



Historic Preservation Services
Community Development & Neighborhood Services
281 N. College Ave.
Fort Collins, CO 80524
970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS

ISSUED: October 11, 2024

EXPIRATION: October 11, 2025

City of Fort Collins Cemetery Division
c/o Matt Tomlinson
PO Box 580
Fort Collins, CO 80522

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the office structure at the Grandview Cemetery at 1900 W. Mountain Ave., have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Replacement of non-historic storm door with another wood storm door, with no structural changes to the opening. The door will be painted to match the existing door/frame color.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at 970-224-6078.

Sincerely,

Yani Jones
Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>This project will not change the use of this building.</p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>This office building was constructed in 1938 by the Civilian Conservation Corps from brick and moss rock at the entrance to the cemetery. The building originally had one room and was expanded in 1976 to add a second room to the west side.</p> <p>This storm door replacement project replaces a non-historic storm-door on the west side addition with a similar wood storm door, and so the historic character of the building will be preserved, and this Standard is met.</p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p>	N/A
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	N/A
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>Because the storm door being removed is non-historic and because there will be no structural alterations to the door opening, no distinctive features, finishes, construction techniques, etc. will be disturbed by this project.</p>	Y
SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p>This Standard is met because the damaged feature being replaced is non-historic, and it is being replaced with another storm door similar to the existing in terms of design and material.</p>	Y

SOI #7	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	N/A
SOI #8	<i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i>	N/A
SOI #9	<i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i>	N/A
SOI #10	<i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i>	N/A

From: [Matt Tomlinson](#)
To: [Yani Jones](#)
Subject: Re: Historical Building Query
Date: Friday, October 11, 2024 6:58:40 AM
Attachments: [image001.png](#)
[Outlook-hjhs3hiv.png](#)

Good Morning Yani,

Parks agreed to use the door with the panel on the bottom. We will installed in place of old door making no changes to existing frame and painting to match existing. Please let me know if you need any more information for the COA. Thank you for your help and have a great day!

Matt Tomlinson
Technician II, Facilities
[City of Fort Collins](#)
300 Laporte Ave, Building B
970-893-5003 mobile
mtomlinson@fcgov.com



From: Yani Jones <yjones@fcgov.com>
Sent: Thursday, October 10, 2024 8:17 AM
To: Matt Tomlinson <mtomlinson@fcgov.com>
Subject: RE: Historical Building Query

Hi Matt,

I prefer the second option with the solid panels on the bottom for practical reasons and because the design is simpler, but I think either would be okay, if you would like to ask the Parks folks. Please let me know what you land on, and I can write up the COA – That will be really quick (within a day), but please note that I'll be out of town 10/17-10/22.

Take care,

Yani

.....
YANI JONES
Pronouns: She/Her ([What's this?](#))
Historic Preservation Planner
City of Fort Collins Historic Preservation Services
(970) 224-6045
<https://www.fcgov.com/historicpreservation/>

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From: Matt Tomlinson <mtomlinson@fcgov.com>
Sent: Thursday, October 10, 2024 7:29 AM
To: Yani Jones <yjones@fcgov.com>
Subject: Re: Historical Building Query

Good Morning Yani,

I've attached photos of two types of storm doors that I think would work well. The first one is in stock at Lowes so it is readily available however the second one with the solid panel at the bottom is more appropriate considering the location and the way the snow piles up near the entrance but it will likely take longer to order and receive. Installing the new door to the existing frame, not making any structural changes and painting to match the existing painted wood doors and trim on the building. If you don't have a preference for which door I use I think I will ask the Parks department if they have a preference. Thank you for your help with this!

Matt Tomlinson
Technician II, Facilities
[City of Fort Collins](#)
300 Laporte Ave, Building B
970-893-5003 mobile
mtomlinson@fcgov.com



From: Yani Jones <yjones@fcgov.com>
Sent: Tuesday, October 8, 2024 10:21 AM
To: Matt Tomlinson <mtomlinson@fcgov.com>
Subject: RE: Historical Building Query

Hi Matt!

Maren handed off the review of this storm door replacement project to me. Replacement is allowed because the door is non-historic. When you're looking at replacement options, please keep this guidance in mind – There should be no structural changes to the opening, and the design should be something similar to what is there now in terms of the style and wood material.

When you have the replacement planned out, please go ahead and send me the details, including any

product sheets (or links to products), paint color information, etc., and please also include a note stating that there will be no structural changes to the opening. Then, I can complete the Historic Preservation Design Review to issue a Certificate of Appropriateness for the project.

Let me know if you have any questions, or if there's anything else I can help with!

Take care,

Yani

.....
YANI JONES

Pronouns: She/Her ([What's this?](#))

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From: Maren Bzdek <mbzdek@fcgov.com>

Sent: Tuesday, October 8, 2024 9:45 AM

To: Yani Jones <yjones@fcgov.com>

Subject: FW: Historical Building Query

Hi Yani!

Would you please process this design review for the Grandview building? Looks like a very simple matter, but I don't have time to address it today.

Thanks,
Maren

.....
MAREN BZDEK

She/Her/Hers

Historic Preservation Manager

City of Fort Collins

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From: Matt Tomlinson <mtomlinson@fcgov.com>

Sent: Tuesday, October 8, 2024 9:39 AM

To: Maren Bzdek <mbzdek@fcgov.com>

Subject: Re: Historical Building Query

Hi Maren,

Please find attached photos of the existing storm door at the Grandview cemetery office. It is a 36" x 80" wood frame with screens top and bottom. Mark Young with Parks thinks the door is about 8 years old. Any upfront guidance you can offer for a replacement is greatly appreciated. Thank you and have a great day!

Sent from Samsung Galaxy smartphone.

Get [Outlook for Android](#)

From: Maren Bzdek <mbzdek@fcgov.com>

Sent: Monday, October 7, 2024 9:42:07 AM

To: Matt Tomlinson <mtomlinson@fcgov.com>

Subject: RE: Historical Building Query

Hi Matt,

Yes, that's a landmark structure so we just need to go through our simple design review process for the screen door to get the right paperwork in place for our records. Would you send me a photo of the existing door, and if you know when it was installed and when? And also have you already started looking at replacement options? If not, we can provide upfront guidance on that.

Thanks for reaching out!

Maren

From: Matt Tomlinson <mtomlinson@fcgov.com>

Sent: Friday, October 4, 2024 9:49 AM

To: Maren Bzdek <mbzdek@fcgov.com>

Subject: Historical Building Query

Hello,

We have a screen door that needs replaced at the Grandview Cemetery office. Is this a historical building and is there any special criteria for the type of door we use? Thank you for any information you can provide.

Matt Tomlinson
Technician II, Facilities
[City of Fort Collins](#)

300 Laporte Ave, Building B
970-893-5003 mobile
mtomlinson@fcgov.com





Hampton Wood Screen Door 36" X 80" Lite Brn (WHAM36) 1

SKU: 7956618

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- +

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