



Historic Preservation Services
 Community Development & Neighborhood Services
 281 N. College Ave.
 Fort Collins, CO 80524
 970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE
Site Number/Address: 314 Whedbee St.
Laurel School National Register Historic District
ISSUED: 8/20/2024

Jill S. Ball Living Trust
 c/o Steve Josephs, Craftsmen Builders, Inc.
 319 E. Magnolia St.
 Fort Collins, CO 80524

Dear Property Owner:

This report is to document proposed alterations to the Sears/Cooper/Bales/Schild House, at 314 Whedbee St., pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include: Rear/side addition with deck; replacement of rear door and window

Our staff review of the proposed work finds the alterations overall do meet the [SOI Standards for Treatment of Historic Properties](#), although the project could be improved through siting alterations to reduce the visibility of the addition from the street. A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>This project will not change the residential use of this historic house.</p>	Y

<p>SOI #2</p>	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>This property is designated as a contributing part of the Laurel School Historic District on the National Register of Historic Places. That district is recognized for its examples of early architecture and community development in Fort Collins from the 1870s to the 1930s. This property specifically is a hipped-roof box type house that was constructed in 1904 by builder J.L. Rowe for C.E. Sears, although the first known residents were Arthur P. Cooper, a draftsman for the Great Western Sugar Company, and his wife, Susan.</p> <p>The addition planned will not compromise the historic character of this property. Although it will be visible from the street because it wraps around the side of the home, the addition is well set back from the front plane of the house, and the simple, hipped-roof box form of the house will remain evident. The home will continue to express its significance to the district as an example of an early twentieth century working class residence. However, it should be noted that the siting of an addition entirely at the rear of a historic home and/or encasing a smaller portion of the side elevation would better meet this Standard and others.</p> <p>The deck project will primarily be replacing an existing deck that is not a character-defining feature of this house and does not appear to be historic. The window and door replacements proposed are replacing non-historic units, as noted by the applicant. These elements also align with this Standard.</p>	<p>Y</p>
<p>SOI #3</p>	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>Because of the distinct massing of this addition as well as the use of modern materials, such as the cementitious siding and the composite decking material, the various aspects of this project do not create a false sense of historical development, and so this Standard is met.</p>	<p>Y</p>
<p>SOI #4</p>	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	<p>N/A</p>

<p>SOI #5</p>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>Although some historic material, such as some siding and wall material, will be lost to accommodate the addition, there is only one new perforation into the existing house for the connecting doorway to the addition, which helps to minimize the loss of historic material. The existing deck and window and door material being replaced are not historic materials. This Standard is met.</p>	<p>Y</p>
<p>SOI #6</p>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p>The existing window and door being replaced are non-historic, vinyl or fiberglass units, per the attached email from the project contractor. The window will be replaced with a metal-clad wood window (interior wood only), and the door will be replaced with either a fiberglass or wood single-lite door, which are appropriate replacements for these non-historic features.</p>	<p>Y</p>
<p>SOI #7</p>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<p>N/A</p>
<p>SOI #8</p>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>Although there is not reason to believe that there is a likelihood of uncovering archaeological resources during any needed excavation for the addition or deck, the applicant should be advised of this Standard and please contact Historic Preservation Services immediately in the event that anything is found at preservation@fcgov.com and/or 970-224-6078.</p>	<p>Y</p>

SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>As previously discussed, the proposed addition and deck will destroy little historic material, aligning with this Standard. The new work will be differentiated from the old primarily through the use of modern materials, such as cementitious siding, metal-clad wood windows, and composite decking. The new construction is compatible with the historic home through consistency with it in design elements such as the matching reveal of the siding, the matching gable-end shingle detail, use of double-hung and awning window types, and the use of a painted redwood rail for the new deck. Again, although the siting of the addition could be altered to minimize visibility from public rights-of-way, the addition’s distinct massing, its subordination in terms of height with the peak of the existing hipped roof, and its significant setback from the house’s façade all align with this Standard.</p>	Y
SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>Although some historic materials, primarily siding and roof framing materials, will be lost to accommodate this addition, if it were desired to remove it in the future, lost features could reasonably be restored with appropriate materials because the project does not include removal of a significant part of any wall, and so the essential form of the historic house would be unimpaired.</p>	Y

If you have any questions regarding this review, please contact me. I can be reached at yjones@fcgov.com or at 970-224-6078.

Sincerely,

Yani Jones
Historic Preservation Planner



BUILDING PERMIT APPLICATION

FOR OFFICE USE	
APPLICATION NUMBER: _____	APPLICATION DATE: _____

Job Site Address 314 WHEDBEE ST **Unit#** _____

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name BALL First Name JILL Middle _____
 Street Address 314 WHEDBEE ST City FT COLLINS State CO Zip 80524
 Phone # 1-608-213-9066 Email jillsb025@gmail.com

Name of Business (COMMERCIAL USE ONLY) _____

CONTRACTOR INFO: Company Name CRAFTSMEN BUILDERS

License Holder Name STEVE JOSEPHS LIC # D-607 CERT # 1241-D1

LEGAL INFO:

Subdivision/PUD //10163 Filing # _____ Lot # 6 Block # 163 Lot Sq Ft 9500

CONSTRUCTON INFO: Total Building Sq Ft (NOT including basement) 1369 Total Garage Sq. Ft. 324

Residential Sq Ft 1369 Commercial Sq Ft _____ # of Stories _____ Bldg Ht _____ # of Dwelling Units _____

1st Floor Sq Ft 1369 2nd Floor Sq Ft _____ 3rd Floor Sq Ft _____ Unfinished Basement Sq Ft 0

Finished Basement Sq Ft 0 # of Bedrooms 3 # of Full Baths _____

¼ Baths 2 ½ Baths _____ # Fireplaces 1

ENERGY INFORMATION: (CHECK ONE)

Prescriptive Performance U/Arescheck ERI ASHRAE Component/Comcheck IDAP

Air Conditioning? YES NO

City of Fort Collins Approved Stock Plan # SPO List Option #s _____

Utilities INFO:

New Electric Service Electric Service Upgrade Electric Meter Relocation

Electric Main Breaker Size (Residential Only): 150 amps or less 200 amps Other:

Gas Electric Electric Temp Pedestal? Yes No

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.) _____

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant New Tenant

If for a new tenant, is this the first tenant to occupy this space?

Yes No If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes No

If yes, please describe: ADDITION TO NORTH AND EAST

Value of Construction (materials and labor): \$ 318,000

Description of Work: 433 SF. MASTER BEDROOM ADDITION TO INCLUDE 3/4 BATH, LAUNDRY, AND GAS FIREPLACE. PROJECT ALSO INCLUDES NEW 326 SF DECK

JOBSITE SUPERVISOR CONTACT INFO: Name STEVE JOSEPHS Phone 970-218-6905

SUBCONTRACTOR INFO: Electrical BLUE LINE ELECTRIC Mechanical NARDI AIR
Plumbing TAFTHILL PLUMBING AND HEATING WESTERN FIREPLACE SUPPLY Framing CRAFTSMEN Roofing TORNADO ROOFING
Fireplace WESTERN FIREPLACE SUPPLY Solar _____ Other _____

ASBESTOS STATEMENT DISCLOSURE: *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) _____
- An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature  Type or Print Name STEVE JOSEPHS
Phone # 970-218-6905 Email STEVE@CRAFTSMENBUILDERSINC.COM

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE



Building Permit Submittal Checklist:

New Single Detached Family Homes, Duplexes, Townhomes, and Additions

Incomplete or deferred submittals will not be accepted

Required at the time of permit submittal - Electronic submittal required.	
✓	New Construction Cost Form (for building permit fees)
✓	Drawings depicting the scope of work Plans must reflect current adopted codes and standards www.fcgov.com/building/codes.php
✓	Energy Code Compliance Form
	Construction Waste Management Plan Form
✓	Building Permit Application
NA	Mechanical Design Form and Load Calcs
NA	Homeowner Affidavit (homeowner builders only)
	Plan Check Fee. Additional fee is required for an optional F&F permit.

Required Drawings NA=Not Applicable NIS=Not in scope	
✓	Architectural Drawings: Existing Drawings showing pre-demo condition. Proposed Floor Plans with room labels and areas. Exterior Elevations, Building Sections, Details.
✓	Structural Drawings: Sheer: wall bracing and method used, wind speed used, wind speed method, wind speed exposure. Loads: Floor and roof loads used. Framing Plans: Floor, Roof, Girders and Headers Connections and details: including stair attachment details <i>Stamped & Signed Drawings by a Colorado Licensed Engineer/Architect are required for all footing and foundation work (new or altered).</i>
NA	Mechanical Load Calcs (required for new furnaces with new ductwork including new secondary systems for additions) Manual J,D,S (ACCA approved only)
✓	Electrical Drawings: Outlets, lighting, panel, equipment. Furnace
✓	Site Plan: Show distance from new work to property lines and adjacent structures on the same lot. Include outdoor area calculation: https://www.fcgov.com/wsr
	Townhomes only: Accessibility site compliance plan (CRS 9-5)
	Townhomes and Duplexes only : Fire separation details and <u>fire sprinkler systems</u> under P2904 must be submitted for review.
	Townhomes and Duplexes only : Submit the City of Fort Collins Approved site <u>Utility Plan</u> , (that was approved in development) showing underground utilities and line sizes.

Additional Requirements (may require a separate submittal, or review process)	
	Separate Demo Permit: Required for Full or Partial demolition of exterior elements.
	Separate Solar Permit: Required for all new solar
	Historic Preservation Review www.fcgov.com/historicpreservation Alterations to, or Demolitions of buildings more than 50 years old will be reviewed for Historic Eligibility
	Grading WaterUtilitiesEng@fcgov.com Grading plan may be required if impervious area on lot is greater than 350sf.
NO	Are you building in a Floodplain? https://www.fcgov.com/utilities/what-we-do/stormwater/flooding/floodplain-maps-documents
	Zoning: Contact Zoning for questions on: Setbacks, easements, buildable area per lot, and short term rentals. zoning@fcgov.com
	Poudre Fire Authority: 102 Remington / (970)-416-2891 https://www.poudre-fire.org/online-services If the following types of Fire Suppression systems are used, separate a separate permit to Poudre Fire Authority online: 13D, 13R, NFPA 13
Optional Footing & Foundation Permit (new homes only, not allowed for additions)	
	Submit for full permit with an additional F&F set
	F&F Set: Structural Foundation Plans (stamped), Underground plumbing and electric (for townhomes only).

Applicant Name:STEVE JOSEPHS	Job Site Address:314 WEDBEE
Phone:970-218-6905	Email (Required):STEVE@CRAFTSMENBUILDERSINC.COM

Building permit fees are based on Occupancy Category and Square Footage. Occupancy Categories are typically located on the architectural plans for submittal. A summary of each occupancy category is also included in the following pages as well.

Required for permit submittal - Fill out the following table:

Occupancy Category (See Description of Occupancies Below)	Square Footage	Multiply square foot by cost per square foot.	Cost per Square Foot	Total
A (Assembly)		x	\$0.40	
B (Business)		x	\$0.50	
E (Education/Schools)		x	\$0.50	
F (Factory)		x	\$0.35	
I (Institutional)		x	\$0.50	
M (Mercantile)		x	\$0.40	
R-1 (Hotel)		x	\$0.35	
R-2 (Apartment)		x	\$0.35	
R-3 (Single Family Detached/Duplex)	433	x	\$0.65	281.45
R-4 (Assisted Living)		x	\$0.55	
S (Storage)		x	\$0.40	
U (Utility)		x	\$0.40	
H High hazard		x	\$0.60	
Core and Shell Buildings (No designated occupancy type at construction)		x	\$0.45	
Total				281.45

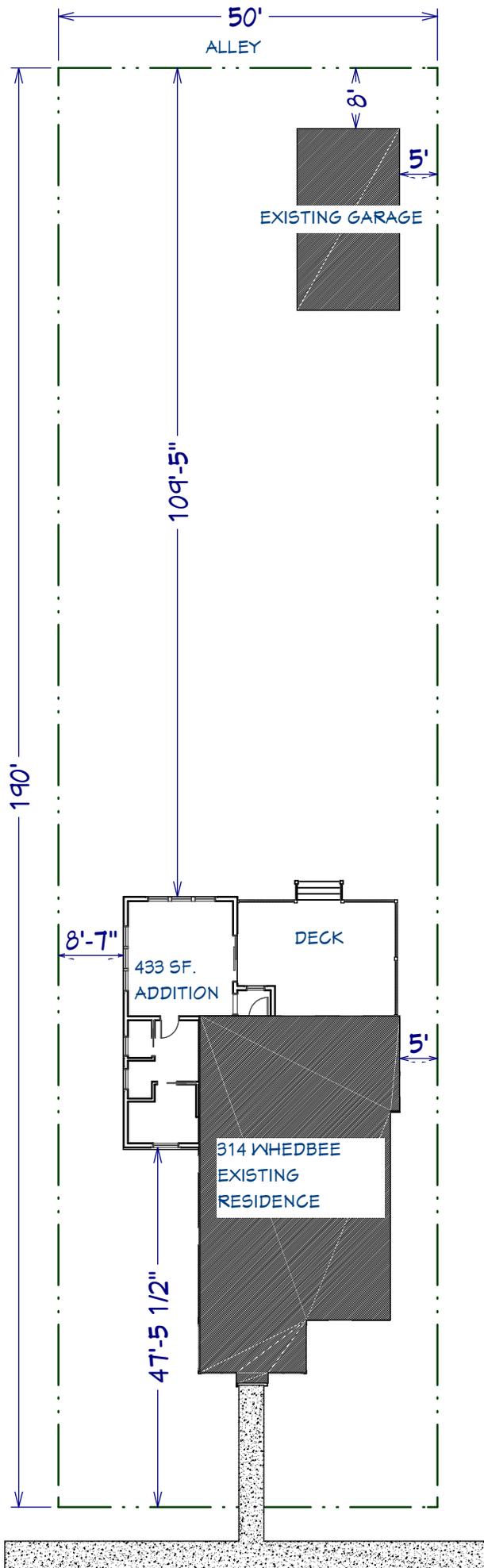
****Occupancies and fees will be verified at plan review to ensure occupancy categories and square footages are accurate. Fees will be re-assessed if occupancies and square footages do not match plans.****

For additions that include interior remodel: please provide addition square footage above and remodel only valuation here _____.

Please note: overall valuation provide on building permit application will be used for taxes only. Remodel only valuation will be used to calculate plan check fee and building permit fee for addition.

For New Multi-family buildings fill out the following:

- Are there any areas/functions, other than dwelling units in this building (examples: leasing office, gym, community gather areas, storage, garage, facilities office)?
 - Yes - there are other functions/occupancy areas. *Required: list each in the table above*
 - No - only dwelling units
- Are these other areas/functions/ occupancy types available to the public (examples: public gym or pool, event spaces, store/shops/salons, etc.)?
 - Yes (Mixed Use Building) - there are other occupancies/amenities available to the public.
 - No (Multi-Family Building) - the other occupancies/amenities are only available to the residents of the building.



SITE PLAN
314 WHEDBEE ST.

ZONING DISTRIC: OTB

DETACHED HOUSE MAX.	2400 SF.
DETACHED HOUSE WITH PROPOSED ADDITION	1369 SF.
DETACHED GARAGE MAX.	600 SF.
EXISTING DETACHED GARAGE	324 SF.



SCALE: 1"=20'



addition
EAST ELEVATION



addition
SOUTH ELEVATION

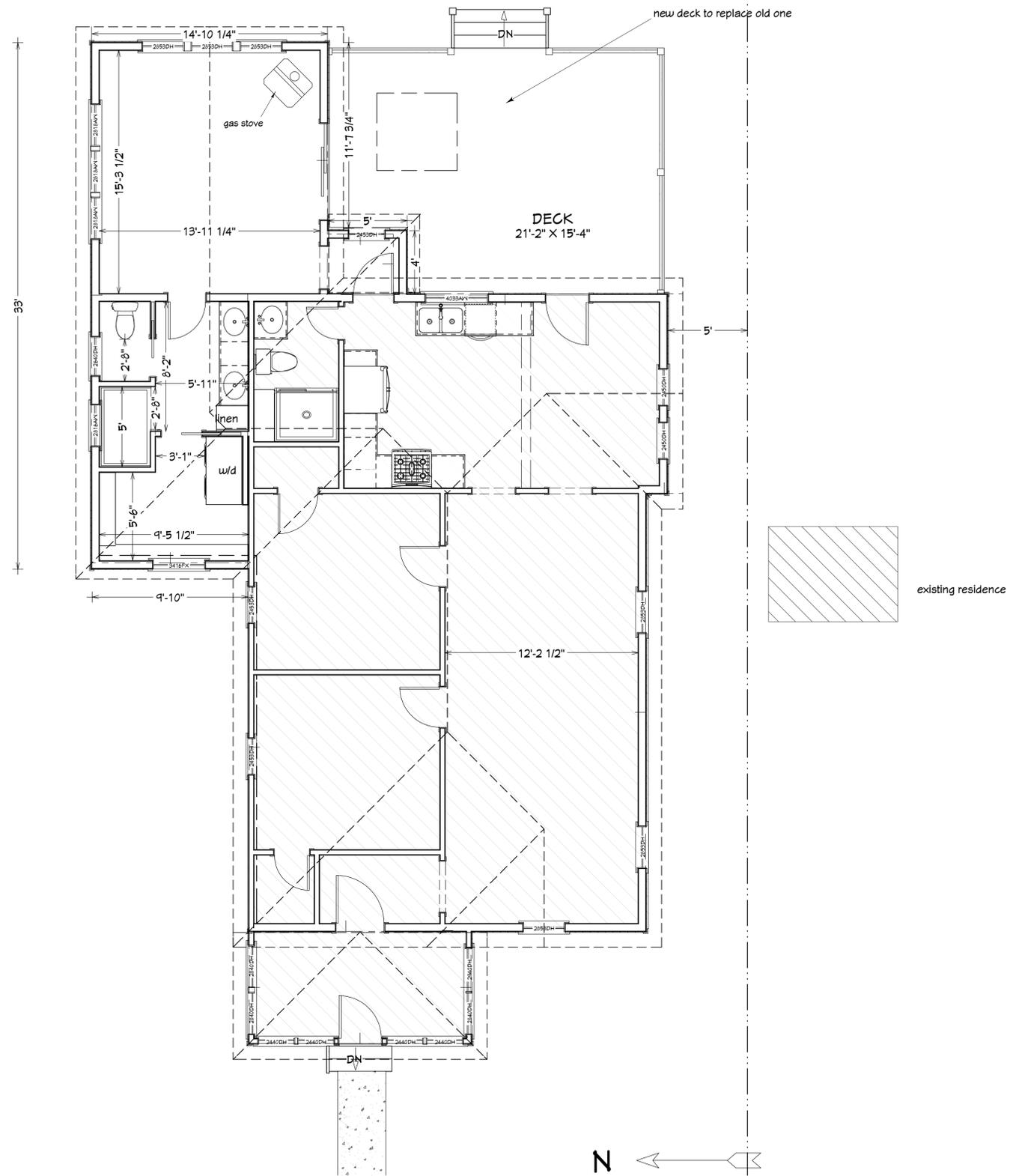


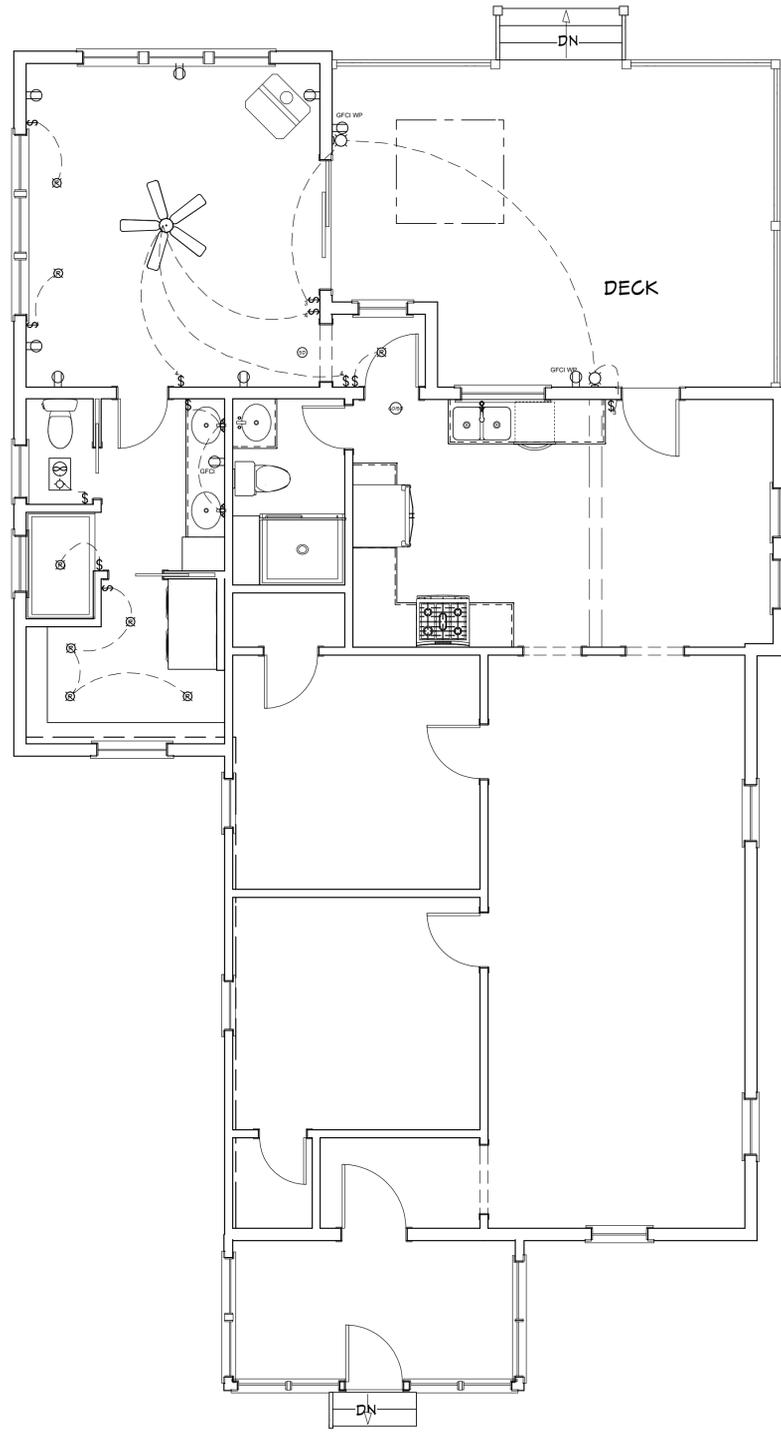
addition
NORTH ELEVATION

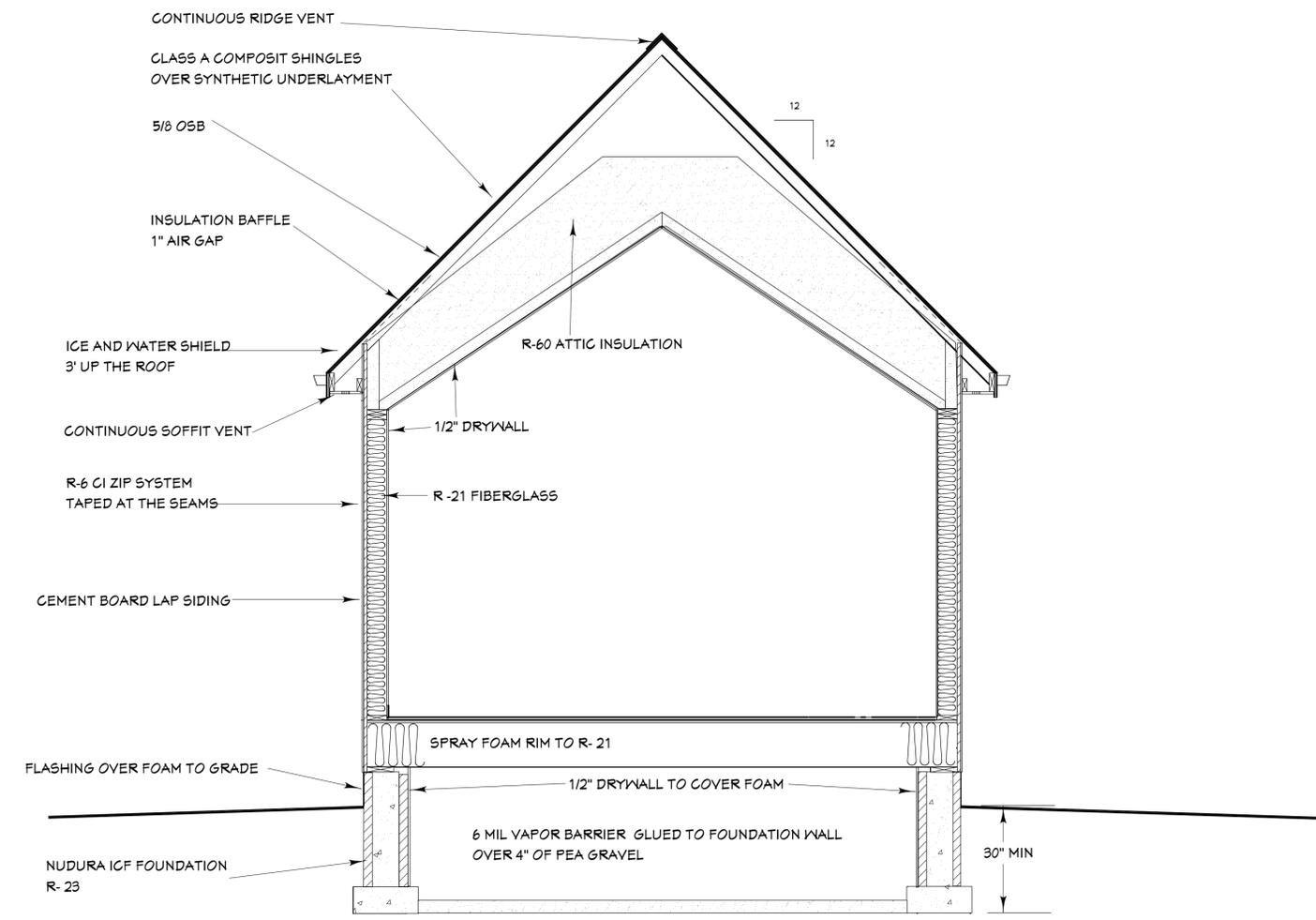


addition
WEST ELEVATION

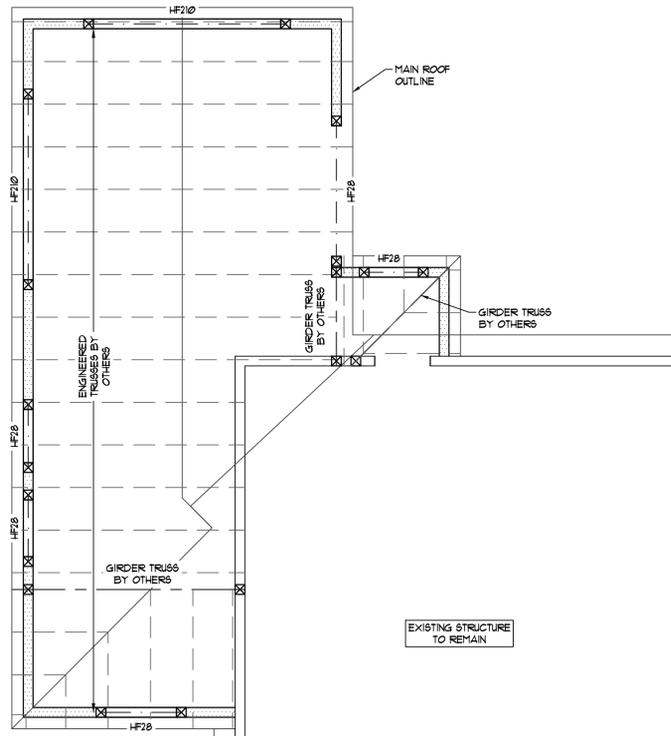
- 2x6 construction with ZipSystem + 1" foam
- Nudura ICF foundation
- Trusses by manufacturer
- Mini split cooling
- Gas stove heat
- Electric radiant floor in bath /closet



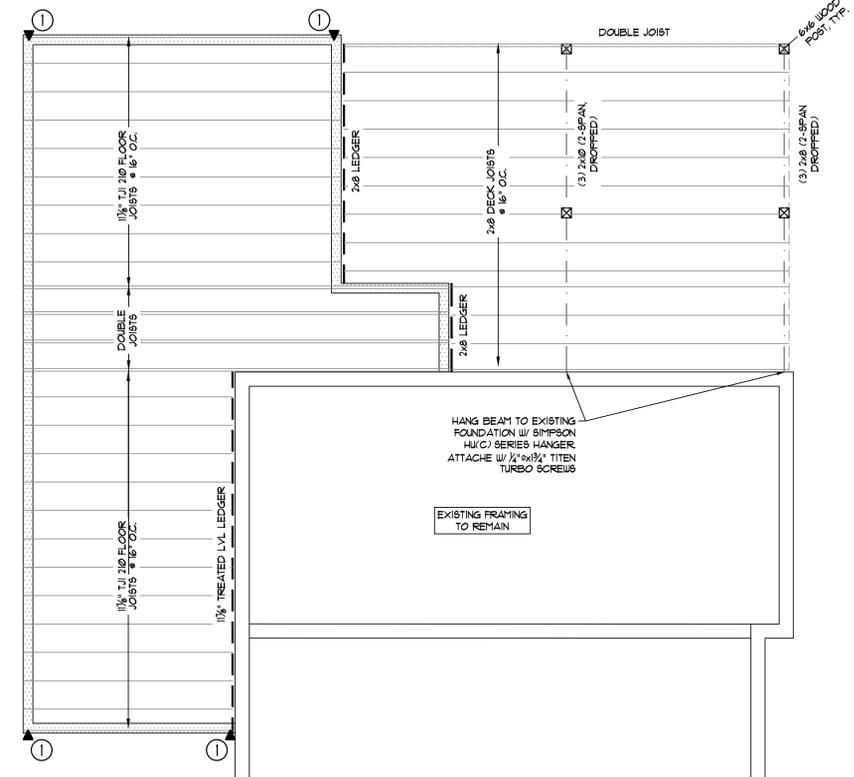




SCALE: 1"= 2'



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

FRAMING SCHEDULES

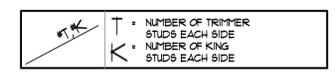
BRACED WALL PANEL SCHEDULE - STUDS @ 16"						
WALL DESIGNATION	RATED STRUC. SHEATHING TYPE	SHEATHING THICKNESS MINIMUM	HORIZONTAL EDGES BLOCKED	CONNECTOR TYPE (OR EQUAL)	EDGE SPACING	FIELD SPACING
ALL EXTERIOR UNLESS NOTED OTHERWISE	ZIP - R3 SYSTEM (NOTE 6)	PER MFR.	PER MFR.	10d COMMON	4"	12"

▲ INDICATES SIMPSON HOLD-DOWN STRAP. ATTACH PER DETAILS.

NOTES:

- ALL EXTERIOR SHEATHING VERTICAL EDGES SHALL FALL UPON STUDS PER STRUCTURAL NOTES SPACED 16" O.C. TYP. (SEE PLAN).
- HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING EXCEPT WHERE WAIVED BY THE INSTALLATION REQUIREMENTS FOR THE SPECIFIC SHEATHING MATERIAL SHOWN ABOVE.
- EXTERIOR WALL PANEL SOLE PLATES SHALL BE NAILED TO THE FLOOR FRAMING AND TOP PLATES SHALL BE CONNECTED TO THE FRAMING ABOVE IN ACCORDANCE WITH IRC TABLE 602.3 (1).
- WHERE JOISTS ARE PERPENDICULAR TO INTERIOR BRACED WALL LINES ABOVE, BLOCKING SHALL BE PROVIDED UNDER AND IN-LINE WITH THE BRACED WALL PANELS.
- WHERE JOISTS ARE PARALLEL TO THE INTERIOR BRACED WALL LINES ABOVE DOUBLE JOISTS SHALL BE INSTALLED UNDER AND IN-LINE WITH THE BRACED WALL LINE ABOVE.
- ATTACH BOTTOM PLATE OF INTERIOR WIND SHEAR WALLS TO BLOCKING/BEAMS WITH (3) Ø162" x 3 1/2" NAILS AT 16" (1x) O.C. (OR (1) Ø162" x 3 1/2" NAIL AT 5" (1x) O.C.).
- WIND SHEAR WALLS DESIGNED USING CODE PRESCRIPTIVE CONTINUOUS SHEATHING (CS), WOOD STRUCTURAL PANEL (WSP), GYPSUM BOARD (GB) METHODS, AND/OR ACCEPTED ENGINEERING PRACTICE.
- MIN 1/2" GYPSUM SHALL BE INSTALLED OPPOSITE ALL ZIP-R PRODUCTS FOR A THERMAL BARRIER, PER MANUFACTURER.

HEADER SCHEDULE			
HEADER	SIZE	MATERIAL	* OF TRIMMER STUDS PER SIDE UNLESS NOTED OTHERWISE ON PLANS
HF28	2-2x8	HF 12	(1) 2x



KING STUD SCHEDULE		
OPENING WIDTH FROM TO	* OF KING STUDS PER SIDE UNLESS NOTED OTHERWISE ON PLANS	
12" 6'-0"	(1) 2x	
6'-1" 12'-0"	(2) 2x	
12'-1" 18'-0"	(3) 2x	

HOLDDOWN (HD) SCHEDULE			
HD #	SYMBOL	MANUF. / MODEL	NOTES*
1	▲	SIMPSON HTTS W/ 3/8" x 1/2"	DRILL 4 EPOXY 3/8" x 1/2" THREADED ROD - 12" EMBED. SIMPSON SET-3G EPOXY.

HD'S AS SHOWN ARE IN APPROXIMATE LOCATIONS. FIELD LOCATE HD'S AT CORNERS, EDGE OF OPENINGS ABOVE, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCH PLANS FOR DIMENSIONS).

MIN. WOOD MEMBER SIZE PER MANUFACTURER SPECIFICATIONS.

HANGER SCHEDULE	
CONNECTION LOCATION	CONNECTOR
1-JOIST TO FLUSH WOOD BEAM	IUS-SERIES
(2) 1-JOIST TO FLUSH WOOD BEAM	IUS-SERIES
SAWN JOIST TO FLUSH WOOD BEAM	IUS-SERIES
(1)-LVL TO FLUSH WOOD BEAM	HU-SERIES
(2)-LVL TO FLUSH WOOD BEAM	HHUS-SERIES
(3)-LVL TO FLUSH WOOD BEAM	HHUS-SERIES
1-JOIST RAFTER TO RIDGE BEAM	L3SR OR HU-SERIES
SAWN RAFTER TO RIDGE BEAM	L3SR OR HU-SERIES
WOOD POST TO FOUNDATION	ABU-SERIES
WOOD POST TO BEAM ABOVE	BC-SERIES
1-JOIST TO FLUSH STEEL BEAM	ITS-SERIES
(2) 1-JOIST TO FLUSH STEEL BEAM	BA-SERIES
(1)-LVL TO FLUSH STEEL BEAM	ITS-SERIES
(2)-LVL TO FLUSH STEEL BEAM	BA-SERIES
(3)-LVL TO FLUSH STEEL BEAM	HB-SERIES
DECK PBL TO WOOD COLUMN	HUCQ-SERIES
LATERAL DECK CONNECTION	DTTZ-KT-SERIES

* - THIS HANGER MAY BE SPECIAL ORDER FOR THE APPLICATION LISTED ABOVE.

NOTE: FOR EXTERIOR APPLICATIONS WHERE ACQ TREATED LUMBER WILL BE USED, ALL HANGERS MUST HAVE ZMAX CORROSION PROTECTION.

CTL THOMPSON Founded in 1971

19310-2066-3455
F5120-2066-3441
www.ctl.com

CTL THOMPSON, INCORPORATED
400 North Loop
Fort Collins, CO 80524



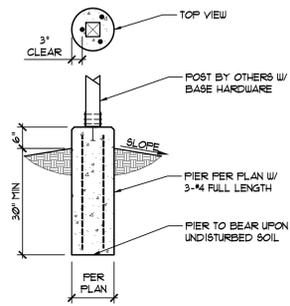
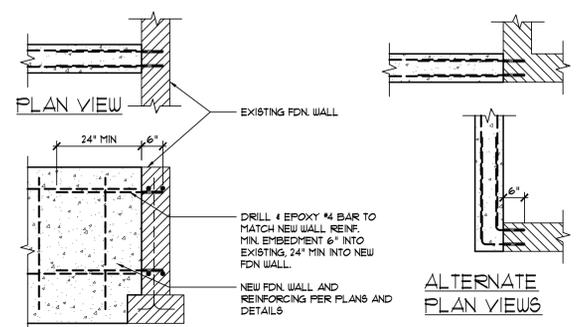
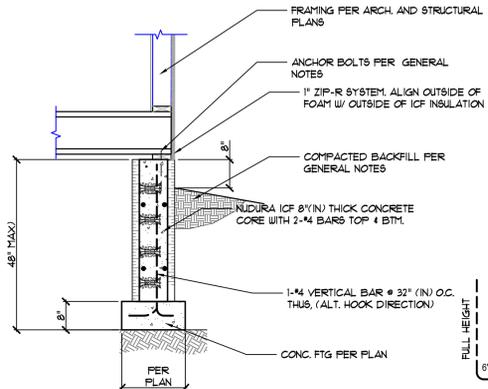
THESE CHANGES AND ADDITIONS TO THE ORIGINAL DRAWING SHALL BE THE SOLE RESPONSIBILITY OF THE DESIGNER. THE USER SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE INFORMATION AND FOR THE PROPER USE OF THE DRAWING. THE USER SHALL BE RESPONSIBLE FOR THE PROPER USE OF THE DRAWING. THE USER SHALL BE RESPONSIBLE FOR THE PROPER USE OF THE DRAWING.

PROJECT LOCATION:
BALL RESIDENT ADDITION
314 WHEDEE STREET
FORT COLLINS, COLORADO

ADDITION PLAN	
NO.	DATE

CLIENT:
CRAFTSMEN BUILDERS
315 E. MAGNOLIA STREET
FORT COLLINS, COLORADO
Contact: STEVE JOSEPHS
PHONE: 970-218-6305

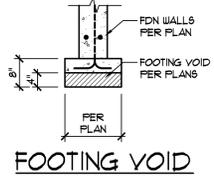
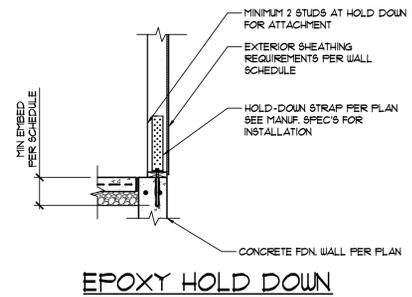
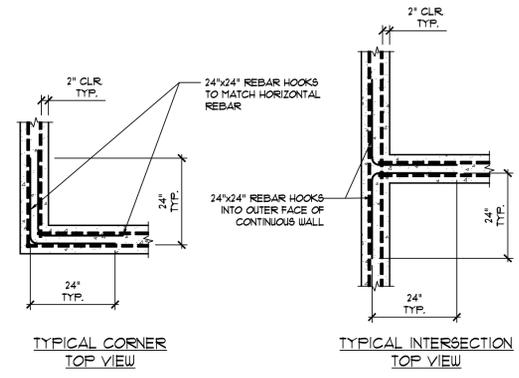
REVISION	DATE	BY	CHK
DTH			
DTH			
TRM			
FCJ			
DATE	07/21/2024		
SCALE	3		
PER PLAN			



TYPICAL FOUNDATION WALL

NEW TO EXISTING FOUNDATION

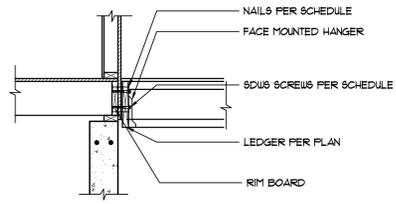
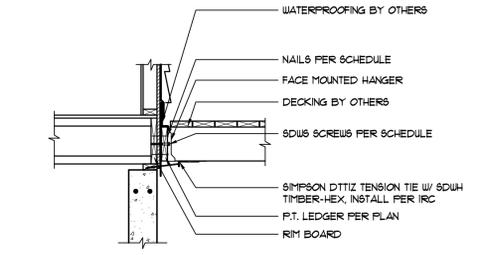
DECK PIER



TYPICAL REINFORCING

HOLDOWN ATTACHMENT

FOOTING VOID



JOIST SPAN	1-5 (ft)	5-9 (ft)	9-14 (ft)
FASTENERS	(1) # 16(1/4) O.C. STAGGER T4B	(2) # 16(1/4) O.C.	(3) # 16(1/4) O.C.
1/2"x3/8" SIMPSON SDWS SCREWS			
16d COMMON NAILS	(2) # 16" O.C. EVENLY SPACED IN JOIST BAY	(3) # 16" O.C. EVENLY SPACED IN JOIST BAY	(4) # 16" O.C. EVENLY SPACED IN JOIST BAY

NOTE: BOTH SDWS SCREWS AND NAILS SHOWN ARE REQUIRED FOR ALL SPANS.

JOIST SPAN	1-5 (ft)	5-9 (ft)	9-14 (ft)
FASTENERS	(1) # 16(1/4) O.C. STAGGER T4B	(2) # 16(1/4) O.C.	(3) # 16(1/4) O.C.
1/2"x3/8" SIMPSON SDWS SCREWS			
16d COMMON NAILS	(2) # 16" O.C. EVENLY SPACED IN JOIST BAY	(3) # 16" O.C. EVENLY SPACED IN JOIST BAY	(4) # 16" O.C. EVENLY SPACED IN JOIST BAY

NOTE: BOTH SDWS SCREWS AND NAILS SHOWN ARE REQUIRED FOR ALL SPANS.

DECK LEDGER ATTACHMENT

FLOOR LEDGER ATTACHMENT

H

GENERAL NOTES:

1. MATERIALS:
THIS PLAN IS BASED UPON THE FOLLOWING MATERIAL PROPERTIES:

CONCRETE: CONCRETE SHALL CONTAIN TYPE II CEMENT, 6% +/- 15% AIR ENTRAINMENT, AND A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI FOR STRUCTURAL CONCRETE, 3500 PSI FOR INTERIOR SLABS ON GRADE, AND 4500 PSI EXTERIOR SLABS ON GRADE.

VOID FORM: CARDBOARD VOID FORM SHALL BE OF APPROPRIATE STRENGTH FOR WALL AND SLAB CONSTRUCTION. WALL VOID SHALL NOT BE USED FOR SUPPORT OF STRUCTURAL SLABS.

REINFORCING: REINFORCING SHALL BE DEFORMED GRADE 60 STEEL UNLESS NOTED OTHERWISE (UNO) ON THE PLAN AND SHALL CONFORM TO ASTM A615. MINIMUM CONCRETE COVER SHALL BE 2" (UNO) ON THE PLAN. OVERLAP SHALL BE 40 BAR DIAMETERS BUT NOT LESS THAN 24" (UNO) DETAIL. REINFORCING BARS IN ACCORDANCE TO THE ACI DETAILING MANUAL AND ACI CODE, LATEST EDITION. ALL FOUNDATION WALL REINFORCEMENT SHOULD BE WIRED IN PLACE. SLAB AND FOOTING REINFORCEMENT SHALL UTILIZE CHAIRS OR OTHER ACCEPTABLE METHODS TO ACHIEVE THE REQUIRED CROSS SECTION LOCATION.

ANCHOR BOLTS: FOUNDATION ANCHOR BOLTS SHALL CONFORM TO ASTM A307 AND BE 1/2" (N) DIAMETER BY 10" (N) LONG SPACED AT 4'-0" MAXIMUM AND 12" (N) FROM CORNERS AND SPLICES. WE RECOMMEND USING ENGINEERED BILL PLATE MATERIAL.

FASTENERS AND CONNECTORS: ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE 304 STAINLESS STEEL OR TYPE 316 STAINLESS STEEL.

STEEL: STRUCTURAL STEEL BEAMS SHALL CONFORM TO ASTM A992 (FY=50 KSI). STEEL PLATES AND ANGLES SHALL CONFORM TO ASTM A36 (FY=50 KSI). 3/4" (N) I.D. ADJUSTABLE STEEL COLUMNS SHALL BE SCHEDULE 40 OR BETTER AND RATED FOR A SAFE ALLOWABLE LOAD OF NOT LESS THAN 30 KIPS FOR COLUMNS UP TO 9'-0" IN HEIGHT. 3/4" (N) I.D. ADJUSTABLE STEEL COLUMNS SHALL BE SCHEDULE 40 AND RATED FOR A SAFE ALLOWABLE LOAD OF NOT LESS THAN 40 KIPS FOR COLUMNS UP TO 9'-0" IN HEIGHT. ALL ADJUSTABLE STEEL COLUMNS SHALL HAVE 1" TO 3" (N) OF THREAD EXPOSED.

WOOD: ALL DIMENSIONAL LUMBER SHALL BE HEM-FIR #2 OR BETTER UNLESS NOTED ON THE PLAN. ALL LAMINATED VENEER LUMBER (LVL'S) ARE 1 1/2" THICK X DEPTH SHOWN ON PLANS AND SHALL HAVE AN ALLOWABLE FLEXURAL STRESS FB + 2600 PSI AND MODULUS OF ELASTICITY OF E = 1.9X10⁶ PSI OR BETTER. ALL LAMINATED STRAND LUMBER (LSL'S) ARE 1 1/2" THICK X DEPTH SHOWN ON PLANS AND SHALL HAVE AN ALLOWABLE FLEXURAL STRESS FB + 2325 PSI AND MODULUS OF ELASTICITY OF E = 1.85X10⁶ PSI OR BETTER. GLUED LAMINATED LUMBER SHALL HAVE AN ALLOWABLE FLEXURAL STRESS FB + 2000 PSI AND MODULUS OF ELASTICITY OF E = 1.9X10⁶ PSI OR BETTER.

2. SOILS:
WE REQUIRE AN OPEN-HOLE OBSERVATION BE PERFORMED BY A REPRESENTATIVE OF A QUALIFIED GEOTECHNICAL ENGINEER. OPEN-HOLE OBSERVATIONS ARE TO VERIFY THAT THE SOIL CONDITIONS ARE CONSISTENT WITH THE ASSUMED SOILS. SOILS CONDITIONS INCONSISTENT WITH THE ASSUMED SOILS MAY REQUIRE ADDITIONAL EVALUATION OR A FOUNDATION REDESIGN AND SHOULD BE BROUGHT TO THE ATTENTION OF THE FOUNDATION ENGINEER. ALL FOOTINGS, PADS, OR PIERS (EXCEPT INTERIOR BASEMENT PADS) SHALL BE A MINIMUM OF 30" (N) BELOW GRADE, OR PER LOCAL CODE, AND SHOULD BEAR UPON UNDISTURBED NATIVE SOILS OR STRUCTURAL FILL ACCEPTABLE TO THE GEOTECHNICAL ENGINEER. ALL OTHER RECOMMENDATIONS CONTAINED IN THE SOILS REPORT PERTAINING TO BACKFILL, DRAINAGE, ETC. SHOULD BE INCORPORATED INTO THE DESIGN OF THIS PROJECT.

3. SLABS ON GRADE:
WE RECOMMEND ANY AREAS WITH SLAB-ON-GRADE TYPE CONSTRUCTION PLACED UPON EXPANSIVE SOILS NOT BE FINISHED. PROVIDE CONTROL JOINTS AT 10'-0" ON CENTER MAXIMUM. EXTERIOR SLABS-ON-GRADE SHOULD NOT BE DOUBLED TO THE FOUNDATION UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS. SLABS-ON-GRADE WHERE UTILIZED SHOULD BE ISOLATED FROM GRADE BEAMS, COLUMNS, PILING, OR OTHER SUPPORT STRUCTURES BY USE OF 1/4" (N) MINIMUM ISOLATION JOINT MATERIAL. PROVIDE A 1/2" (N) MINIMUM VOID SPACE BETWEEN ALL INTERIOR PARTITIONS AND FLOOR SLABS. THE PARTITION VOID SPACE SHOULD BE MONITORED AND MAINTAINED THROUGHOUT THE LIFE OF THE STRUCTURE UNDER SLAB MOISTURE BARRIER PER CODE.

4. BACKFILL:
WE RECOMMEND FOUNDATION WALLS NOT BE BACKFILLED FOR A MINIMUM OF EIGHT DAYS AFTER PLACEMENT OF CONCRETE PRIOR TO BACKFILLING. 24" (N) PROOFING ALL FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES, AS REQUIRED BY LOCAL CODE. ALL FLOOR SYSTEMS SHOULD BE IN PLACE BEFORE BACKFILLING AGAINST ANY FOUNDATION WALL, OR AS AN ALTERNATIVE, ADEQUATELY BRACE THE FOUNDATION. WE RECOMMEND IMPORTED GRANULAR (NON-EXPANSIVE) STRUCTURAL FILL BE USED FOR BACKFILLING AROUND ALL FOUNDATION WALLS AND BENEATH ALL SLAB-ON-GRADE AREAS FOR SITUATIONS WHERE EXPANSIVE SOILS ARE PREVALENT. IN LIEU OF IMPORTED GRANULAR FILL, THE ON-SITE SOILS COULD BE USED FOR BACKFILL IF THE MATERIAL AND COMPACTION PROCESS IS ACCEPTABLE TO THE GEOTECHNICAL ENGINEER. BACKFILL SHOULD BE ADEQUATELY COMPACTED AND GRADED TO PROVIDE ADEQUATE DRAINAGE AWAY FROM THE FOUNDATION. BACKFILL ADJACENT TO THE FOUNDATION MAY SETTLE OVER TIME. THE BACKFILL MUST BE MONITORED AND MAINTAINED TO PROVIDE ADEQUATE DRAINAGE AWAY FROM THE FOUNDATION.

5. FRAMING:
ALL FRAMING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF 2021 IRC. ALL CONNECTIONS OR MEMBERS NOT SHOWN ARE PER CODE OR THE GENERAL CONTRACTOR/OWNER. ALL MANUFACTURED WOOD PRODUCTS SHALL BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS, REFER TO THE CODE FOR ADDITIONAL REQUIREMENTS.

FLOORS: FLOOR SHEATHING SHALL CONSIST OF 3/4" T & G GLUED AND NAILED 1/8" Ø NAILS @ 6" ON-CENTER EDGES, 12" ON-CENTER INTERMEDIATE SUPPORTS, PROVIDE BLOCKING AT SUPPORTS AS REQUIRED BY CODE. CONFIRM THAT SHEATHING IS ADEQUATE TO SPAN 24" WHERE TILE IS USED. ALL HANGERS PER SCHEDULE.

WALLS: ALL EXTERIOR WALL FRAMING SHALL BE HUBER ZIP R-3 INSULATED SHEATHING OVER 2x6 HPF @ 16" ON-CENTER UNLESS NOTED OTHERWISE. SHEATHING SHALL BE ATTACHED PER THE BRACED WALL PANEL SCHEDULE. NOTE ALL FOUNDATION STRAPS SHALL BE NAILED TO THE FACE OF THE STUD AND NOT THE EXTERIOR OF THE INSULATED SHEATHING.

BUILT UP COLUMNS ARE 3-2X10 WALL THICKNESS HPF2 OR BETTER UNLESS NOTED OTHERWISE ON THE PLANS.

ROOF: ROOF SHEATHING SHALL BE 1/2" (24/16 SPAN RATING) OSB OR BETTER WITH 8D @ 6" ON-CENTER EDGES, 12" ON-CENTER FIELD, OVER ENGINEERED TRUSSES. FOR TRUSS ATTACHMENT AND BRACING REFER TO THE TRUSS MANUFACTURERS RECOMMENDATIONS. (SEE TRUSSES BELOW)

DIMENSIONAL LUMBER RAFTERS ARE HEM-FIR #2 UNLESS NOTED OTHERWISE. ALL RAFTERS SHOULD BE ATTACHED TO BEARING POINTS WITH SIMPSON H2BA CLIPS.

TRUSSES: UNLESS NOTED OTHERWISE, TRUSSES SHOWN ON LAYOUT ARE DESIGNED AND SUPPLIED BY TRUSS MANUFACTURER.

TRUSS LAYOUT IS SCHEMATIC AND INDICATES LOAD PATHS. TRUSS SPACING IS TO BE DETERMINED BY MANUFACTURER, WITH A MAXIMUM ALLOWABLE SPACING OF 24" O.C.

PROVIDE LATERAL BRACING AND GABLE END BRACING PER TRUSS SUPPLIER'S DRAWINGS AND STANDARD DOCUMENTS REFERENCED IN "BRACING" SECTION OF IRC CHAPTER 8.

IF TRUSS LAYOUT DEVIATES FROM LAYOUT SHOWN, CONTACT CTL THOMPSON PRIOR TO CONSTRUCTION. TRUSS BRACING AND BLOCKING PER MANUFACTURER.

FOR COORDINATION PURPOSES, CTL MAY DESCRIBE TRUSSES AS "MONO" OR "SCISSOR". A DEVIATION IN THE TRUSS PROFILE IS ALLOWED IF THE TRUSS LOADING DOES NOT CHANGE BECAUSE OF THE PROFILE.

ALL TRUSSES ARE ASSUMED TO NOT HAVE ANY HORIZONTAL THRUST DUE TO THE TRUSS SHAPE. IF THE STRUCTURAL DESIGN OF THE WALLS RESISTANCE TO TRUSS THRUST, A RE-DESIGN MAY BE REQUIRED.

MISC: ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED OR REDWOOD.

PROVIDE SOLID BLOCKING TO TRANSMIT ALL POINT LOADS CONTINUOUS TO THE FOUNDATION AS NECESSARY.

IF THERE ARE 20 PERCENT OF OVERDRIVEN NAILS IN SHEATHING, THEN SHEATHING MUST BE RENAILED WITH PROPER GUN PRESSURE NOT TO BREAK SURFACE OF SHEATHING.

WALL SHEATHING MUST NOT BREAK AT WALL TOP OR BOTTOM PLATES, INSTEAD BREAK AT MIDDLE OF RIM OR 12" BELOW WALL TOP PLATE.

6. DRAINAGE:
ADEQUATE DRAINAGE SHALL BE PROVIDED AROUND THE STRUCTURE. THIS DRAINAGE SHOULD BE MONITORED AND MAINTAINED THROUGHOUT THE LIFE OF THE STRUCTURE. AT A MINIMUM WE RECOMMEND A MINIMUM SLOPE OF 1" (FT) IN THE FIRST TEN FEET AND A MINIMUM 2% SLOPE FROM THAT POINT TO THE PROPERTY LINE FOR LANDSCAPED AREAS. FOR ALL BELOW GRADE HABITABLE AREAS, AN EXTERIOR PERIMETER DRAIN, THE EXTERIOR PERIMETER DRAIN SHALL BE INSTALLED PER THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS. AT A MINIMUM IT SHOULD CONSIST OF DRAINAGE FABRIC OVER 12" (N) OF CLEAN GRAVEL OVER A 4" (N) PERFORATED PIPE SLOPED AT 1/8" (N)FT MINIMUM TO DAYLIGHT WELL BEYOND THE FOUNDATION SYSTEM OR TO A SUMP PIT.

7. LIMITATIONS:
IT IS THE CONTRACTORS/OWNERS RESPONSIBILITY TO VERIFY AND COORDINATE ALL DIMENSIONS PRIOR TO CONSTRUCTION. BRICK LEDGES, FOUNDATION STEPS, INSETS, BEAM POCKETS, AND BASEMENT WINDOWS ETC. MAY OR MAY NOT BE SHOWN. THESE PLANS ARE BASED ON THE ARCHITECTS AND/OR CONTRACTOR/OWNER FURNISHED PLANS AND THE ABOVE REFERENCED SPECIFICATIONS. ANY DISCREPANCIES OR CHANGES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER. WE RECOMMEND A COPY OF "A GUIDE TO SELLING SOILS FOR COLORADO HOME BUYERS AND HOME OWNERS, COLORADO GEOLOGICAL SURVEY SPECIAL PUBLICATION #3 BE PROVIDED TO ANY NEW OR FUTURE OWNERS OF THIS PROPERTY.

CTL THOMPSON Founded in 1971
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CTL THOMPSON INCORPORATED
400 North Lincoln
Fort Collins, CO 80524

COLORADO LICENSED PROFESSIONAL ENGINEER
58505
07/22/2024

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PROJECT LOCATION:
BALL RESIDENT ADDITION
314 WHEDEE STREET
FORT COLLINS, COLORADO

FOUNDATION DETAILS & NOTES

NO.	DATE	REVISION/ISSUE
1		
2		
3		

CLIENT: CRAFTSMEN BUILDERS
315 E. MAGNOLIA STREET
FORT COLLINS, COLORADO
CONTACT: STEVE JOSEPHS
PHONE: 970-218-6305

DATE: 07/23/2024
SCALE: PER PLAN
SHEET NO: 3

From: [Steve Josephs](#)
To: [Yani Jones](#)
Subject: [EXTERNAL] Re: Permit B2405835 - 314 Whedbee - Historic Preservation Review
Date: Monday, August 19, 2024 3:37:30 PM

Hi Yani,

You are correct on the windows and doors being replaced on the back of the house. All existing windows are currently vinyl. The two dbl hangs will be replaced with one fixed lite aluminum clad exterior, wood interior window. The back door is fiberglass with no lite in it. We will be replacing that with a fiberglass or wood half lite door.

No other alterations are planned.

Thanks,
Steve

On Aug 19, 2024, at 2:48 PM, Yani Jones <yjones@fcgov.com> wrote:

Thank you, Steve! My only other question is related to the existing windows, when you have a moment. Looking at the plans and the photo of the rear elevation, it looks like the existing paired double-hung windows on the rear of the house is being replaced with a single-lite awning window, and possibly the rear exterior door is also being replaced (please correct me if that's not right). Would you please clarify the existing and proposed materials for those features? And are there any other existing window/door alterations included in the scope of this project?

Take care,

Yani

.....
YANI JONES

Pronouns: She/Her ([What's this?](#))

Historic Preservation Planner

City of Fort Collins Historic Preservation Services

(970) 224-6045

<https://www.fcgov.com/historicpreservation/>

Get monthly historic preservation updates in your inbox by toggling on "Historic Preservation Matters" [here](#), or email preservation@fcgov.com to be added to the newsletter mailing list!

From: Steve Josephs <steve@craftsmenbuildersinc.com>

Sent: Monday, August 19, 2024 12:47 PM

To: Yani Jones <yjones@fcgov.com>

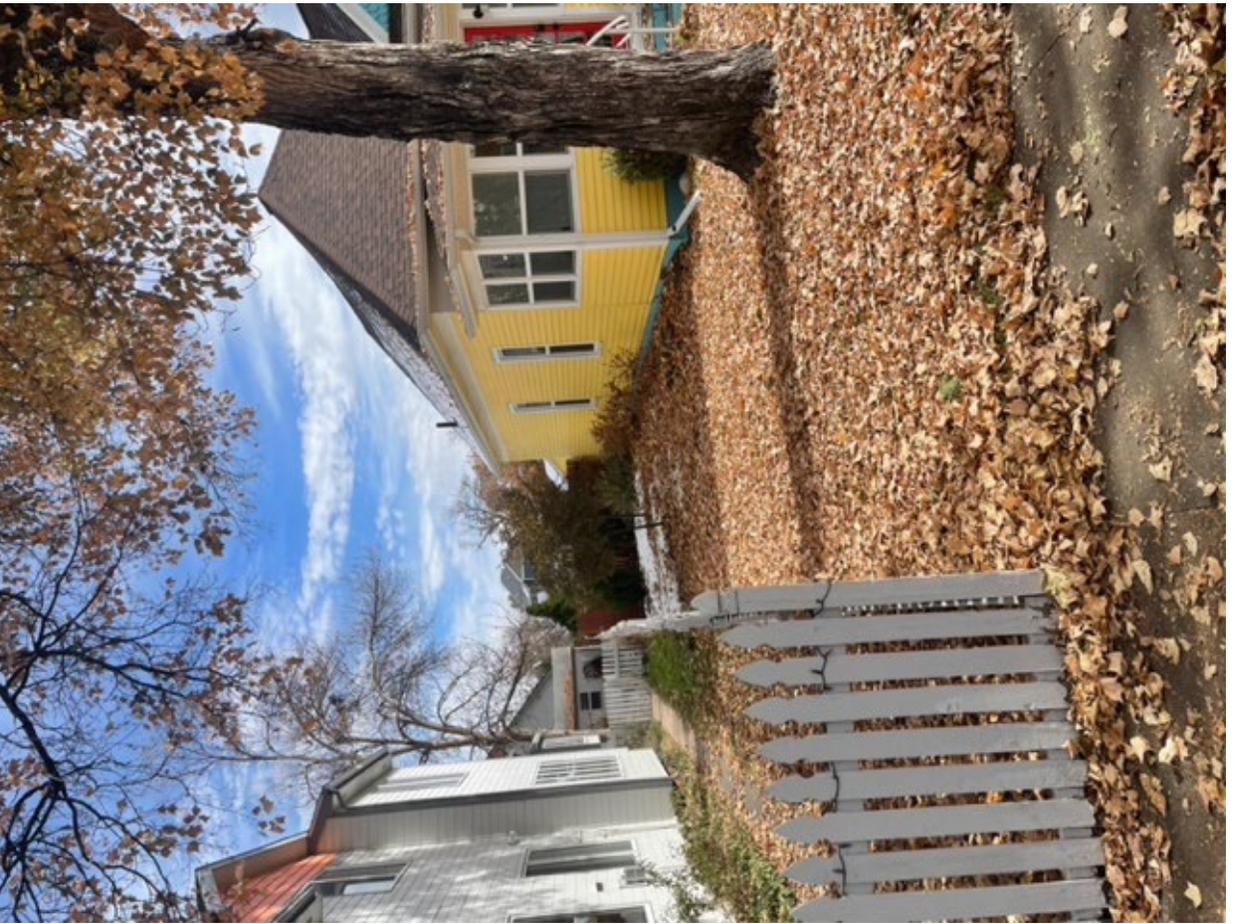
Subject: [EXTERNAL] Re: Permit B2405835 - 314 Whedbee - Historic Preservation

From: [Steve Josephs](#)
To: [Yani Jones](#)
Subject: [EXTERNAL] Re: Permit B2405835 - 314 Whedbee - Historic Preservation Review
Date: Monday, August 19, 2024 12:46:43 PM

Hi Yani,

Here are pictures of all 4 sides.









Proposed Exterior Materials

Siding

-cement board lap siding with same exposure as existing

Exterior trim(corner boards, frieze, fascia and window trim)

-Miratec composite with smooth side out.

Shingles in gable

-Cedar scallop to match existing

Windows

-Marvin aluminum clad exterior, wood interior windows. Double hung and awning

Deck

-Composite decking, painted redwood rail system

Let me know if you need anything else!

Thanks,
Steve

On Aug 13, 2024, at 11:38 AM, Yani Jones <yjones@fcgov.com> wrote:

Hi Steve!

This is Yani Jones with the City of Fort Collins Historic Preservation office. I've been routed on the permit review for your addition and deck project for 314 Whedbee St. Because this single-unit dwelling has a National Register of Historic Places designation as part of the Laurel School Historic District, I'm required to generate a report documenting all exterior alterations for the State Historic Preservation Office. I have access to your submitted application, but in order to complete that report, I'll need a little more information – Can you please email over the following?

- Type of materials (e.g., for siding, windows, the deck, etc.) proposed
- The siding appears to match the house in the plan drawings in terms of exposure width – Is that correct?
- Photos of each side of the existing house

Thank you! I'll put a "hold" on your permit in the online permitting system so the Building folks know you're working on getting me these things.

Take care,

Yani

.....
YANI JONES

Pronouns: She/Her ([What's this?](#))

Historic Preservation Planner

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