



Historic Preservation Services
Community Development & Neighborhood Services
281 N. College Ave.
Fort Collins, CO 80524
970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE
Site Number/Address: 112 Peterson St.
Laurel School National Register Historic District
ISSUED: December 9, 2024

John H. Moran
c/o Kevin Murray, Empire Carpentry
PO Box 245
Bellvue, CO 80512

Dear John Moran:

This report is to inform you of the results of this office's review of proposed alterations to the Salladin/Schaffer Residence at 112 Peterson St., pursuant to Fort Collins Municipal Code, Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation as well.

The alterations reviewed include:

- Alteration to non-historic building on property (1995 detached garage/apartment) – Removal of exterior stair/landing and replacement to expand landing from approx. 30 square-feet to approx. 75 square-feet.

Our staff review of the proposed work finds the alterations meet the SOI Standards for Rehabilitation and the project appears to be routine in nature with minimal effects to the historic resource, meeting the requirements of Article IV cited above.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that work beyond that indicated in your permit application/correspondence requires additional approval.

If you have any questions regarding this report, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at 970-224-6078.

Sincerely,

Yani Jones
Historic Preservation Planner



BUILDING PERMIT APPLICATION

APPLICATION NUMBER: _____	FOR OFFICE USE	APPLICATION DATE: _____
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Job Site Address _____ **Unit#** _____

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name Moran First Name John Middle _____
 Street Address 112 Peterson St. City Fort Collins State Co Zip 80524
 Phone # 970-214-2581 Email moranyak1@gmail.com

Name of Business (COMMERCIAL USE ONLY) _____

CONTRACTOR INFO: Company Name Empire Carpentry

License Holder Name Kevin Murray LIC # C1-2 CERT # 485-C1

LEGAL INFO:

Subdivision/PUD _____ Filing # _____ Lot # _____ Block # _____ Lot Sq Ft _____

CONSTRUCTON INFO: Total Building Sq Ft (NOT including basement) _____ Total Garage Sq. Ft. _____

Residential Sq Ft _____ Commercial Sq Ft _____ # of Stories _____ Bldg Ht _____ # of Dwelling Units _____

1st Floor Sq Ft _____ 2nd Floor Sq Ft _____ 3rd Floor Sq Ft _____ Unfinished Basement Sq Ft _____

Finished Basement Sq Ft _____ # of Bedrooms _____ # of Full Baths _____

¾ Baths _____ ½ Baths _____ # Fireplaces _____

ENERGY INFORMATION: (CHECK ONE)

Prescriptive Performance U/Arescheck ERI ASHRAE Component/Comcheck IDAP

Air Conditioning? YES NO

City of Fort Collins Approved Stock Plan # **SPO** _____ List Option #s _____

Utilities INFO:

New Electric Service Electric Service Upgrade Electric Meter Relocation

Electric Main Breaker Size (Residential Only): 150 amps or less 200 amps Other:

Gas Electric Electric Temp Pedestal? Yes No

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.) _____

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant New Tenant

If for a new tenant, is this the first tenant to occupy this space?

Yes No If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes No
 If yes, please describe: replace existing stairs and landings

Value of Construction (materials and labor): \$ 19,350

Description of Work: Remove existing exterior stairs and landings, replace with new stairs and landings two feet further away from the building. This increases the size of the upper landing.

Existing upper landings: ≈ 30 sq feet.
New upper landings: ≈ 75 sq feet

JOBSITE SUPERVISOR CONTACT INFO: Name Kevin Murray Phone 970-566-5743

SUBCONTRACTOR INFO: Electrical _____ Mechanical _____

Plumbing _____ Framing _____ Roofing _____

Fireplace _____ Solar _____ Other _____

ASBESTOS STATEMENT DISCLOSURE: In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) _____
- An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature  Type or Print Name Rick Massey
Phone # 970-566-1286 Email empire@frii.com

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE

Residential Deck Guide

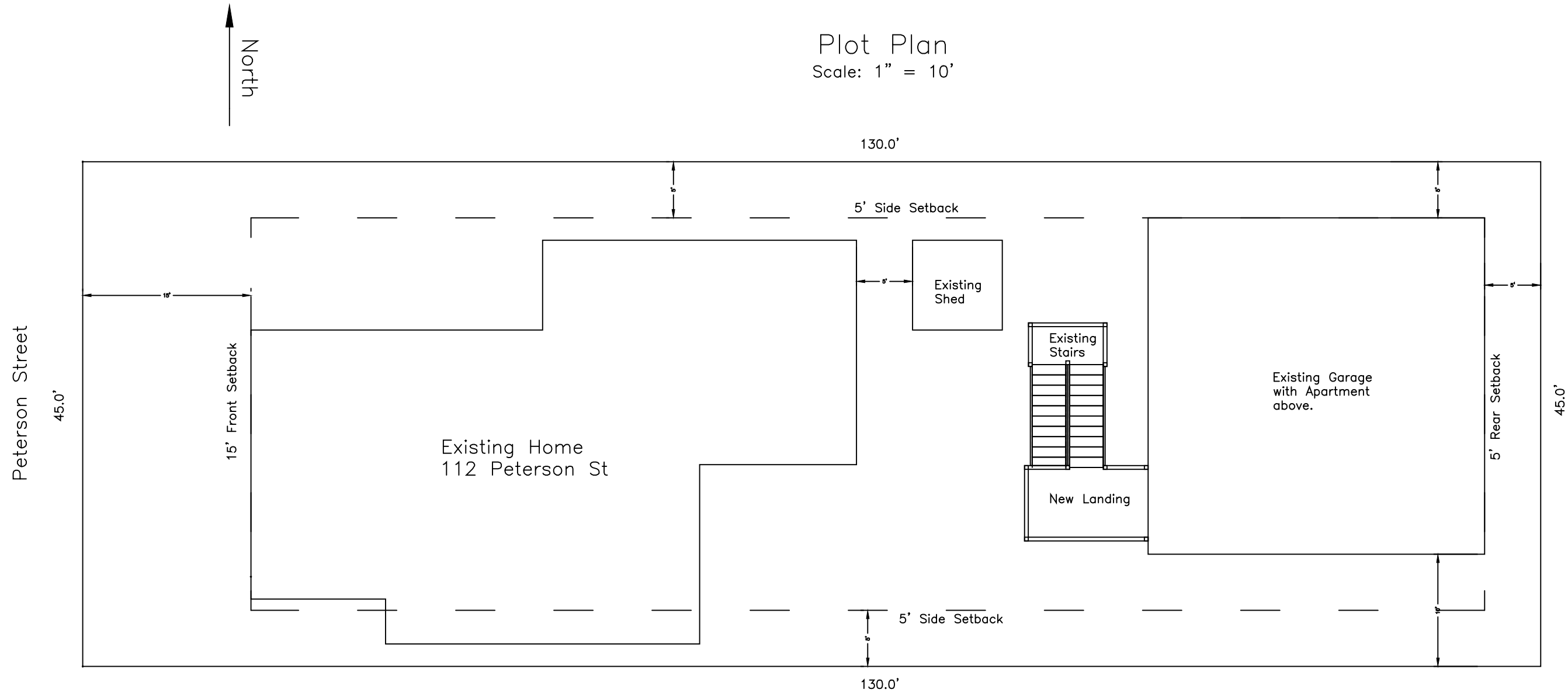
Check one of the following:

- The deck is professionally engineered and stamped. Any fields not provided on the plans have been filled out below.
- The porch/stairs are entirely concrete (fields below do not apply, but plans show height, stairs, guards, etc. per code)
- The deck is designed to minimum code. (Fill in the sections below and show on plans).

2021 International Residential Code & local amendments: <https://www.fcgov.com/building/codes.php>

1. Access the code: <https://codes.iccsafe.org/content/IRC2021P1/chapter-5-floors> 2. Go to section R507.

Code section	Deck components	Select/Fill in the blank
Decking		
R507.2 and R507.7	Decking Material	Wood
	Orientation of decking to joists	Perpendicular
Joists		
Table 507.6 (use 40 live load row) Figure R507.6	Wood Species (Redwood, Cedar etc. are species, <i>treated</i> is not a species)	.
	Joist Size	.
	Joist Spacing / Joist Span	.
	Do the joists cantilever? How far?	.
Beams		
Table R507.5 (1) (40 PSF live load) Section R507.5	Wood Species (Redwood, Cedar etc. are species, <i>treated</i> is not a species)	.
	Beam Size	.
	Beam Span	.
	Does the beam cantilever? How far?	.
Posts*		
Table 507.4 (use 40 live load row)	Wood Species (Redwood, Cedar etc. are species, <i>treated</i> is not a species)	.
	Size of Post	
	Post Height	
Piers		
Figure R507.3 Table 507.3.1 (use 40 live load row, 1500 psf column) R507.3	Type of footing/Piers	Show on plans
	Depth of Pier	<input type="checkbox"/> Freestanding deck = 12" min * <input checked="" type="checkbox"/> Attached Decks = 30" min frost depth
	Size of pier	Show on plans <input checked="" type="checkbox"/>
Connection Details		
R507.4.1 & R507.3	Footing/pier to Post Connection	Show on plans <input checked="" type="checkbox"/>
R507.5.1 & R507.5.2	Post to Beam Connection	Show on plans <input checked="" type="checkbox"/>
R507.6.1 & R602.3.1	Joist to Beam Connection	Show on plans <input checked="" type="checkbox"/>
Table R507.9.1 Tables R507.9.3(1 & 2); R507.9.1.1 Figure R507.9.1.3 (1 & 2)	Ledger Connection to house with flashing (2x8 min ledger size)	Show on plans <input checked="" type="checkbox"/>
R507.9.2 Figure R507.9.2 (1 or 2)	Lateral Connection	Show on plans <input checked="" type="checkbox"/>



This plot plan is provided by Robinson Engineering, Inc. based on existing records and our own measurements. Please note that Robinson Engineering, Inc is not a surveyor and the information provided is the most accurate we were able to determine without a survey. As this project simply moves an existing stair structure 2' west accessing a new slightly larger landing that our estimates are a reasonable alternative to a location survey by a surveyor to insure accurate structure locations..

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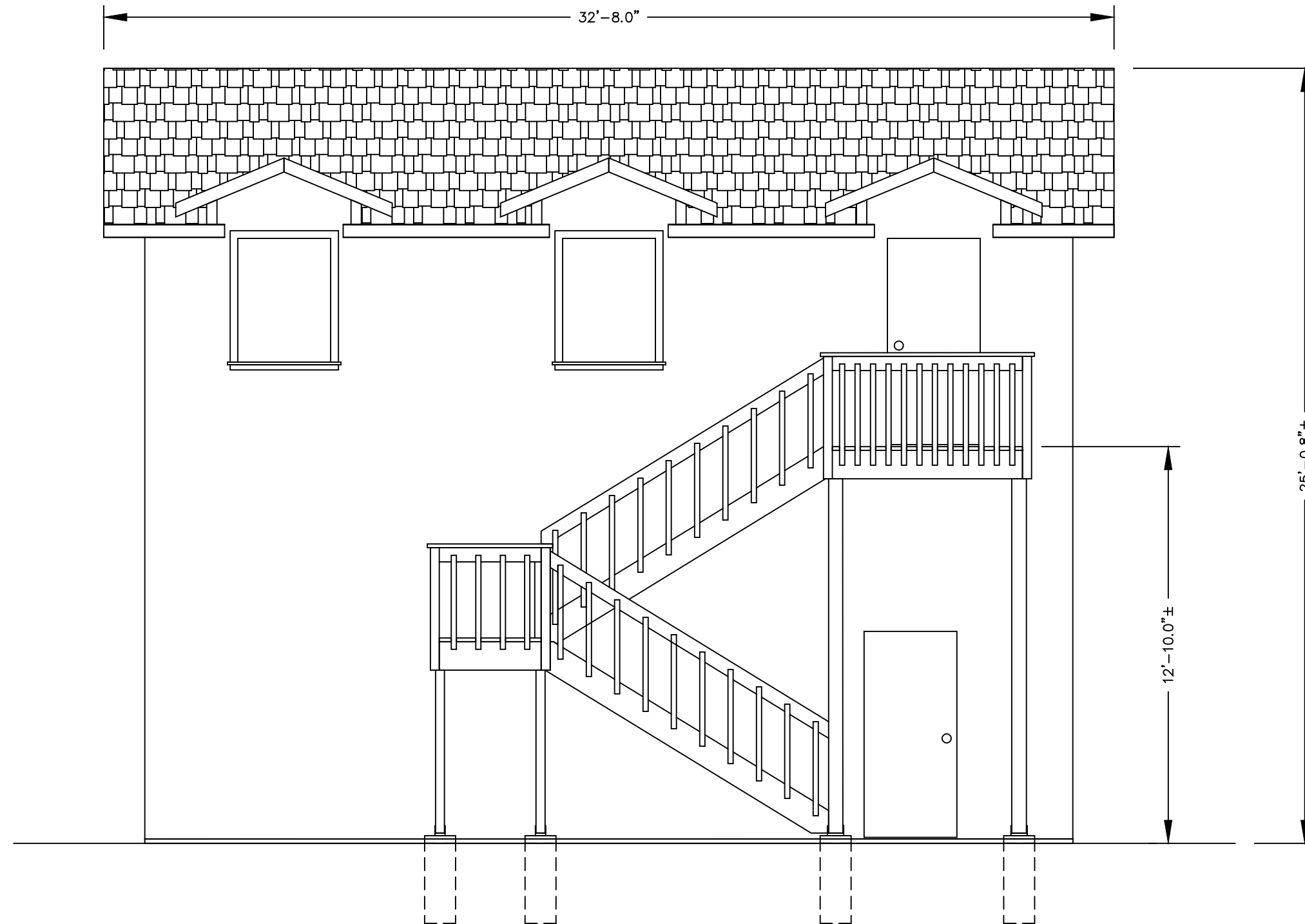
Robinson Engineering, Inc 319 South Grant Avenue Fort Collins, Colorado 80521 (970) 217-4960 Office RobEngInc@gmail.com	
Customer: Empire/Moran Project Number: 24-023	Drawing Information: Empire 112 Peterson St Stairs 24-023 3 December, 2024 Drawn by: EER Review: GCR
New Stair Landing - Plot Plan	
John Moran/Empire Carpentry 112 Peterson Street Fort Collins, CO 80524	



Design Based on:
123 mph $V_{ultimate}$ Exp C Wind
35 psf Snow w_{ground} Load
Reasonable weight estimates
Footing design based on 1500 psf
max bearing for DL + LL,
500 psf vertical surface friction.
2021 IRC code and practice as
adopted by Fort Collins, Colorado.
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West Elevation

Scale: $\frac{1}{4}" = 1'$



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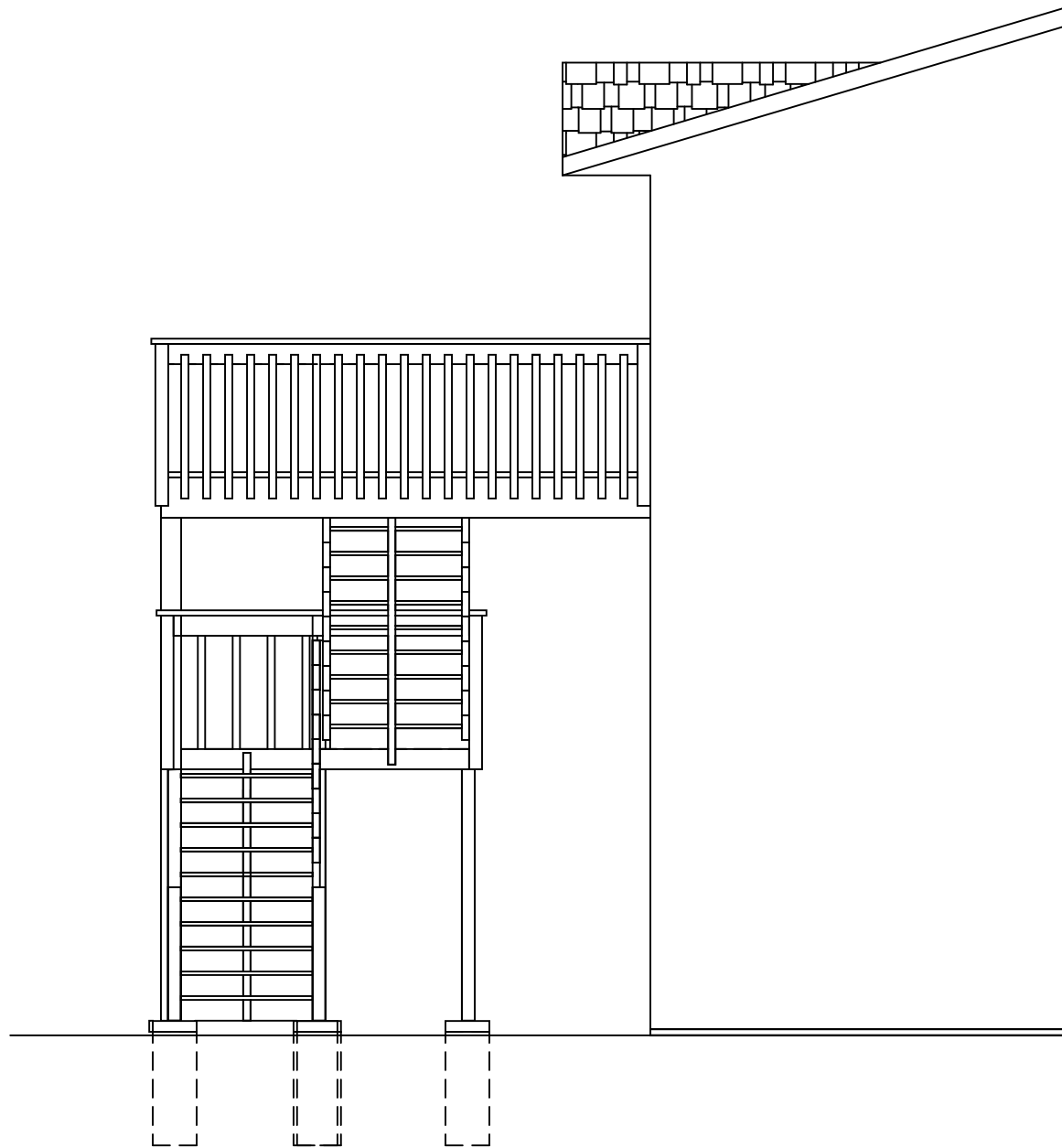
New Stair Landing - West Elevation
 John Moran/Empire Carpentry
 112 Peterson Street
 Fort Collins, CO 80524



Design Based on:
 123 mph $V_{ultimate}$ Exp C Wind
 35 psf Snow w_{ground} Load
 Reasonable weight estimates
 Footing design based on 1500 psf
 max bearing for DL + LL,
 500 psf vertical surface friction.
 2021 IRC code and practice as
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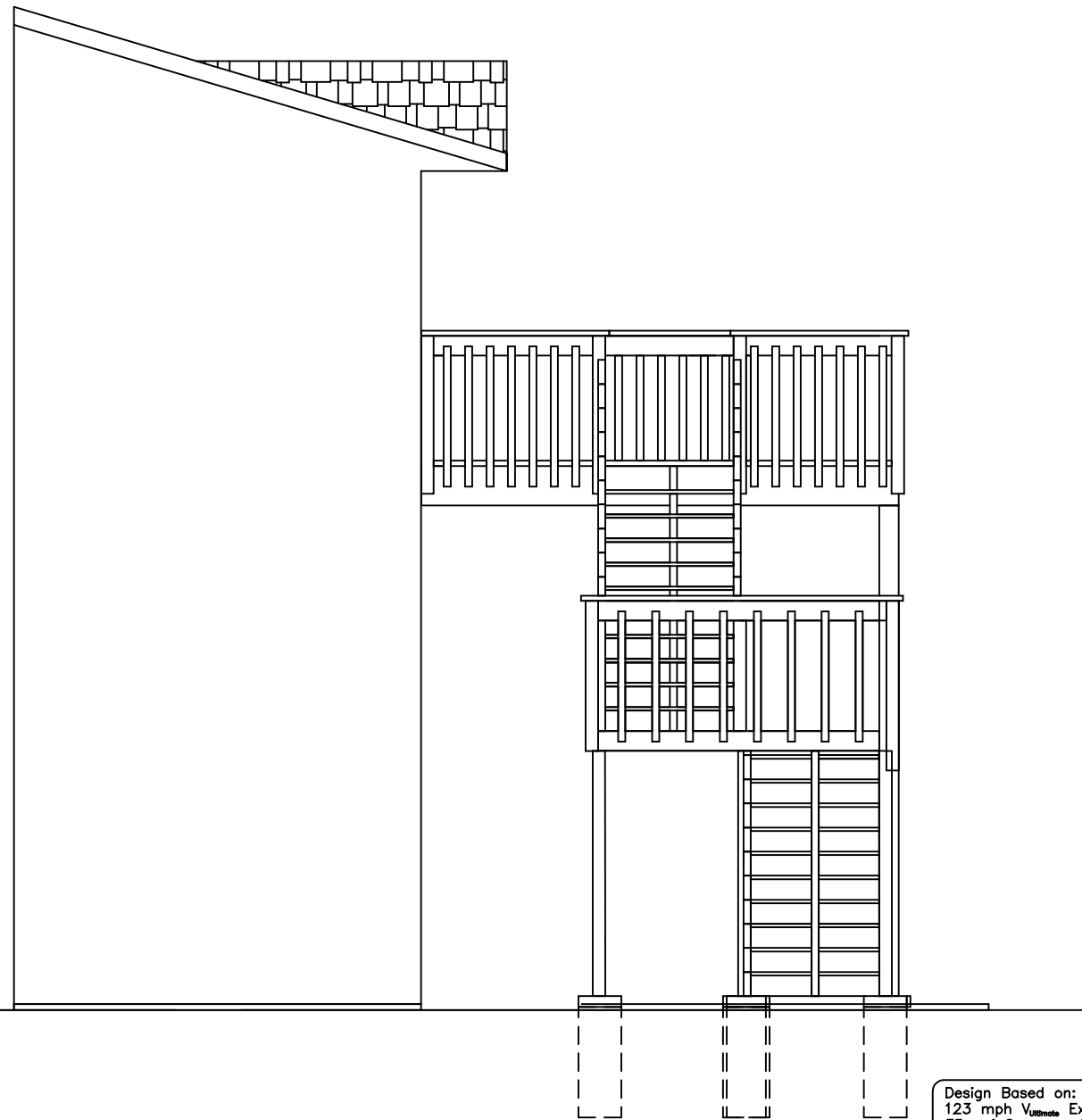
South Elevation

Scale: $\frac{1}{4}" = 1'$



North Elevation

Scale: $\frac{1}{4}" = 1'$



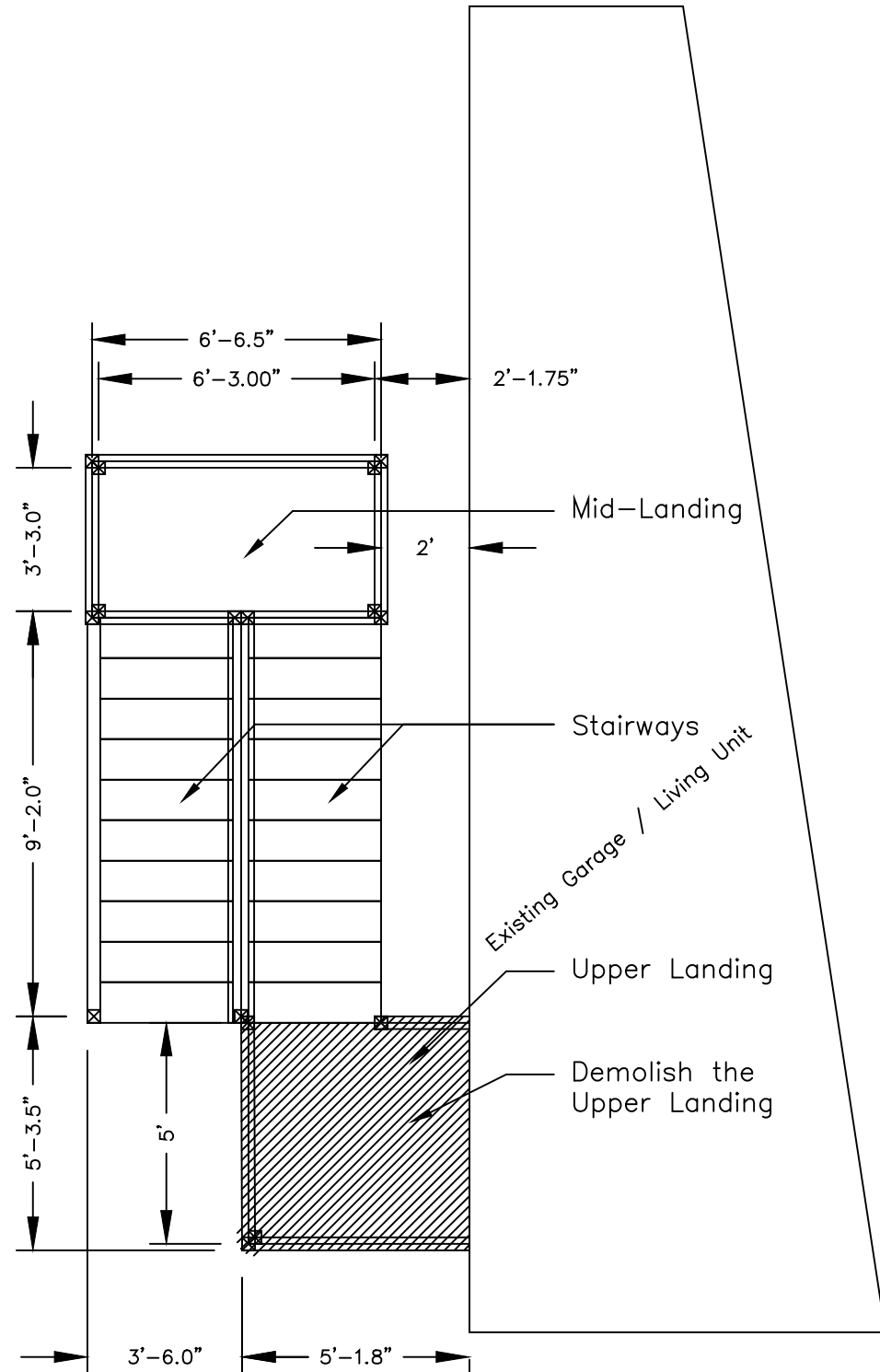
Design Based on:
123 mph $V_{ultimate}$ Exp C Wind
35 psf Snow w_{ground} Load
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Stair Landing - North/South Elevation	
John Moran/Empire Carpentry 112 Peterson Street Fort Collins, CO 80524	

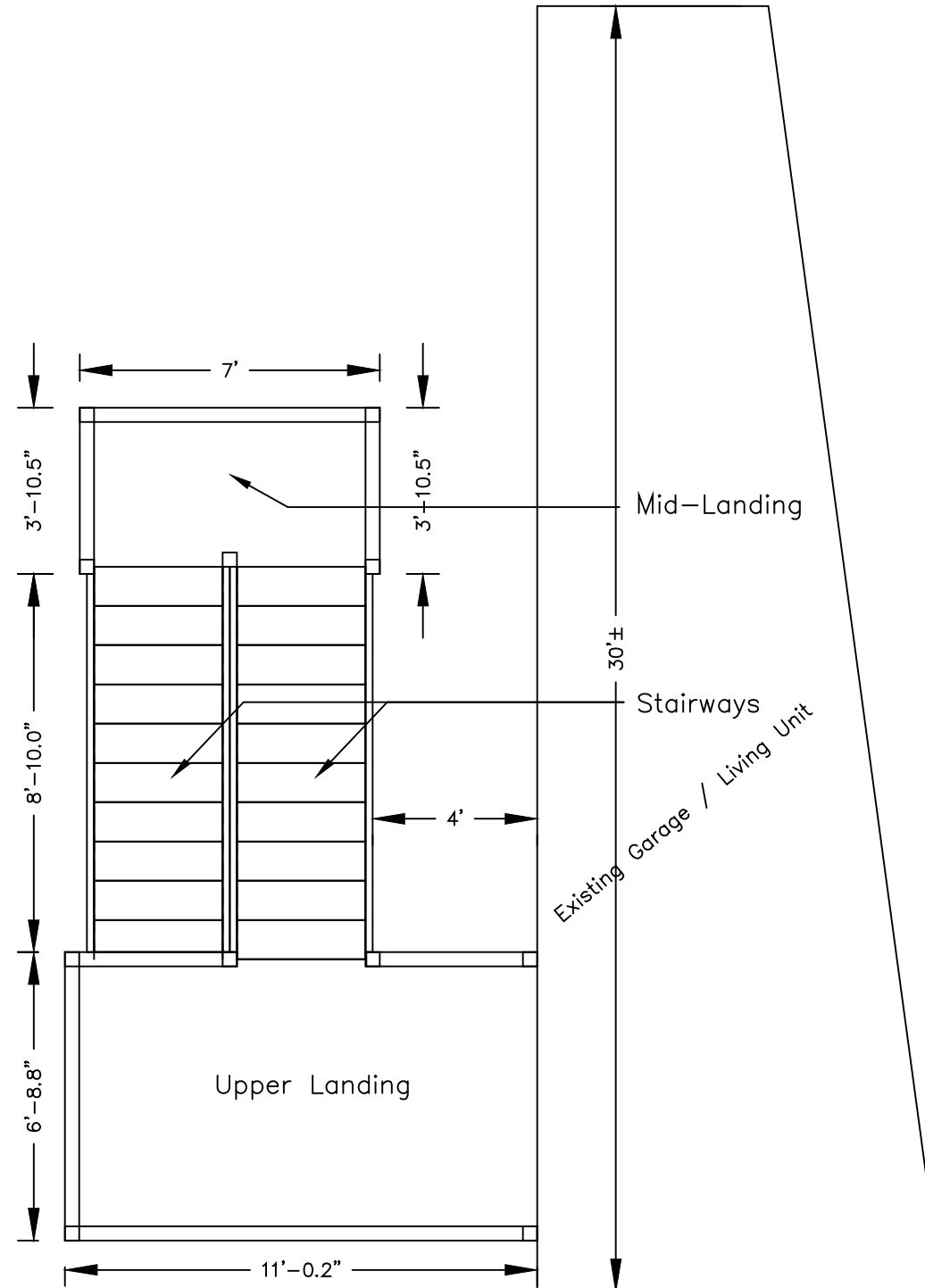
Existing Stairs and Landing Including Demo note

Scale: $\frac{1}{4}" = 1'$



New Stairway Floor Plan

Scale: $\frac{1}{4}" = 1'$



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Review: GCR

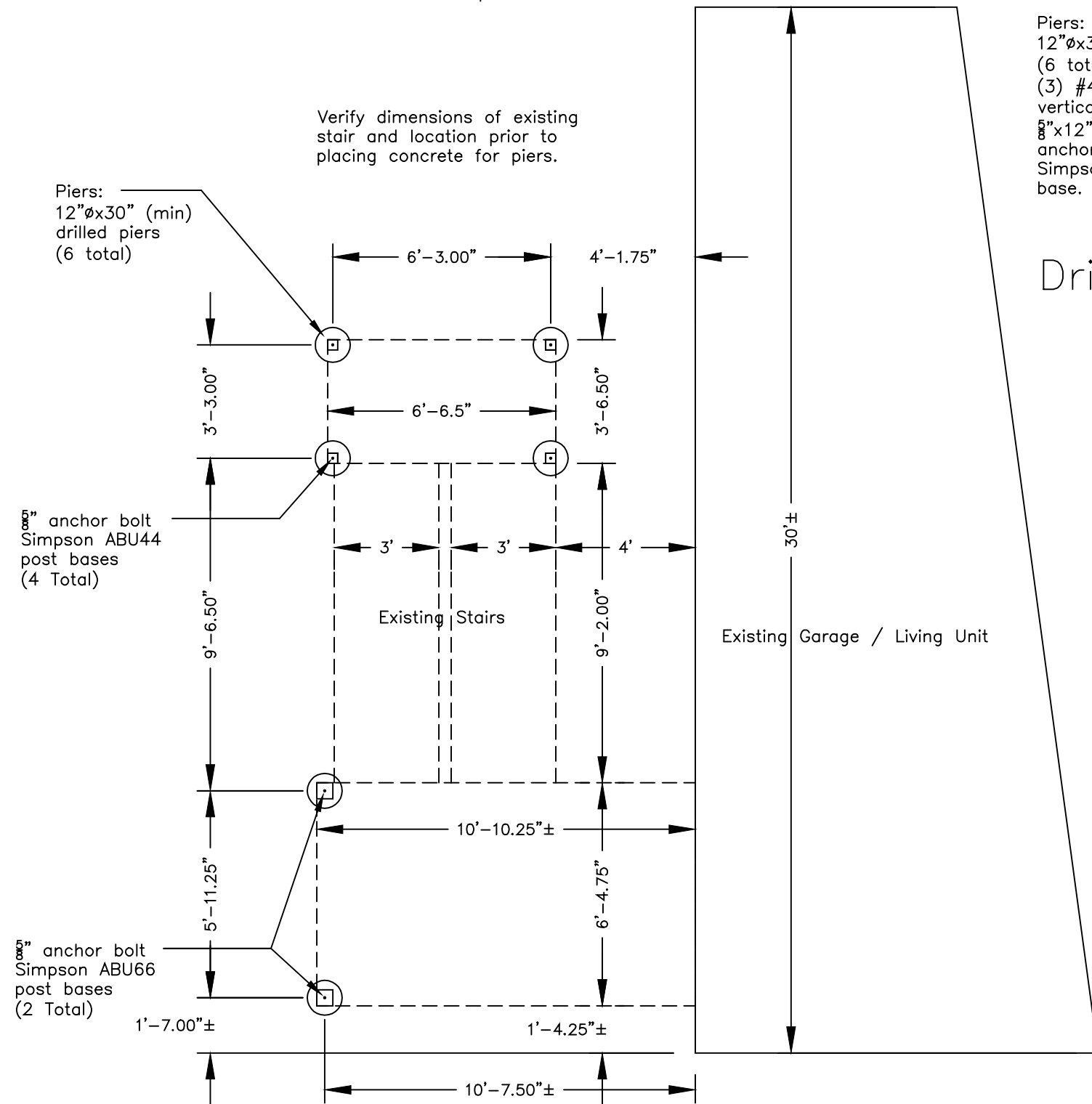
New Stair Landing - Existing/Floor
John Moran/Empire Carpentry
112 Peterson Street
Fort Collins, CO 80524



Design Based on:
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New Stairway and Deck Foundation Plan

Scale: $\frac{1}{4}" = 1'$

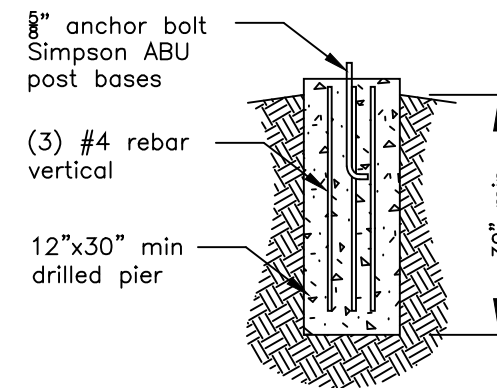


Dimensions may need slight adjustment to align upper deck with door as desired.

Piers:
12"Øx30" (min) drilled piers
(6 total)
(3) #4 rebar continuous vertical
 $\frac{5}{8}"$ x12" embedded (min)
anchor at top of pier for
Simpson ABU type post
base.

Drilled Pier Cross Section

Scale: $\frac{1}{2}" = 1'$



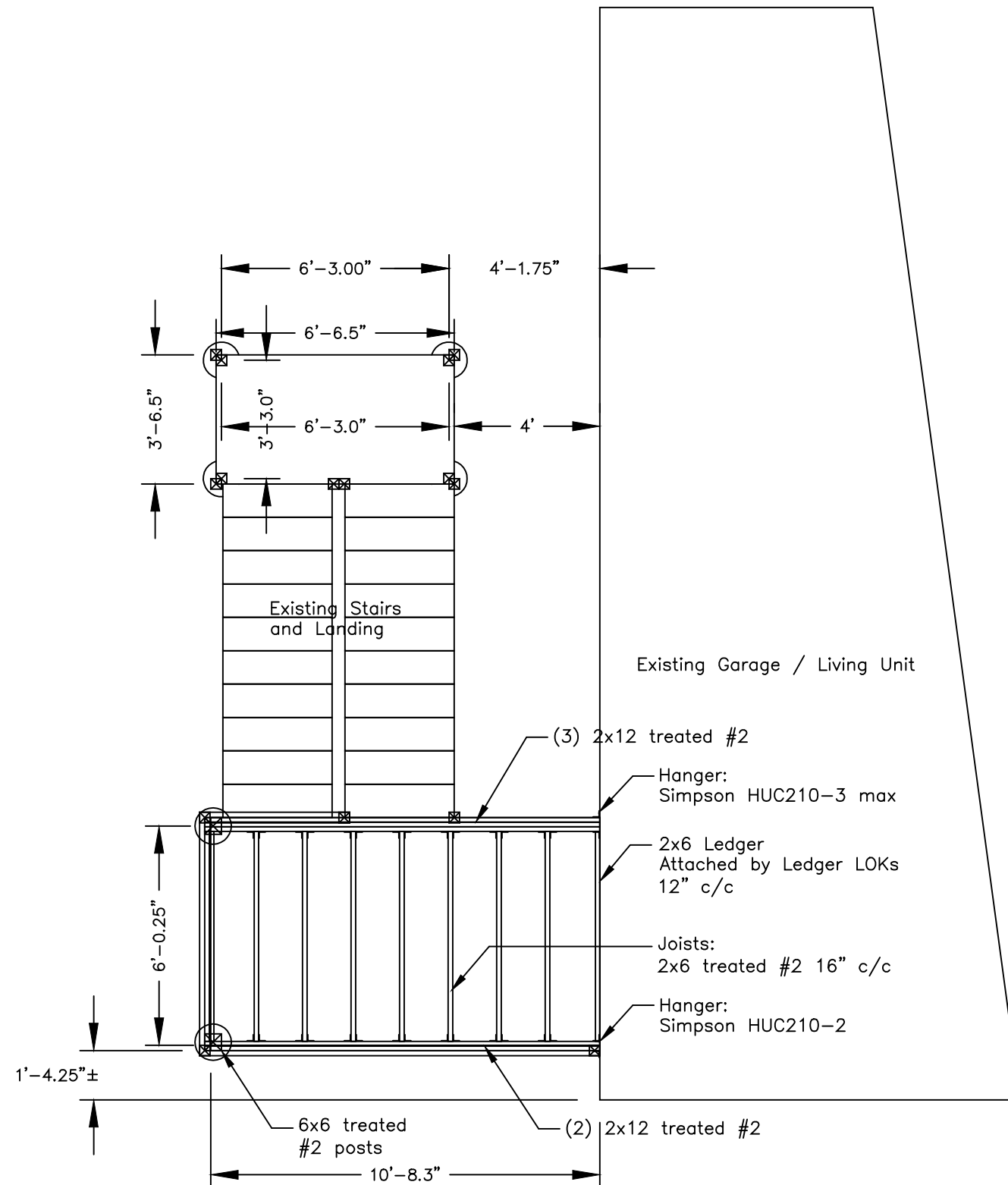
Design Based on:
123 mph $V_{ultimate}$ Exp C Wind
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New Stair Landing - Foundation Plan John Moran/Empire Carpentry 1112 Peterson Street Fort Collins, CO 80524	

New Deck Framing Plan

Scale: $\frac{1}{4}" = 1'$



Existing Stairs with Landing:
The intention is that the stairs as a complete unit including the landing will be disconnected from the existing upper landing, and moved approximately 2' west, to be approximately 4' from the exterior garage wall. The stairs are to be attached to the new larger landing.

Upper Deck Framing:
Meet 2021 IRC Code and Practice for all new construction.

Upper deck/landing supported by (2) 6x6 treated posts. Simpson ABU66 post bases into drilled pier footings, Simpson AC/ACE/LCE post caps from posts to deck perimeter beams.

Perimeter beams:
(2) 2x12 treated #2 and (3) 2x12 treated #2 beams as shown on north and south deck perimeters. (3) 2x12 beam supports top of stairway.

Joists:
2x6 treated #2 joists 16" c/c with decking appropriate for 16" c/c spans. 2x6 treated ledger to upper level rimjoist attached by Ledger LOKs 16" c/c max.

Decking: 2x treated lumber or any decking product designed for 16" c/c min joists.

Stairways is existing:
Risers: 6.75"±P
Treads: 12"±P
Inspect stairs and mid-floor landing. Repair any stairway components as needed.

Deck posts, guards, fall protection and handrail shall conform to 2021 IRC R311 - R312.



Design Based on:
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35 psf Snow w_{ground} Load
Reasonable weight estimates
Footing design based on 1500 psf max bearing for DL + LL, 500 psf vertical surface friction. 2021 IRC code and practice as adopted by Fort Collins, Colorado.
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General Notes as applicable

- This plan assumes builder and contractors use competent methods of construction, demonstrate quality workmanship and recognize customary responsibilities within the scope of this project.
- The structural design of this drawing set assumes the owner and contractor will observe the practice presented in the International Residential Code as adopted by Fort Collins, Colorado.
- The owner or general contractor is responsible to supply a qualified soil report if necessary for this project. If supplied, the design will incorporate relevant information from the soil report. The soil report may contain additional information thus all contractors associated with foundation construction shall read the soil report and incorporate soil report requirements into the construction.
- Soil Report: No soil report supplied
Design based on typical conservative design values for the South Park region.
Maximum allowable soil pressure: 1500 psf DL + LL
Minimum allowable soil pressure: N/A
Pier side shear friction: 500 psf
Maximum expected swell: none
- Exterior footers shall bear on undisturbed soil at or below frost depth.
Frost depth: 30" minimum
Backfill in 8"-12" compacted lifts, max fill 8" below top of wall.
- Drilled piers shall be placed in undisturbed natural soils or compacted fill.
- The owner or contractor is responsible for accuracy of all information supplied relevant to this design. Use of the drawings, such as submission of drawings to officials or physical initiation of work, indicates the drawings were acceptable as drawn.
- Failure to build according to supplied specifications on stamped plans shall function as a release of all liability of the engineer associated with the stamped engineered plans. In such a case, the owner and/or the owner's contractors assume full liability.
- Any structural changes during construction shall be clearly disclosed to the engineer as soon as possible after changes are noticed.
- Reinforcement steel shall be Grade 40 (min)
- All concrete to be a minimum of 3,000 psi compressive strength at 28 days.
- Drilled piers shall be isolated from slabs.
- All dimensional lumber shall be #2 (min) treated lumber unless otherwise specified.

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New Stair Landing - General Notes

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