



Historic Preservation Services
Community Development & Neighborhood Services
281 N. College Ave.
Fort Collins, CO 80524
970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS – Minor Alteration
ISSUED: December 18, 2024
EXPIRATION: December 18, 2025

Poudre River Public Library District
c/o Seth Degnan, Degnan Construction LLC
315 Greyhawk Rd.
Fort Collins, CO 80524

Dear Property Owner:

This letter provides you with certification that proposed work to your designated historic property, the Samuel Webster House at 301 E. Olive St., has been approved by the City's Historic Preservation Division (HPD) because the proposed work appears to be routine in nature with minimal effects to the historic resource and meets the requirements of Chapter 14, [Article IV](#) of the Fort Collins Municipal Code and Section 5.8.1 of the Land Use Code.

The alterations reviewed include:

- Replacement of concrete walkway, landing, and stair railing. Railing to be steel and powder-coated in black. Existing brick/stone features to remain.
 - *Note: Please take care to protect existing historic building and brick/stone walls during demo and construction.*

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that work beyond that indicated in your permit application/correspondence requires additional approval.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at (970) 224-6078.

Sincerely,

Yani Jones
Historic Preservation Planner



COMMUNITY DEVELOPMENT & NEIGHBORHOOD SERVICES

281 N. College Ave. • Fort Collins, CO 80524 • Phone: 970.416.2740 • www.fcgov.com/building

* REQUESTING A 72 HR QUICK REVIEW PLAN CHECK

BUILDING PERMIT APPLICATION

FOR OFFICE USE

APPLICATION NUMBER:

APPLICATION DATE:

Job Site Address 301 E. OLIVE ST.

Unit#

PROPERTY OWNER INFO: (All owner information is required - NOT optional)

Last Name Huber First Name mark Middle

Street Address 301 E Olive St. City Fort Collins State CO Zip 80524

Phone # 970-221-6662 Email mhuber@poudrelibraries.org

Name of Business (COMMERCIAL USE ONLY) Webster House Administration Center

CONTRACTOR INFO: Company Name Degnan Construction, LLC

License Holder Name Seth Degnan LIC # E325(c) CERT # 3971E(c)

LEGAL INFO:

Subdivision/PUD Filing # Lot # Block # Lot Sq Ft

CONSTRUCTION INFO: Total Building Sq Ft (NOT including basement) Total Garage Sq. Ft.

Residential Sq Ft Commercial Sq Ft 204 # of Stories Bldg Ht # of Dwelling Units

1st Floor Sq Ft 2nd Floor Sq Ft 3rd Floor Sq Ft Unfinished Basement Sq Ft

Finished Basement Sq Ft # of Bedrooms # of Full Baths

3/4 Baths 1/2 Baths # Fireplaces

ENERGY INFORMATION: (CHECK ONE) NA

Prescriptive Performance U/Arescheck ERI ASHRAE Component/Comcheck IDAP

Air Conditioning? YES NO

City of Fort Collins Approved Stock Plan # SPO List Option #s

Utilities INFO:

New Electric Service Electric Service Upgrade Electric Meter Relocation

Electric Main Breaker Size (Residential Only): 150 amps or less 200 amps Other:

Gas Electric Electric Temp Pedestal? Yes No

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.) OFFICE EXTERIOR (CONCRETE & RAILS)

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant New Tenant

If for a new tenant, is this the first tenant to occupy this space?

Yes No If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes No

If yes, please describe: REPLACE EXISTING CONCRETE & RAILS W/ (N) CONCRETE WALK, STEPS, LANDING (SAME LOCATION)

Value of Construction (materials and labor): \$ 21,150.00

Description of Work: REMOVE EXISTING CONCRETE WALK, STEPS, landing & railing ON NORTH SIDE OF BUILDING, LEADING TO THE MAIN ENTRANCE. REPLACE WITH NEW CONCRETE WALK, STEPS, LANDING & STEEL POWDER COATED BLACK GUARD RAILS & HAND RAILS AT STEPS (BOTH SIDES). * REQUESTING A 72 HOUR QUICK REVIEW PLAN CHECK

JOBSITE SUPERVISOR CONTACT INFO: Name Seth Degnan Phone 970-222-9086

SUBCONTRACTOR INFO: Electrical NA Mechanical _____


Plumbing _____ Framing _____ Roofing _____

Fireplace _____ Solar _____ Other _____

ASBESTOS STATEMENT DISCLOSURE: In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) _____
- An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature  Type or Print Name Seth Degnan
Phone # 970 222-9086 Email degnan construction@gmail.com

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE



Planning, Development & Transportation
281 N. College Ave
Fort Collins, CO 80524
Phone 970-416-2740 Fax 224-6134

BUILDING OWNER AUTHORIZATION TO OBTAIN A COMMERCIAL BUILDING PERMIT

I, (Print) Mark Huber as owner of record (property address) 301 E. Olive St Fort Collins, CO 80524 known as (name of business) Webster House Administration Building hereby authorize the

work listed below to be done on said property. I understand that such work will **only be performed contractors licensed by the City of Fort Collins.**

I am giving permission for **interior work only**. The scope of the work shall be limited to: _____

I am giving permission for **exterior work only**. The scope of the work shall be limited to: concrete landing, steps, & walkway & steps railing. (on the north side of the building)

I am giving permission for **interior and exterior work**. The scope of the work shall be limited to: _____

Mark Huber
(Property owner signature)

Mark Huber
(Property owner name; please print)

The foregoing affidavit was acknowledged before me on the 16th day of December, 2024 (month, year) by Mark Huber for the purpose therein set forth.

Witness my hand and official seal.

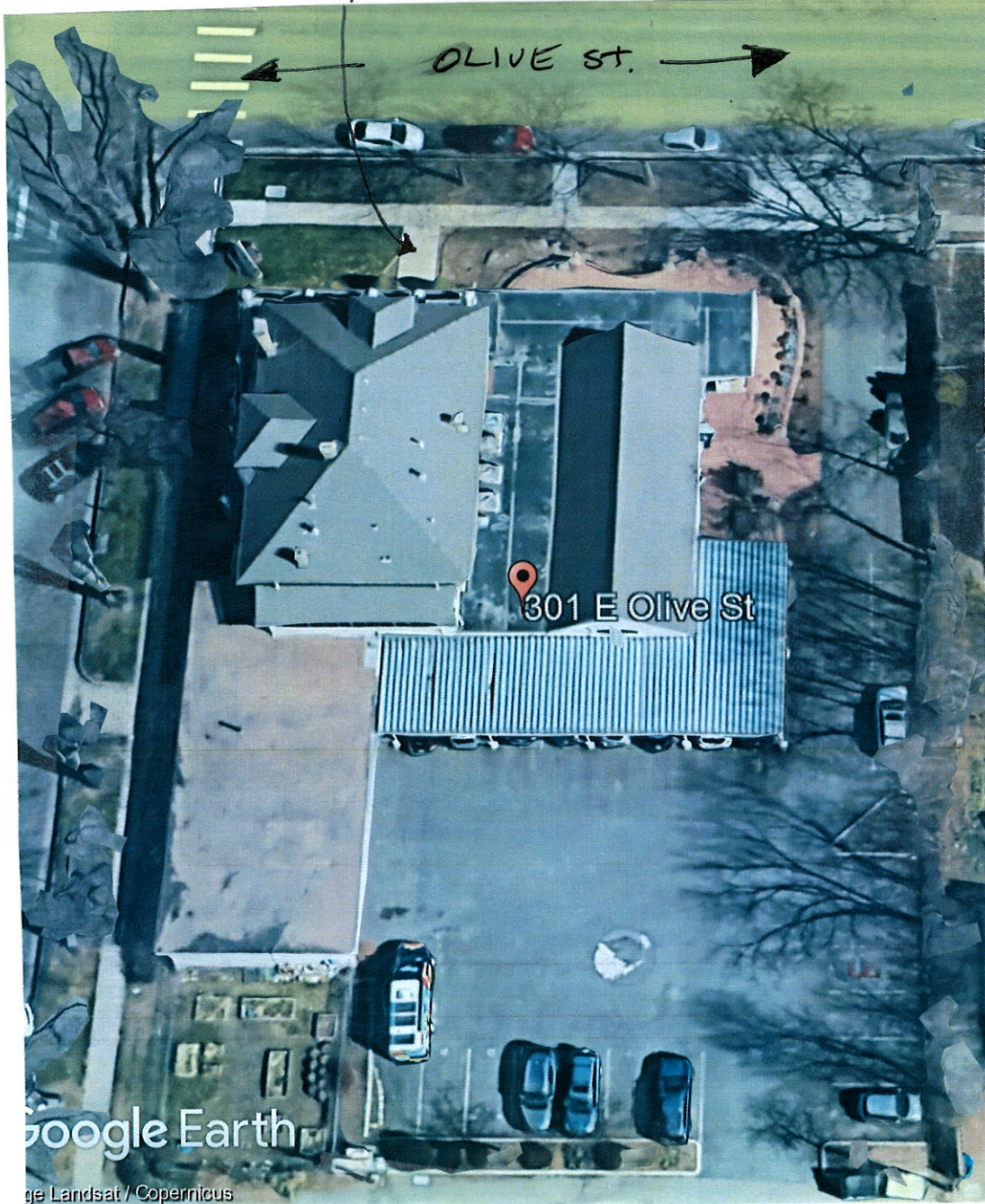
My Commission expires: 10/22/2028

[Signature]
Notary Public

Permit # _____
Office use only



REPLACE (E) CONCRETE WALK, STEPS,
LANDING, & RAILING WITH (N).
(SAME LOCATION). FROM SIDEWALK TO
BUILDING ENTRANCE



SITE PLAN (M.T.S.)
301 E OLIVE ST. FC. CO 80524

CONTRACTOR: DEGNAN CONSTRUCTION, LLC

↑
NORTH

PROJECT DATA

ASSESSOR'S PARCEL #: 97123-27-908
 PROJECT ADDRESS: 301 E. OLIVE ST.
 FORT COLLINS, CO 80524
 LOTS #: 8-10
 BLOCK: 143
 YEAR BUILT (HOUSE): 1913
 OWNER: POUFRE RIVER LIBRARY
 DISTRICT
 EXISTING USE: OFFICE BUILDING
 CONCRETE WORK SQUARE FOOTAGE: 204 SQ. FT.

**COMMERCIAL EXTERIOR
 CONCRETE, STEPS, & RAILING
 REPLACEMENT PROJECT FOR
 WEBSTER HOUSE
 ADMINISTRATION CENTER**

301 E. OLIVE ST.
 FORT COLLINS, CO 80524

PROJECT SUMMARY:

THE WORK WILL INCLUDE:
 DEMOLISH EXISTING CONCRETE WALK, STEPS, LANDING & RAILING
 LEADING FROM THE PUBLIC SIDEWALK TO THE NORTH SIDE ENTRANCE
 TO THE BUILDING. REPLACE CONCRETE WALK, STEPS, & LANDING WITH
 NEW CONCRETE WALK, STEPS, LANDING, & LANDSCAPE CURBS. REPLACE
 EXISTING RAILING WITH NEW STEEL BLACK POWDER COATED GUARD
 RAIL & RAILING FOR THE STEPS.

PROJECT SPECIFICATIONS:

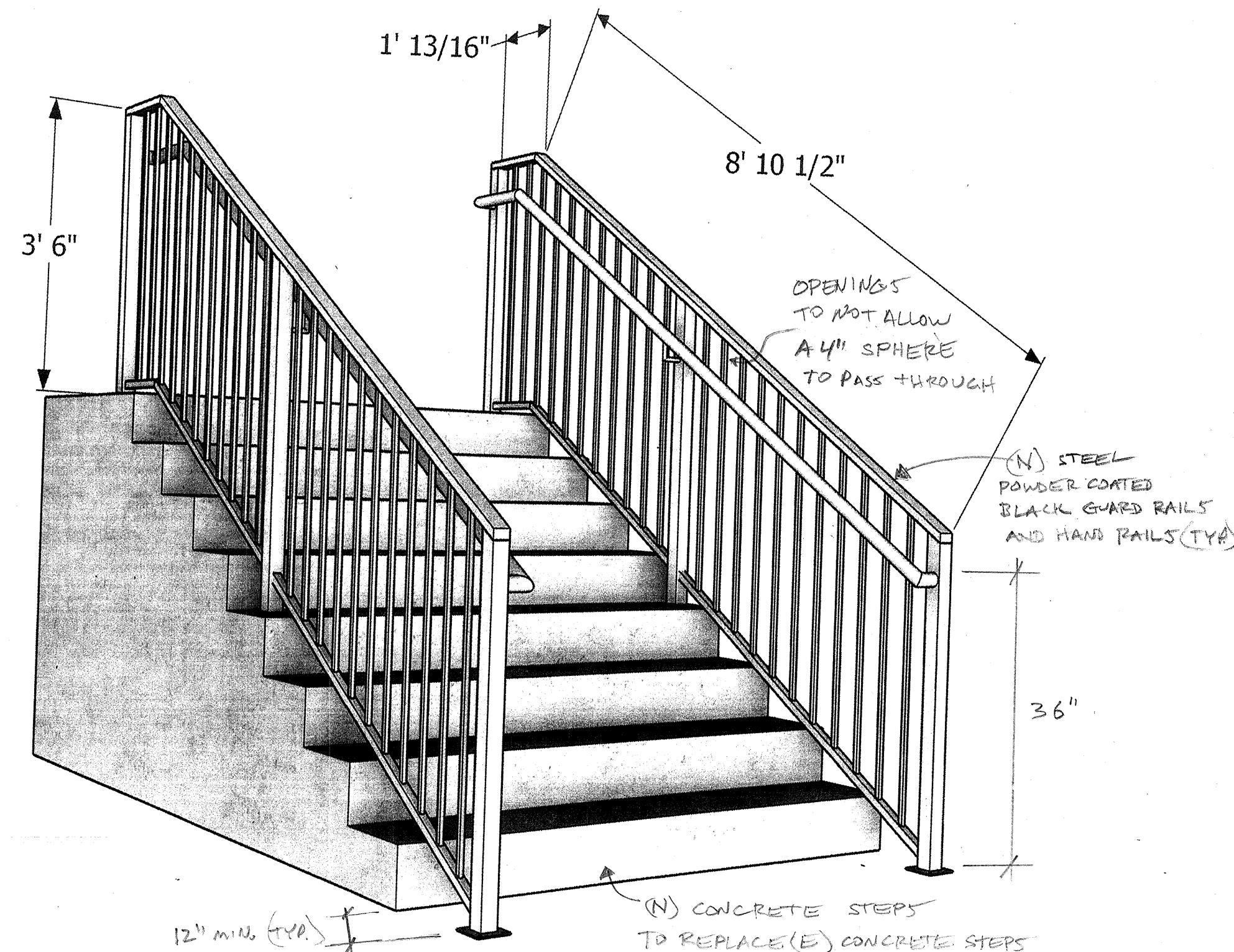
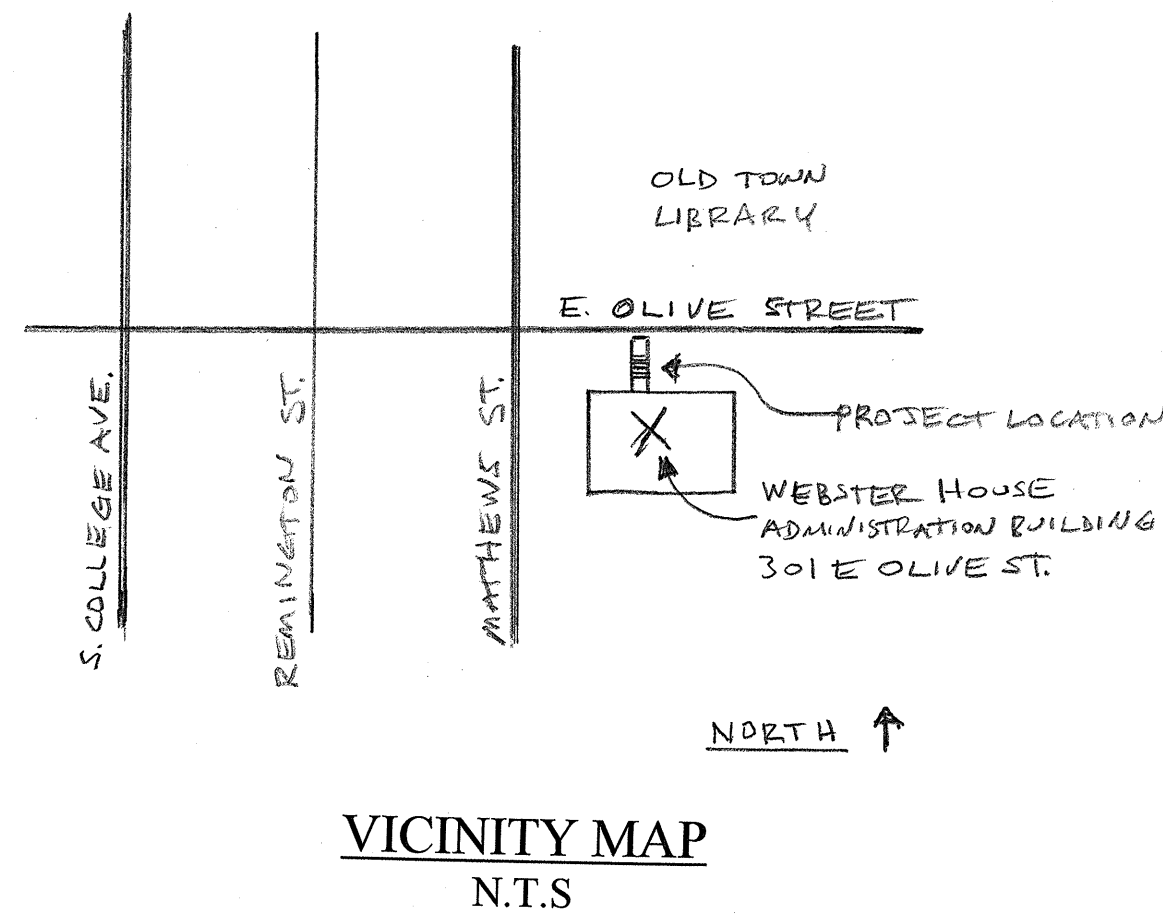
THIS PROJECT IS UNDER THE 2021 IBC CODE

CONCRETE & STEP SPECS:

4,000 PSI 3/4" ROCK WITH COMMERCIAL FIBER MESH
 #4 REBAR AT 24" O.C. GRID
 STEPS TO HAVE RISER HEIGHT BETWEEN 4"-7"
 MINIMUM TREAD DEPTH IS 11"
 WALKWAY & LANDING TO HAVE LESS THAN 2% SLOPE
 LANDING TO SLOPE AWAY FROM THE BUILDING

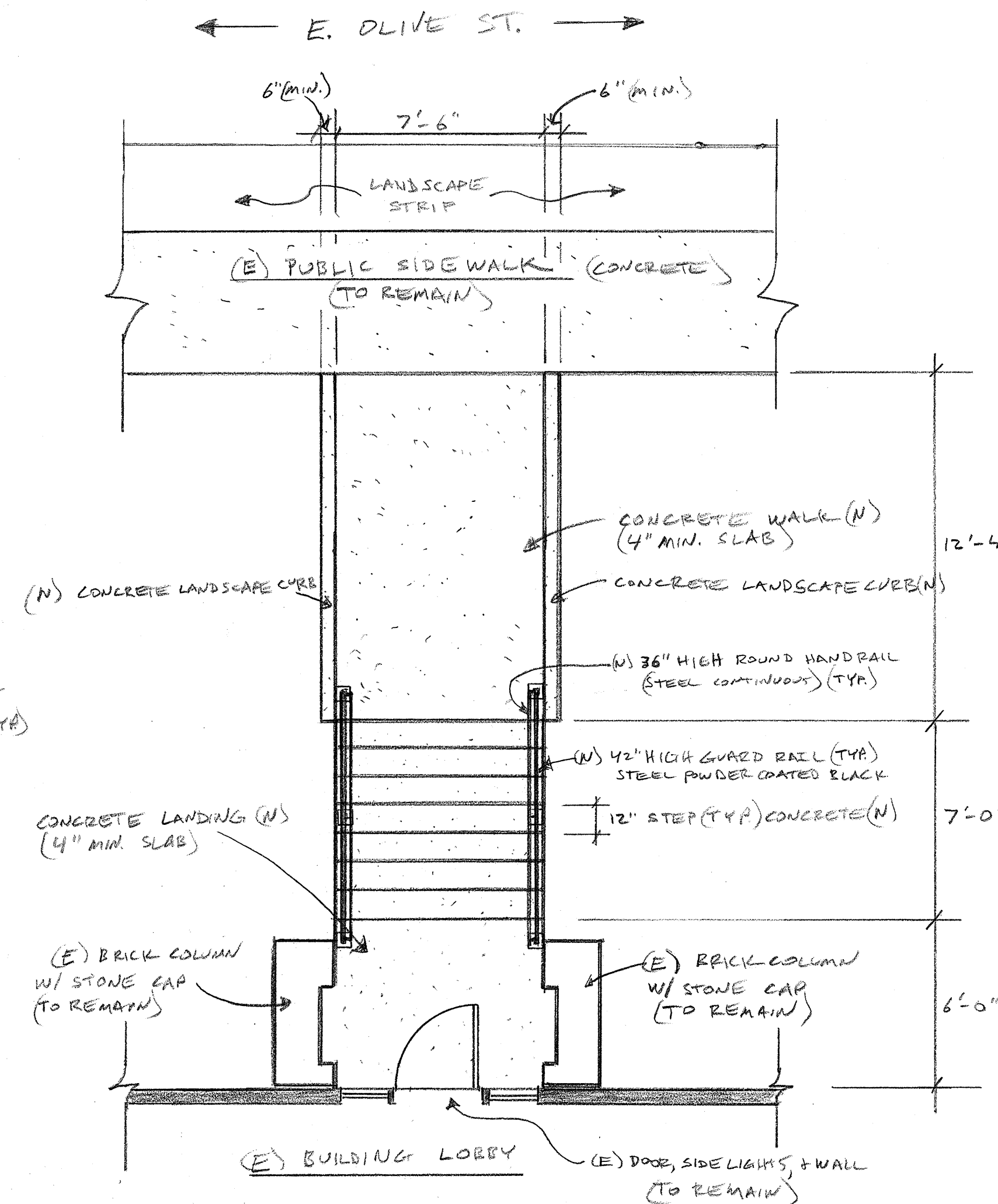
RAILINGS/GUARD RAILS:

WELDED STEEL POWDER COATED BLACK
 ANCHORED TO CONCRETE WITH WEDGE ANCHORS OR SIMILAR
 CONCRETE ANCHORS
 RAILINGS TO MEET CODE SPACING FOR RAILINGS
 NO LARGER THAN 4" SPHERE SHALL BETWEEN OPENINGS IN GUARD RAILS
 GUARD RAIL TO BE 42" HIGH
 RAILING TO BE 34"-38" HEIGHT FROM TREAD NOSING
 RAILING TO BE CONTINUOUS AND EXTEND BOTTOM AND TOP STEP BY A
 MINIMUM OF 12"
 RETURN HAND RAIL AT TOP & BOTTOM OF RUN.
 HANDRAIL TO BE BETWEEN 1.25" - 2.25" DIAMETER



NOTE: BRICK COLUMNS WITH STONE CAPS NOT SHOWN ON BOTH SIDES OF THE UPPER LANDING (TO SHOW FULL RAILING DESIGN). SEE PLAN VIEW SHOWING COLUMNS.

RAILING DESIGN
 SCALE: NO SCALE



PROPOSED CONCRETE & RAILING PLAN
 SCALE: 1/4" = 1'-0"



PROJECT PARTICIPANTS:

DESIGNER/GENERAL CONTRACTOR

DEGNAN CONSTRUCTION, LLC
 SETH DEGNAN (MANAGER)
 315 GRAYHAWK RD.
 FORT COLLINS, CO 80524
 (970) 222-9086

NOTE:

PROJECT SHALL CONFORM TO ALL CURRENT LOCAL, STATE, AND
 NATIONAL APPLICABLE CODES & REGULATIONS.

CURRENT CODES:

2021 IBC CODE

REVISIONS	BY

DRAWN BY:
 SETH DEGNAN 970-222-9086
 DEGNAN CONSTRUCTION, LLC

PLAN VIEW/RAILING DESIGN

COMMERCIAL CONCRETE & RAILING FOR
 POUFRE RIVER PUBLIC LIBRARY DISTRICT
 WEBSTER HOUSE ADMINISTRATION CENTER
 301 E. OLIVE ST. FORT COLLINS, CO 80524

Date	12-16-24
Scale	AS NOTED
Drawn	DEGNAN
Job	WEBSTER HOUSE
Sheet	A-1 OF 1
Of	Sheets



301



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