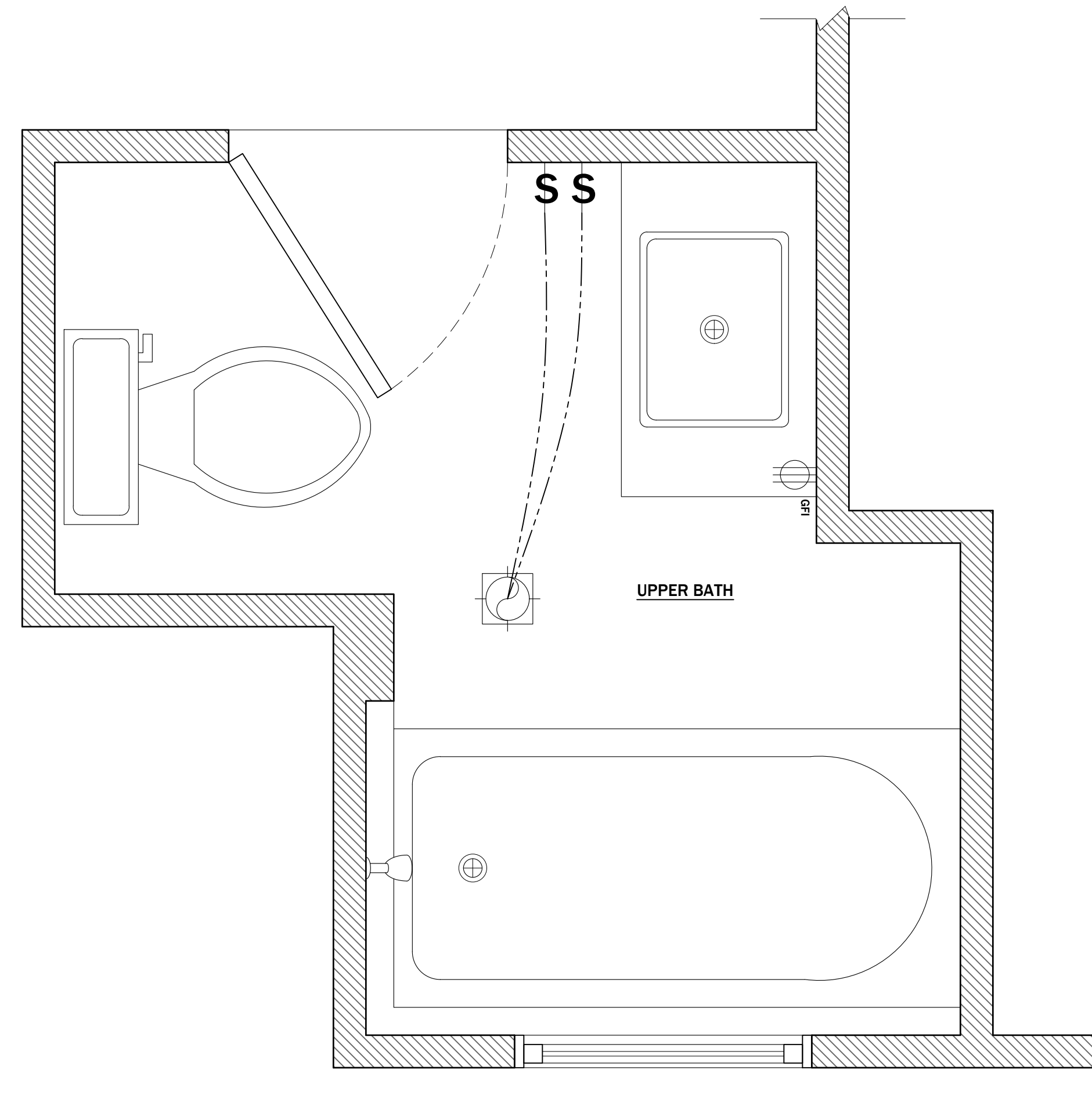
	2x FRAMED WALL
	METER
	PANEL
	CIRCUIT
	SEMI-FLUSH MOUNT
	PENDANT
	WALL MOUNT
	MOTION SENSING (ON FIXTURE)
	MS
	SMOKE DETECTOR
	CAN LIGHT
	GIMBAL
	TRACK
	MONO-POINT
	LOW VOLTAGE LIGHT
	CEILING FAN
	BATH FAN/LIGHT
	BATH FAN
	FLUORESCENT
	UNDER CAB FIXTURE
	SWITCH
	DIMMER SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	THERMOSTAT
	110v DUPLEX OUTLET
	GROUND-FAULT
	WEATHER-PROOF
	220v DUPLEX OUTLET
	CEILING OUTLET
	RETURN AIR VENT



NEW BASEMENT ELECTRICAL PLAN
 SCALE: 1/2" = 1'-0"

LIGHTING/ELEC. LEGEND

	2x FRAMED WALL
	CIRCUIT
	SEMI-FLUSH MOUNT
	PENDANT
	WALL MOUNT
	SMOKE DETECTOR
	CAN LIGHT
	GIMBAL
	CEILING FAN
	BATH FAN/LIGHT
	BATH FAN
	UNDER CAB FIXTURE
	SWITCH
	DIMMER SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	THERMOSTAT
	110V DUPLEX OUTLET
	GROUND-FAULT
	220V DUPLEX OUTLET



EXISTING UPPER BATH LIGHTING PLAN

SCALE: 1" = 1'-0"



ELEVATED DESIGN BUILD
144 RACQUETTE DR
FORT COLLINS, CO 80524
© 2024

SHEET TITLE:
EXISTING UPPER BATH ELECTRICAL PLAN

PROJECT:
**WEBB RESIDENCE
632 PETERSON ST.
FORT COLLINS, CO 80524**

ISSUE SET:

PERMIT SET

DRAWING DATE:

6/25/2024

REVISIONS: DATE:

1	
2	
3	
4	

DRAWN BY: CHECKED BY:

HR DK

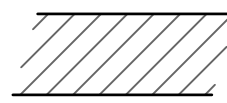
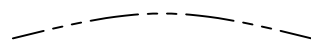
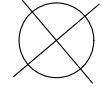
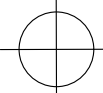
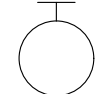
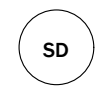
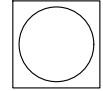
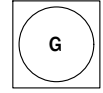
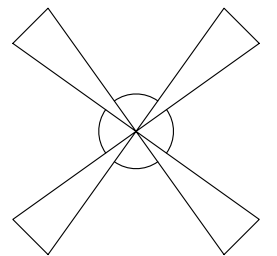
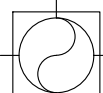
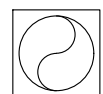



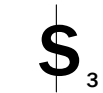
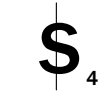

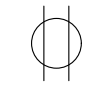

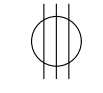
FILE NAME:
**Webb- Permit Set-
4.30.24**

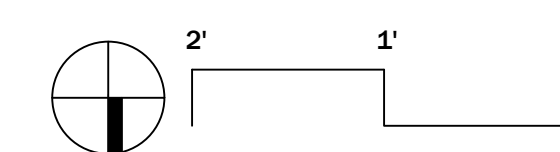
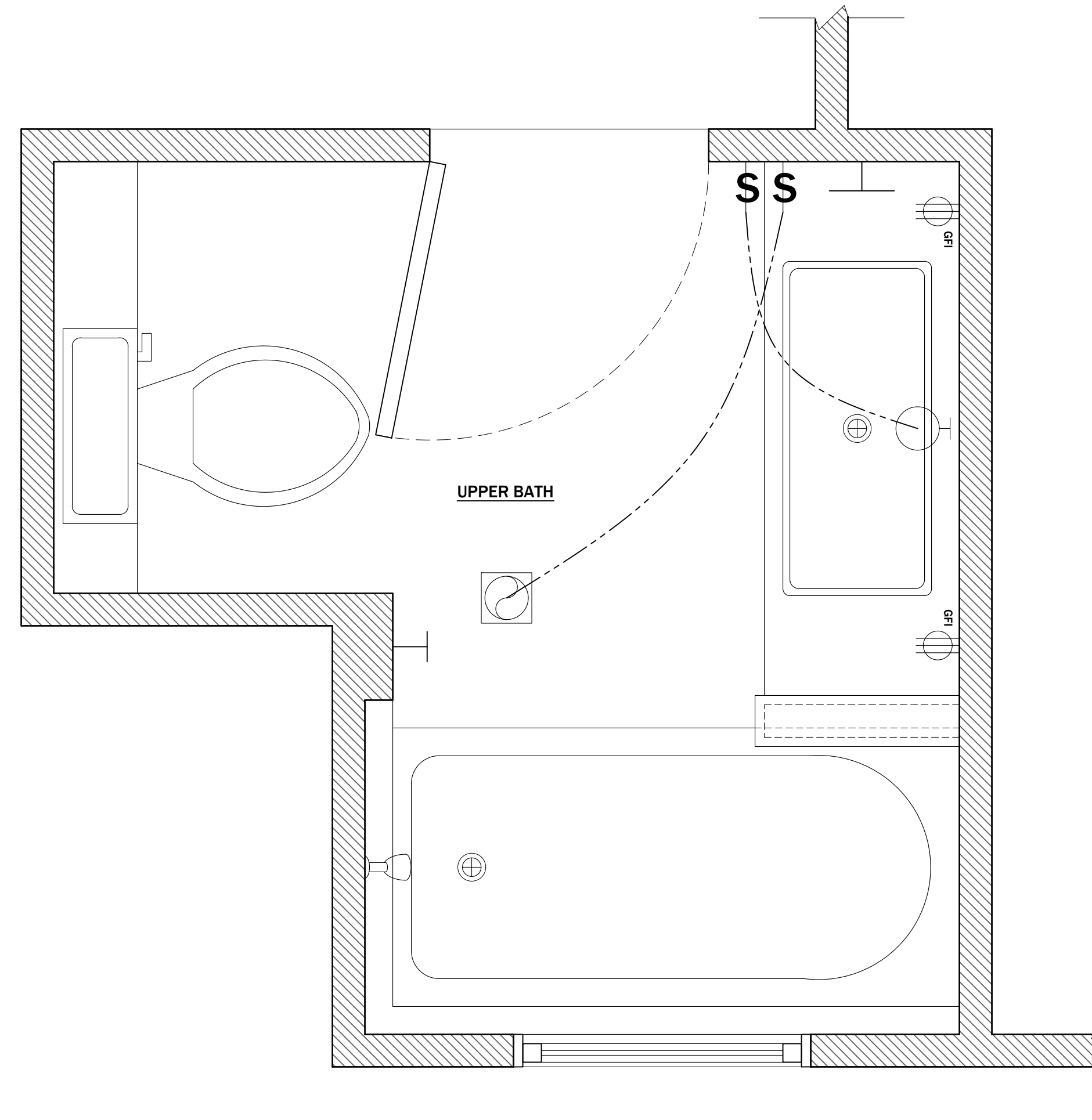
SCALE:
1" = 1'-0"

SHEET NO:

E.3
12 of 13

LIGHTING/ELEC. LEGEND

	2x FRAMED WALL
	CIRCUIT
	SEMI-FLUSH MOUNT
	PENDANT
	WALL MOUNT
	SMOKE DETECTOR
	CAN LIGHT
	GIMBAL
	CEILING FAN
	BATH FAN/LIGHT
	BATH FAN
	UNDER CAB FIXTURE
	SWITCH
	DIMMER SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	THERMOSTAT
	110v DUPLEX OUTLET
	GROUND-FAULT
	220v DUPLEX OUTLET



NEW UPPER BATH LIGHTING PLAN

SCALE: 1" = 1'-0"



ELEVATED DESIGN BUILD
144 RACQUETTE DR
FORT COLLINS, CO 80524
© 2024

SHEET TITLE:
NEW UPPER BATH ELECTRICAL PLAN

PROJECT:
**WEBB RESIDENCE
632 PETERSON ST.
FORT COLLINS, CO 80524**

ISSUE SET:

PERMIT SET

DRAWING DATE:

6/25/2024

REVISIONS: DATE:

1	
2	
3	
4	

DRAWN BY: CHECKED BY:

HR DK

FILE NAME:
**Webb- Permit Set-
4.30.24**

SCALE:
1" = 1'-0"

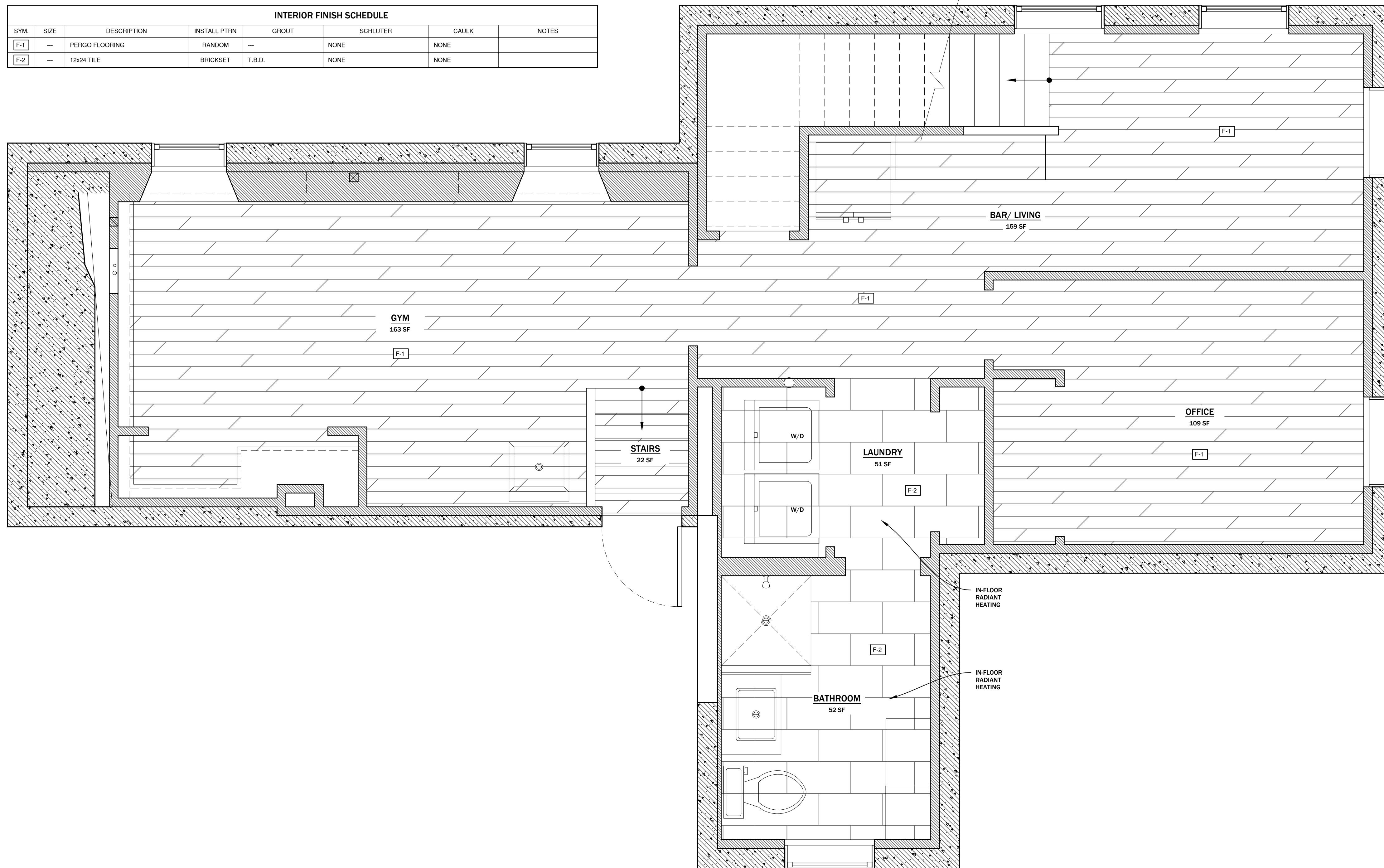
SHEET NO:

E.4
13 of 13



ELEVATED DESIGN BUILD
 144 RACQUETTE DR
 FORT COLLINS, CO 80524
 © 2024

INTERIOR FINISH SCHEDULE								
SYM.	SIZE	DESCRIPTION	INSTALL PTRN	GROUT	SCHLUTER	CAULK	NOTES	
F-1	---	PERGO FLOORING	RANDOM	---	NONE	NONE		
F-2	---	12x24 TILE	BRICKSET	T.B.D.	NONE	NONE		



SHEET TITLE:
BASEMENT FLOORING LAYOUT DIAGRAM

PROJECT:
**WEBB RESIDENCE
 632 PETERSON ST.
 FORT COLLINS, CO 80524**

ISSUE SET:
PERMIT SET

DRAWING DATE:
6/25/2024

REVISIONS:	DATE:
1	
2	
3	
4	

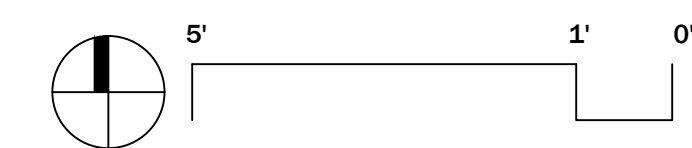
DRAWN BY: **HR** CHECKED BY: **DK**

FILE NAME:
Webb-Permit Set-4.30.24

SCALE:
1/2" = 1'-0"

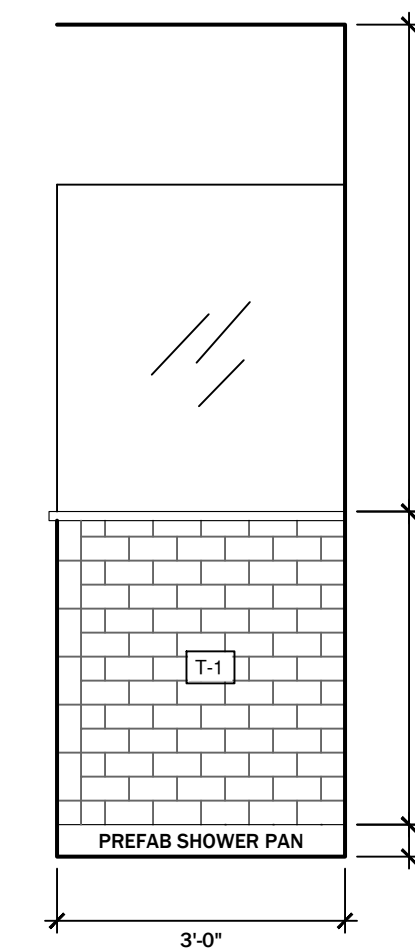
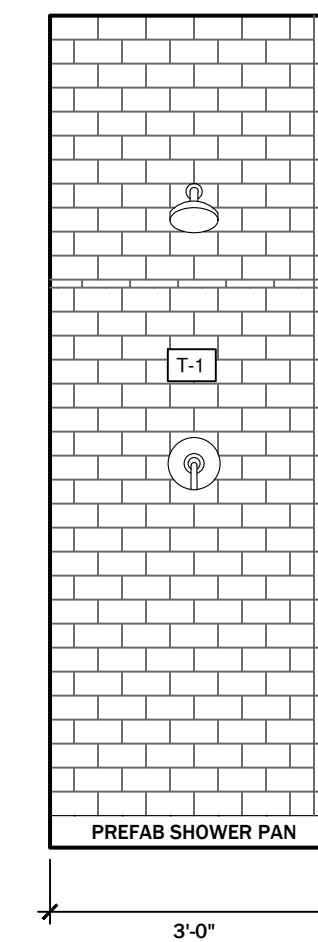
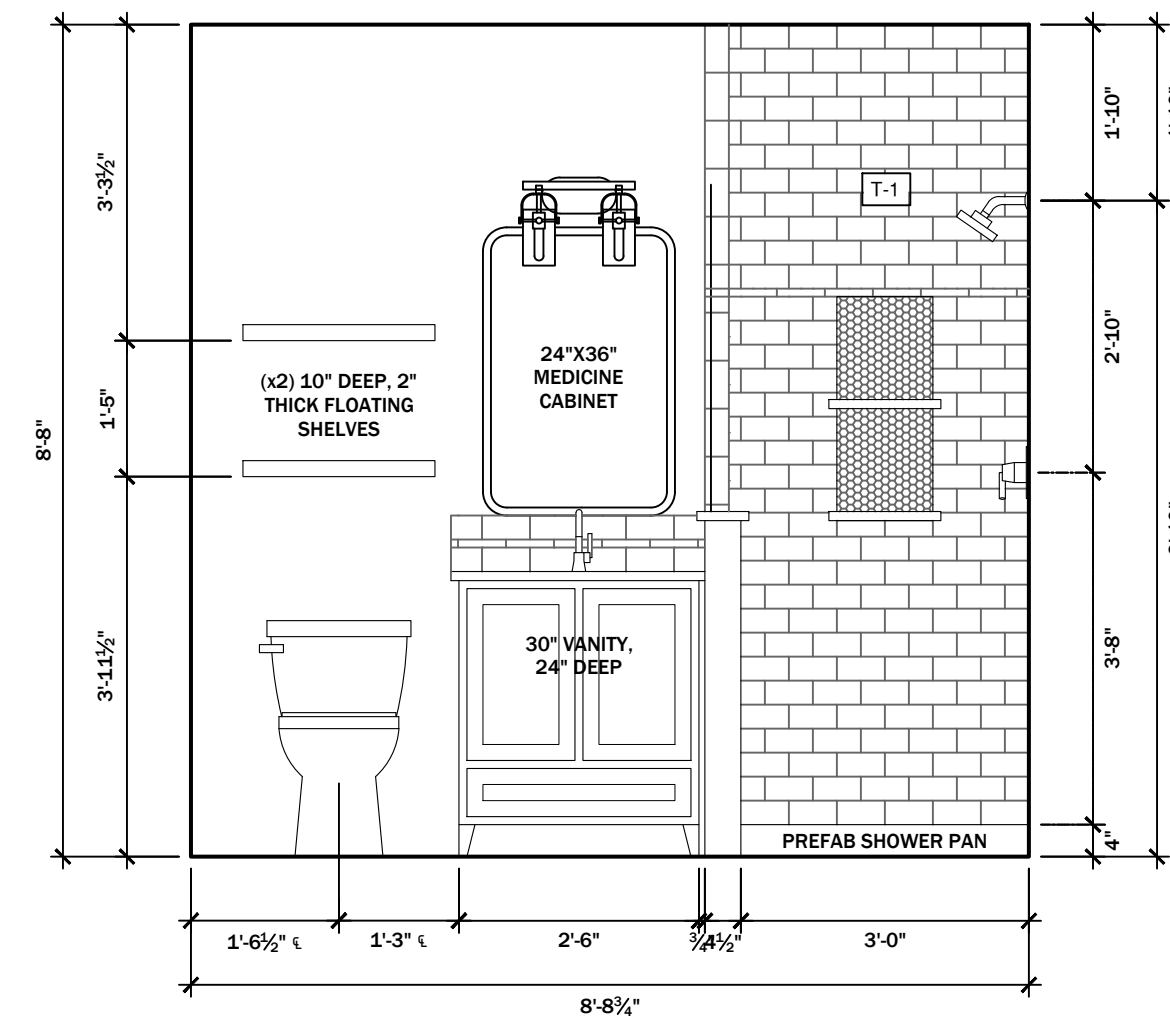
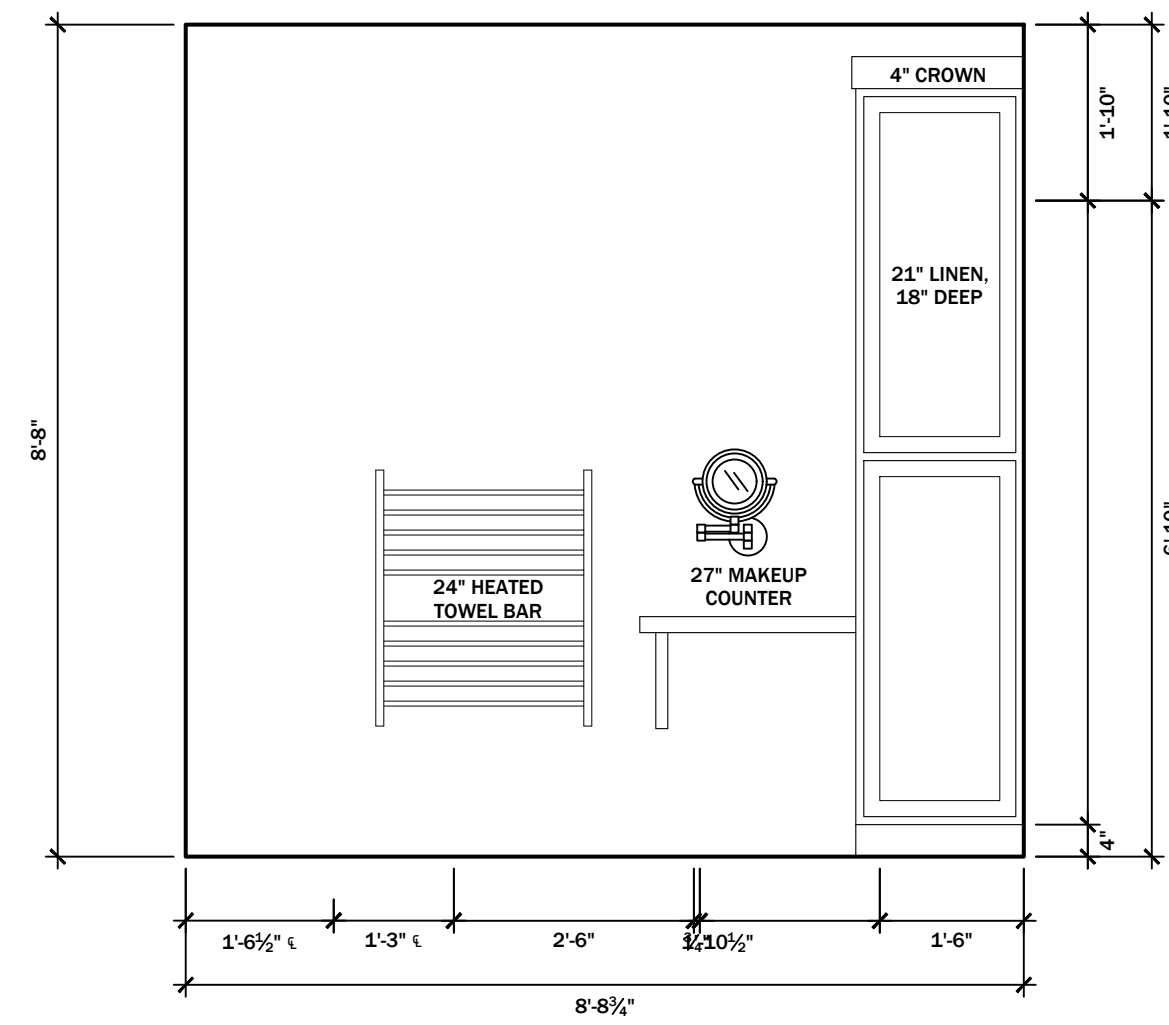
SHEET NO:

F.1
 1 of 4



FLOORING LAYOUT DIAGRAM

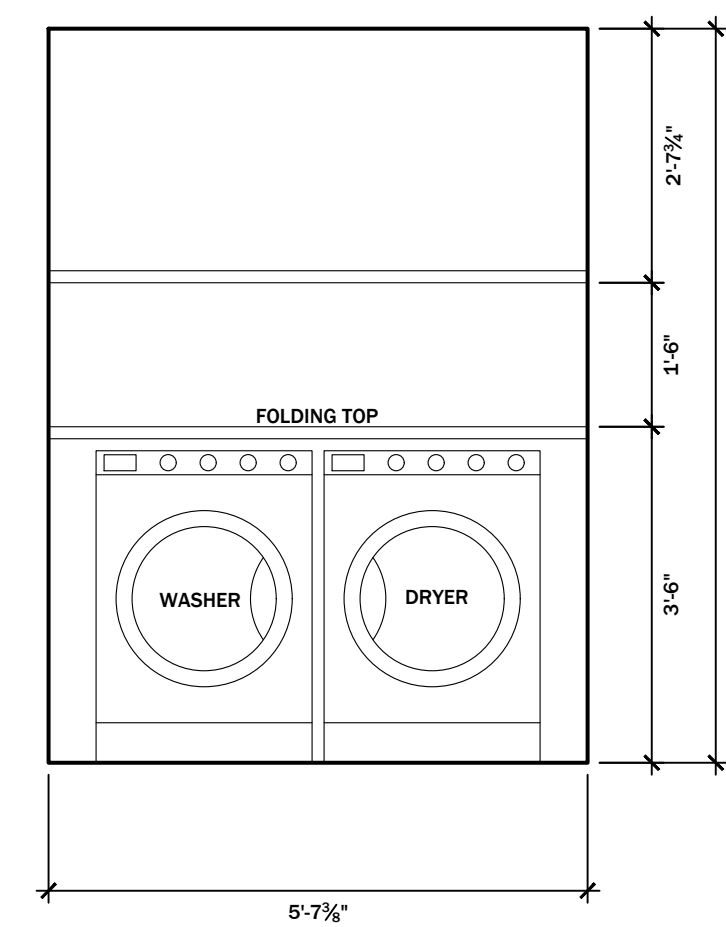
SCALE: 1/2" = 1'-0"



BASEMENT BATH

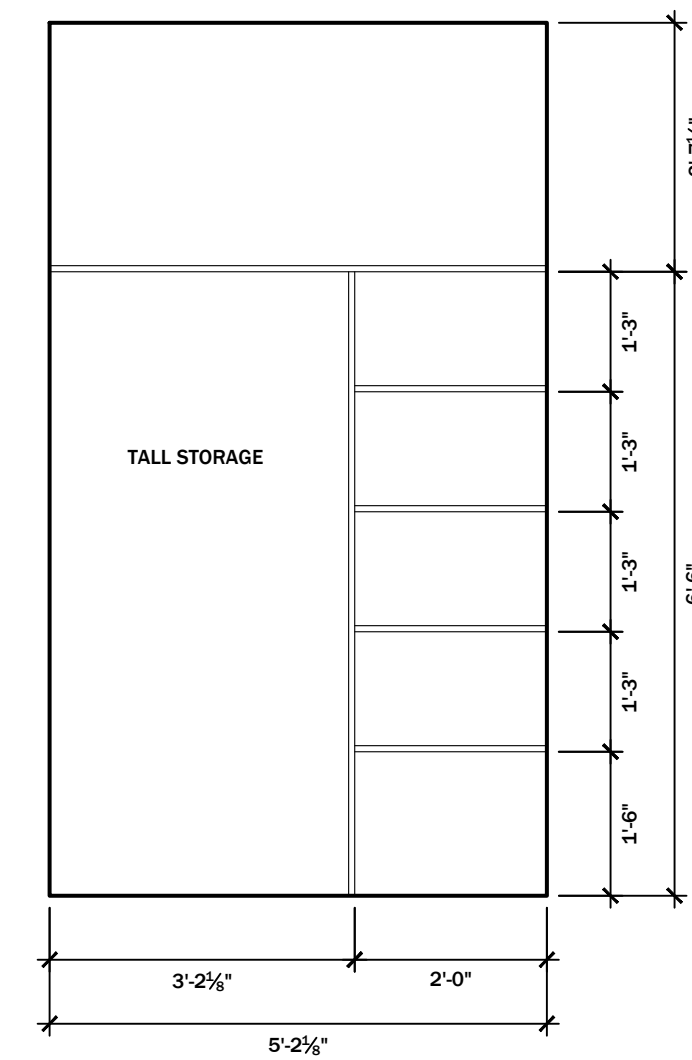
SCALE: 1/2" = 1'-0"

INTERIOR FINISH SCHEDULE							
SYM.	SIZE	DESCRIPTION	INSTALL PTRN	GROUT	SCHLUTER	CAULK	NOTES
T-1	3x6	FLORIDA TILE STREAMLINE BUFF	BRICKSET	LATICRETE IRON 97	JOLLY A100 BRUSHED ALUM.EB	SILICONE- IRON	



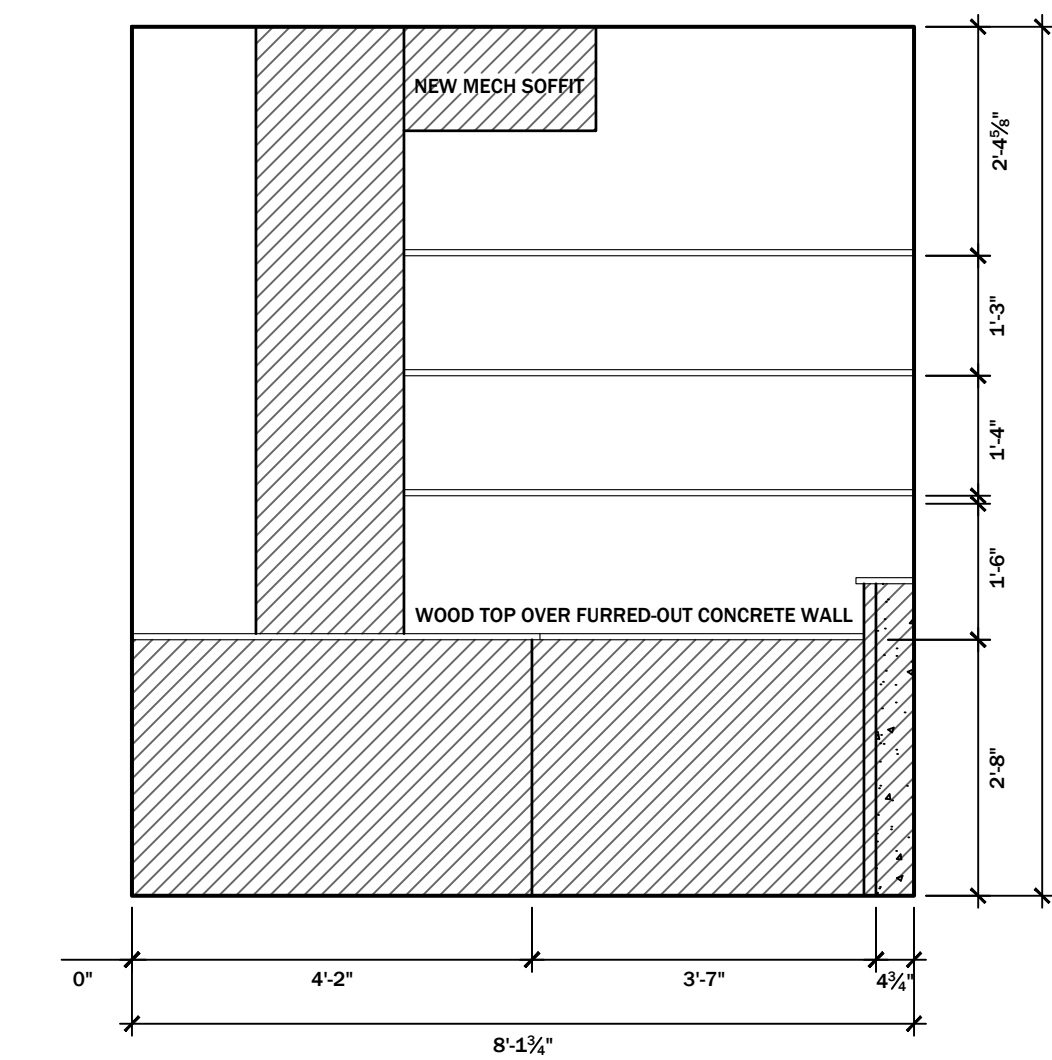
LAUNDRY SHELVING LAYOUT

SCALE: 1/2" = 1'-0"



BROOM CLOSET LAYOUT

SCALE: 1/2" = 1'-0"



GYM CLOSET LAYOUT

SCALE: 1/2" = 1'-0"



ELEVATED DESIGN BUILD
144 RACQUETTE DR
FORT COLLINS, CO 80524
© 2024

SHEET TITLE:
BASEMENT INTERIOR ELEVATIONS

PROJECT:
WEBB RESIDENCE
632 PETERSON ST.
FORT COLLINS, CO 80524

ISSUE SET:

PERMIT SET

DRAWING DATE:

6/25/2024

REVISIONS:

1	
2	
3	
4	

DRAWN BY: CHECKED BY:

HR DK

FILE NAME:
Webb- Permit Set-
4.30.24

SCALE:

1/2" = 1'-0"

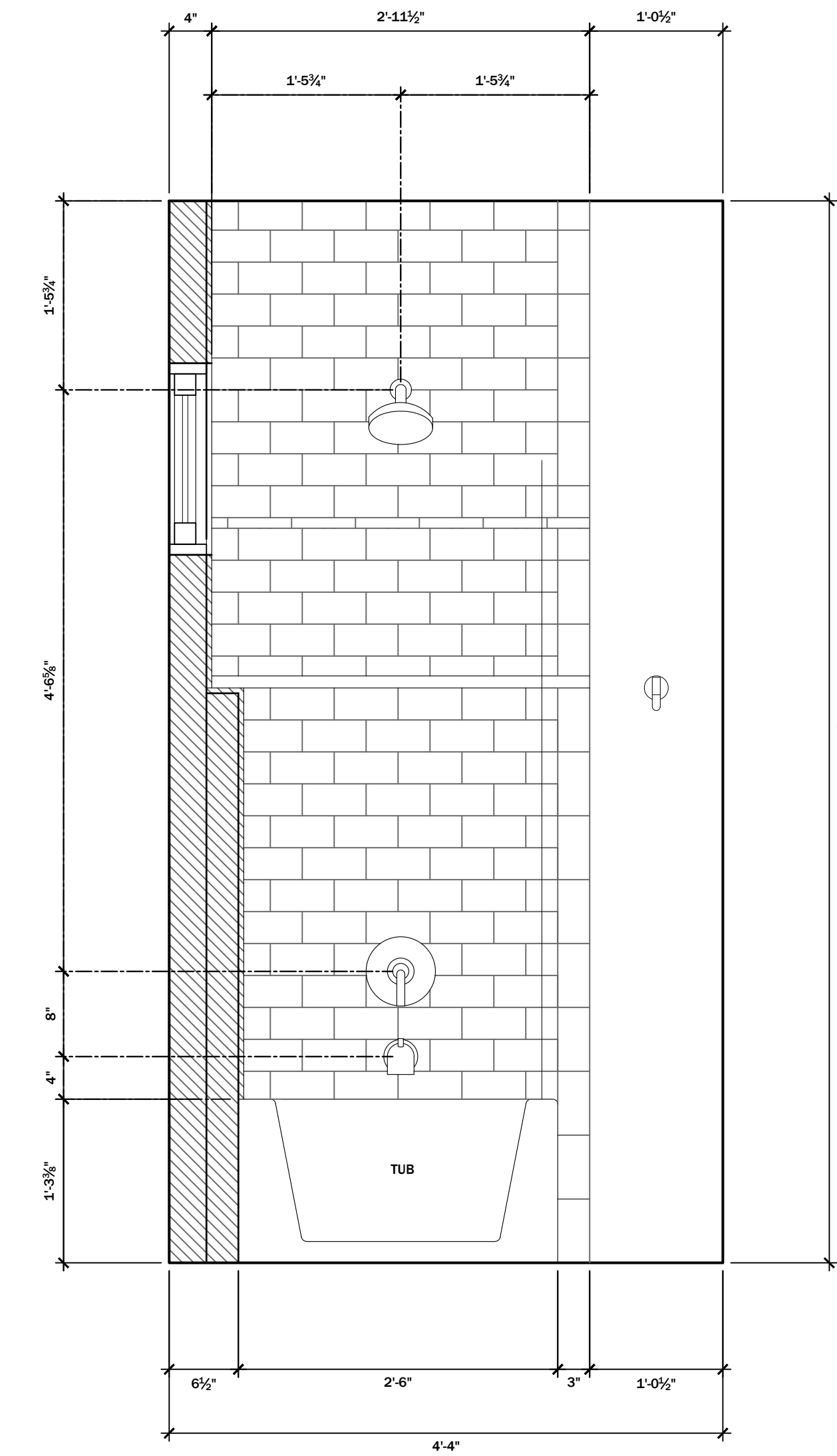
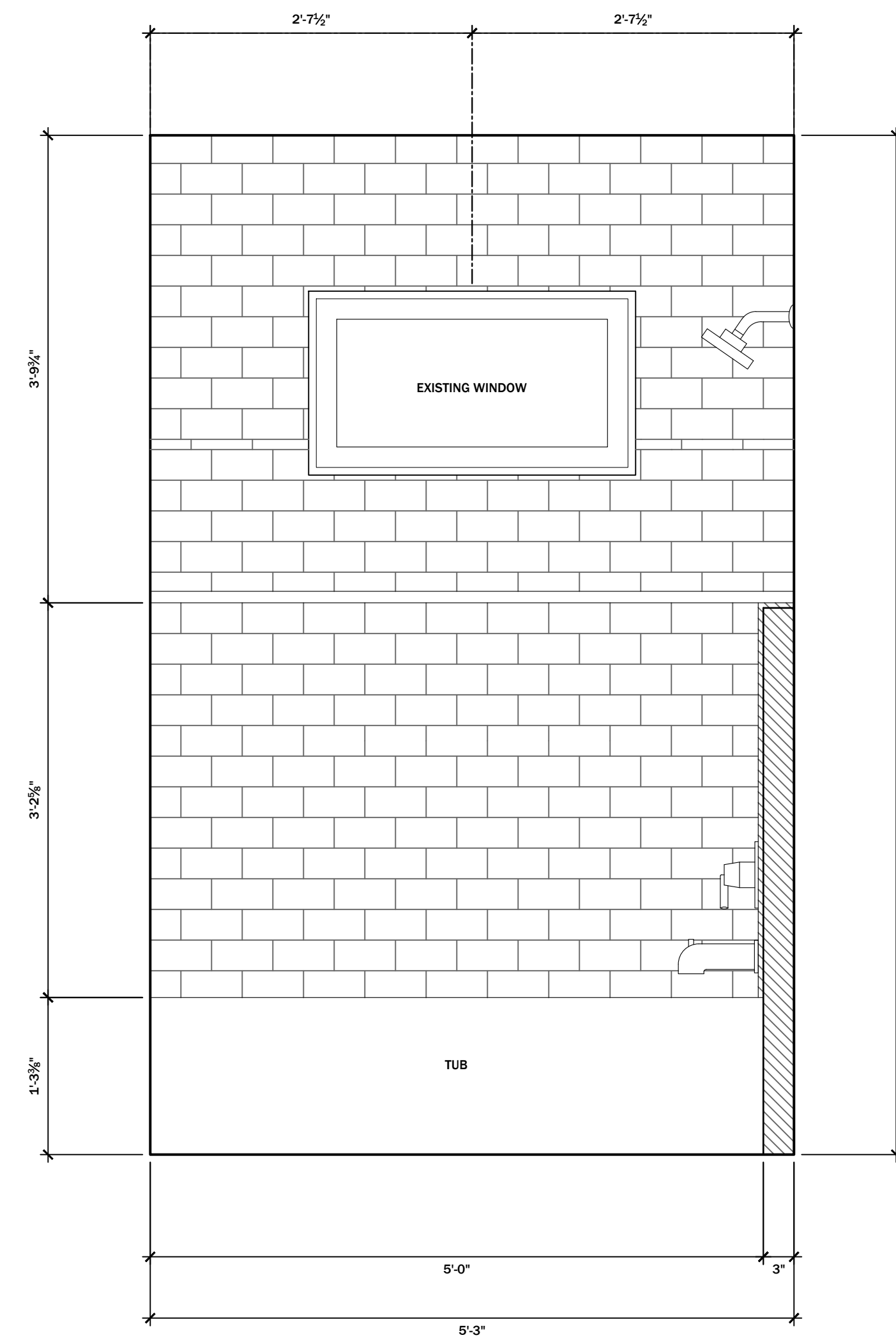
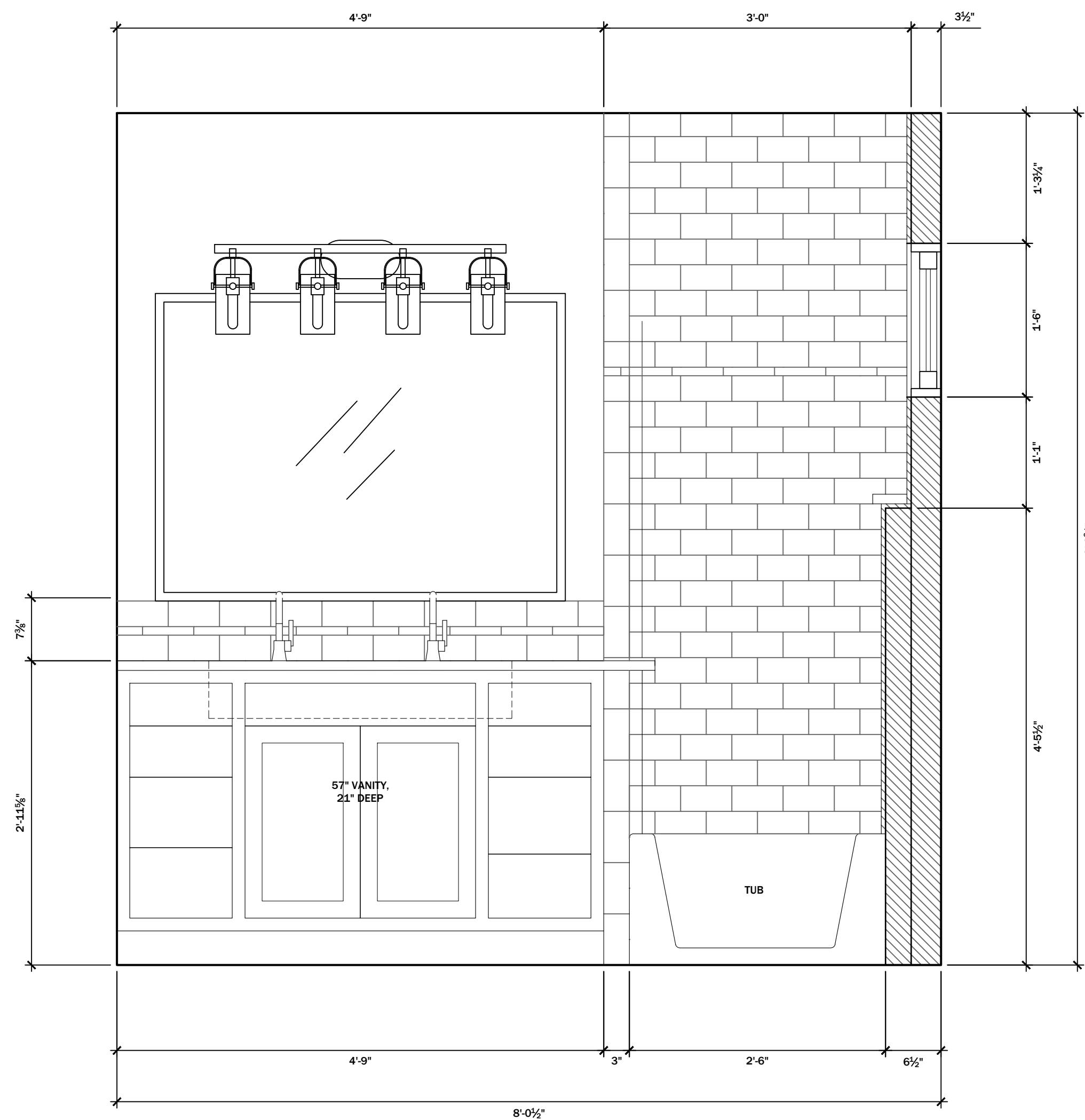
SHEET NO:

F.2

2 of 4



ELEVATED DESIGN BUILD
 144 RACQUETTE DR
 FORT COLLINS, CO 80524
 © 2024



UPPER BATH ELEVATIONS

SCALE: 1" = 1'-0"

SHEET TITLE:
UPPER BATH ELEVATIONS

PROJECT:
**WEBB RESIDENCE
 632 PETERSON ST.
 FORT COLLINS, CO 80524**

ISSUE SET:

PERMIT SET

DRAWING DATE:

6/25/2024

REVISIONS: DATE:

1	
2	
3	
4	

DRAWN BY: CHECKED BY:

HR DK

FILE NAME:

**Webb- Permit Set-
 4.30.24**

SCALE:

1" = 1'-0"

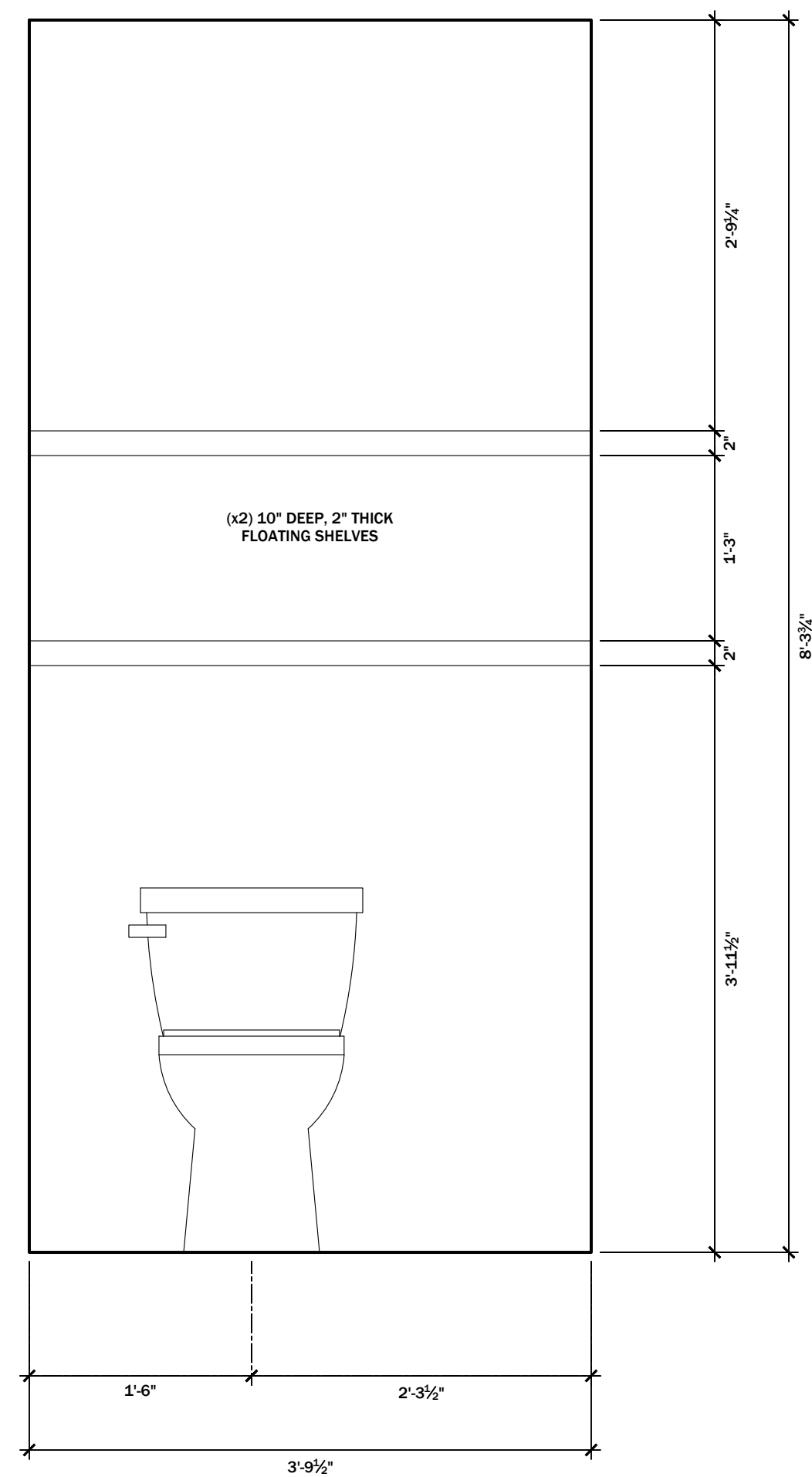
SHEET NO:

F.3

3 of 4

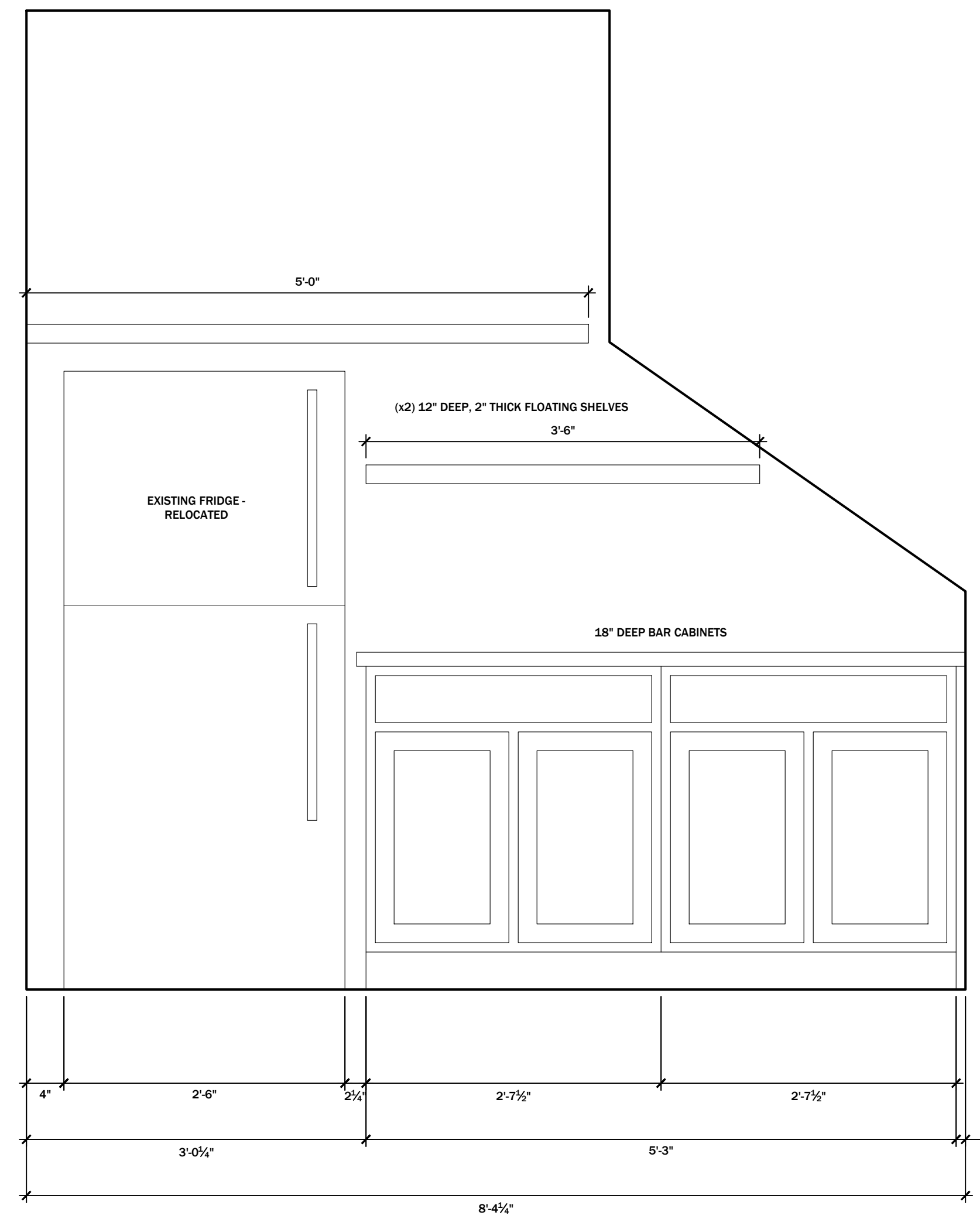


ELEVATED DESIGN BUILD
144 RACQUETTE DR
FORT COLLINS, CO 80524
© 2024



UPPER BATH TOILET ELEVATION

SCALE: 1" = 1'-0"



BASEMENT BAR ELEVATION

SCALE: 1" = 1'-0"

SHEET TITLE:
MISC ELEVATIONS

PROJECT:
WEBB RESIDENCE
632 PETERSON ST.
FORT COLLINS, CO 80524

ISSUE SET:

PERMIT SET

DRAWING DATE:

6/25/2024

REVISIONS: DATE:

REVISIONS:	DATE:
1	
2	
3	
4	

DRAWN BY: CHECKED BY:

HR DK

FILE NAME:
Webb- Permit Set-
4.30.24

SCALE:
1" = 1'-0"

SHEET NO:

F.4

4 of 4

SOLD BY:

Highland Window and Door Fort Collins
 426 S Link Ln
 Fort Collins, CO 80524-2753

SOLD TO:

CREATED DATE
8/5/2024

LATEST UPDATE
8/5/2024

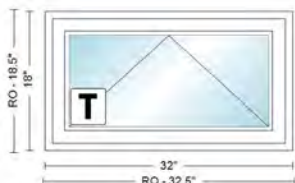
OWNER
Seth Johnson

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
EDB Peterson	Peterson Bath	6209345		

ORDER NOTES: **DELIVERY NOTES:**

<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
100	1	Vent	Bath	\$569.52	\$569.52



RO Size: 32 1/2" x 18 1/2"

Unit Size: 32" x 18"

100AS 2' 8"X1' 6", Unit, 100 Series Awning, 1 3/8" Setback, White Exterior Frame, White Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Vent, Dual Pane Low-E SmartSun Tempered Argon Fill Stainless Glass / Grille Spacer, Folding, 2 Sash Locks White, White, Full Screen, Fiberglass

Insect Screen 1: 100 Series Awning, 100AS 32 x 18 Full Screen Fiberglass White

Unit #	U-Factor	SHGC	ENERGY STAR
A1	0.27	0.18	NO

SOLD BY:

Highland Window and Door Fort Collins
 426 S Link Ln
 Fort Collins, CO 80524-2753

SOLD TO:

CREATED DATE
7/23/2024

LATEST UPDATE
8/5/2024

OWNER
Seth Johnson

Abbreviated Quote Report - Customer Pricing

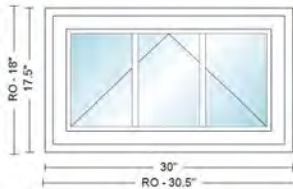
QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
------------	--------------	--------------	--------------	----------

EDB Peterson	Peterson Gym	6142734		
--------------	--------------	---------	--	--

ORDER NOTES:

DELIVERY NOTES:

Item	Qty	Operation	Location	Unit Price	Ext. Price
100	1	Vent	Gym	\$404.52	\$404.52



RO Size: 30 1/2" x 18"

Unit Size: 30" x 17 1/2"

100AS 2' 6"X1' 5 1/2", Unit, 100 Series Awning, 1 3/8" Setback, White Exterior Frame, White Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Vent, Dual Pane Low-E SmartSun Standard Argon Fill Finelight Grilles-Between-the-Glass 3 Wide, 1 High, Specified Equal Light Pattern, White, w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Folding, 2 Sash Locks White, White, Full Screen, Fiberglass

Insect Screen 1: 100 Series Awning, 100AS 30 x 17.5 Full Screen Fiberglass White

Unit #	U-Factor	SHGC	ENERGY STAR
A1	0.27	0.17	NO

SUB-TOTAL:	\$404.52
FREIGHT:	\$0.00
LABOR:	\$0.00
TAX:	\$0.00
TOTAL:	\$404.52

CUSTOMER SIGNATURE _____ DATE _____

* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors

**UPSTAIRS
BATHROOM**

This historic window no longer within scope of project - See email attached (YJ, 8/15/2024)

BASEMENT





632









632

From: [David Kaplan](#)
To: [Historic Preservation](#)
Cc: [Hailey Ruthven](#)
Subject: [EXTERNAL] Re: Re: Permit B2405122 - 632 Peterson St.
Date: Thursday, August 15, 2024 10:42:43 AM
Attachments: [Apps - 632 Peterson St. - v2.pdf](#)
[Plans - 632 Peterson St. - v2.pdf](#)

Good morning Yani,

Please find attached the drawings for the 632 Peterson Remodel where we removed notes about replacing the existing historic window in the basement. We will be replacing the two non-historic windows: the plexiglass window in the basement, and the window in the shower in the upstairs bath.

I have resubmitted these drawings to the City as well, including a new application with update language regarding the windows.

Please let me know if there is anything else you need from us to move this permit application forward.

Thank you, have a great day!

David Kaplan
General Manager
office: (970) 682-8363 x 104
direct: (970) 413-7225
www.ElevatedDesignBuild.com



On Thu, Jul 18, 2024 at 2:47 PM Historic Preservation <preservation@fcgov.com> wrote:

Hi David,

Thanks for sending all of this info over along with the photo set!

As I mentioned in my first email, replacement of historic features is only allowed under the [Secretary of the Interior's Standards for Rehabilitation](#) in cases where deterioration is so severe that repair is not possible (Standard 6), and then when replacement of historic material is warranted, replacement should be done in-kind.

Looking at the photos, it appears that the single-lite basement window is a replacement, the multi-lite window is historic, and it's hard to tell from the photos about the upper-level bathroom

window, but it is likely not historic. Your project doesn't conform to the Secretary of the Interior's Standards right now, and so it can't be approved, but here are some suggestions that would help bring the project into compliance to make it approvable:

- Single-lite basement window
 - Because this window is not historic, it can be replaced. Vinyl is not an approvable material for the replacement because it's not compatible with the historic nature of the property and because the material is not durable in comparison to other products – The City's Energy Code Specialist always advises us that vinyl windows tend not to hold up as well as other materials, especially in basements, where seals tend to quickly fail. Any non-vinyl material should be okay, though (e.g., wood, fiberglass, etc.)! I'd also encourage you to select a design with those 3 vertical lites (or with a non-integrated grille simulating that design) to be more similar to the other window, but it's not required.
- Multi-lite basement window
 - This window is historic, and after reviewing our physical project files, it was the termite-damaged unit that was repaired/restored. That project happened in 2006 as a Landmark Rehab Loan project. Because this window is historic, the expectation is that it is repaired if maintenance is needed rather than being replaced. If you think the window is so deteriorated it has to be replaced, I'd need to connect you with a historic window specialist to help make that determination – In this case, since Empire Carpentry did the 2006 repair, I'd most likely reach out to them for that determination. If you think the window is repairable, please send some info about how you propose to repair the window, and it can most likely be approved.
- Upper-floor bathroom window
 - We do not have any historic photos of the house from this side on file, and there are also no permit records for adding/modifying a window in this location (but that's not surprising because windows didn't require permits until recently). With that said, looking at the windows and trim on the rest of the house, I find it likely that this window either replaced a 1/1 double-hung window like its neighbor or that it was added in a new opening. For that reason, this window can be replaced, but again, vinyl would not be an approvable material.

I hope that helps! Please let me know if you need any more clarification. Otherwise, please share your revised plans with me to review. I'm also going to update my "hold" in the permitting software to let the Building Services team know that you're working on revisions based on the historic preservation regulation and that they're going to be receiving updated materials from you.

Take care,

Yani

.....
YANI JONES