

**DRAFT**

FOR DISCUSSION ONLY  
- SUBJECT TO FURTHER  
REVIEW AND REVISION

# ARTICLE 3

## BUILDING TYPES

### DIVISION 3.1 RESIDENTIAL BUILDING TYPES

~~3.1.1 Mixed Use~~ (SEE NON-RESIDENTIAL BUILDING TYPE: 3.2.1 Shopfront)

**3.1.1 Apartment Building**

**3.1.2 Cottage Court**

**3.1.3 Rowhouse**

**3.1.4 Duplex**

**3.1.5 Detached House - Urban**

**3.1.6 Detached House - Suburban**

**3.1.7 Detached Accessory Structures**

**3.1.8 Accessory Dwelling Unit**

**3.1.9 Residential Cluster**

### DIVISION 3.2 NON-RESIDENTIAL BUILDING TYPES

**3.2.1 Shopfront** (NEW - PREVIOUSLY 3.1.1 MIXED-USE)

**3.2.2 General** (NEW)

## SECTION 3.2.1

# Shopfront

**NOTE:**

Previously 'Mixed-Use'  
Building Type  
See Pages 3-1 to 3-4 at the  
end of this document for  
standards carried over.

## DESCRIPTION

The shopfront building type is centered on creating a pedestrian-focused streetscape, with active ground-floor uses and direct sidewalk access. It is ideal for commercial, retail, and office uses at the street level, with residential or live-work units typically located on upper floors. The form supports vibrant, walkable environments through minimal or no front setbacks and street-facing entrances. Most shopfront building standards vary by zoning district to ensure compatibility with the surrounding context. Parking is generally located at the side or rear to maintain an uninterrupted pedestrian experience.

## ZONE DISTRICTS

The following Zone Districts allow Shopfront building:

- LMN
- MMN
- HMN
- OT-C
- NC
- CC
- CCN
- CCR
- D
- CG
- CS
- CL
- HC
- E
- Overlay Districts

## BUILDING TYPE EXAMPLES



JHP Mid Rise / High Rise by JHP Architecture

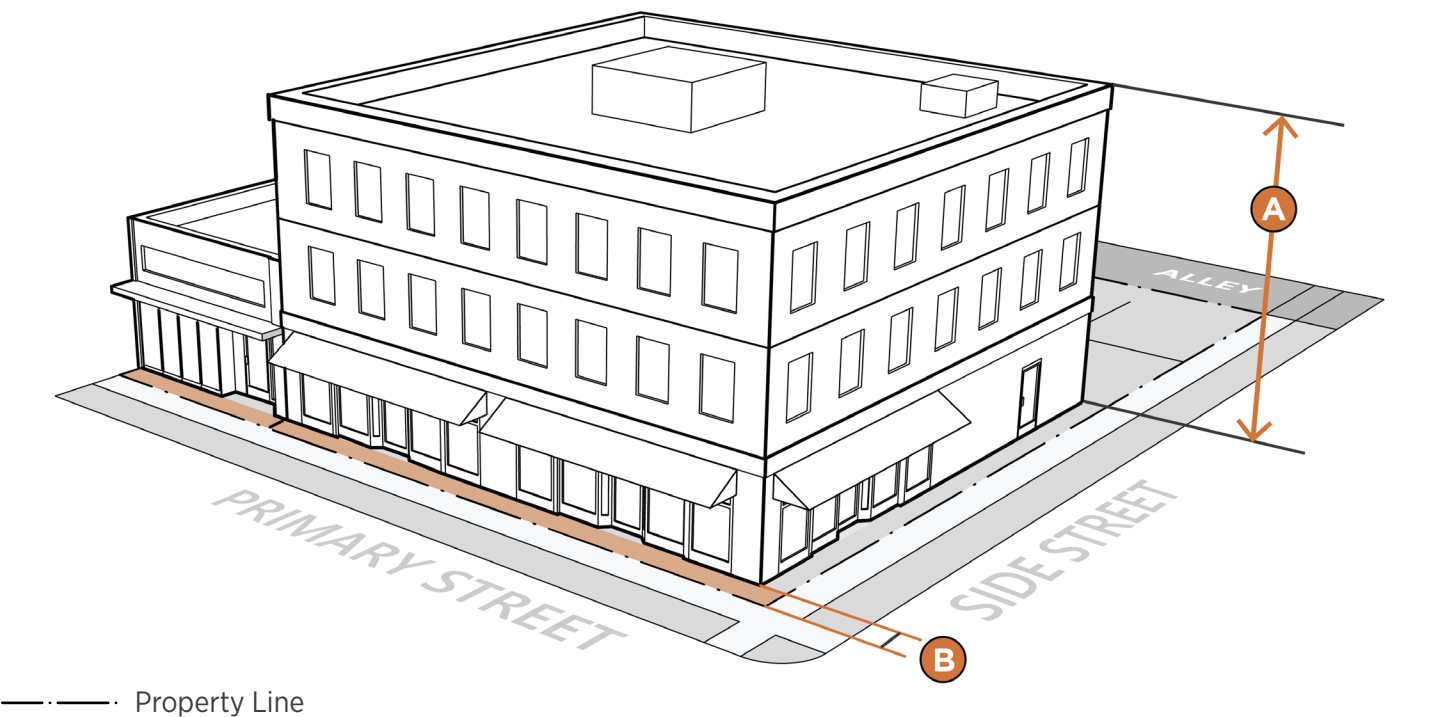
ColoProperty.com, IRES MLS

SECTION 3.2.1

Shopfront

**NOTE:**  
Previously 'Mixed-Use'  
Building Type  
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standards carried over.

BUILDING STANDARDS



--- Property Line

BUILDING HEIGHT		
Maximum	4-12 stories max.*	A
Affordable Housing Bonus	1-2 additional stories	

\*See Zone District standards for specific maximum height.

BUILD-TO LINES		
Smaller than Arterial	0'min. - 15' max.	B
On-Street Parking	0'min. - 15' max.	
Arterial or larger	10'min. - 25'max.	

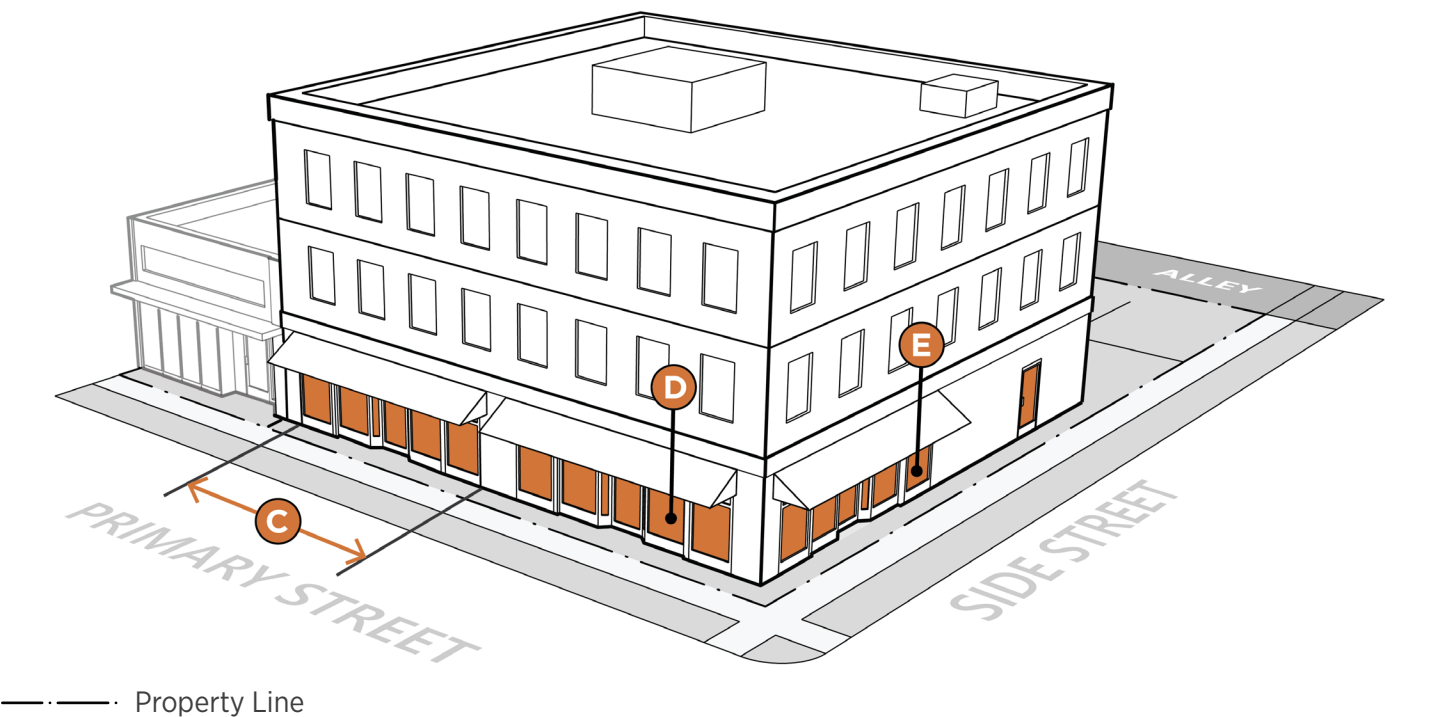
BUILD-TO LINE EXCEPTIONS		
Plaza, courtyard, patio or garden	Landscaping, low walls, fencing or railings, a tree canopy and/or other similar site improvements are required.	
Easement	As required by the City to continue an established drainage channel or access drive, or other easement.	
Contextual Build-To	A contextual build-to line may fall at any point between the required build-to line and the build-to line that exists on a lot that abuts, and is oriented to, the same street as the subject lot.	

SECTION 3.2.1

Shopfront

**NOTE:**  
Previously 'Mixed-Use'  
Building Type  
See Pages 3-1 to 3-4 at the  
end of this document for  
standards carried over.

MASSING & ARTICULATION



Property Line

MASSING		
Building Bays* - Maximum Width	30'	C

- Footprints over ten-thousand (10,000) sf shall incorporate recesses/projections with bays no wider than thirty (30) ft.

\*Building bay is defined as at least two (2) of the following:

- change in plane;
- change in height;
- change in texture or masonry pattern, windows, treillage with vines; and/or
- an equivalent element that subdivides the wall into human scale proportions.

TRANSPARENCY (GROUND FLOOR)		
Primary Street	60% minimum	D
Side Street	30% minimum	E

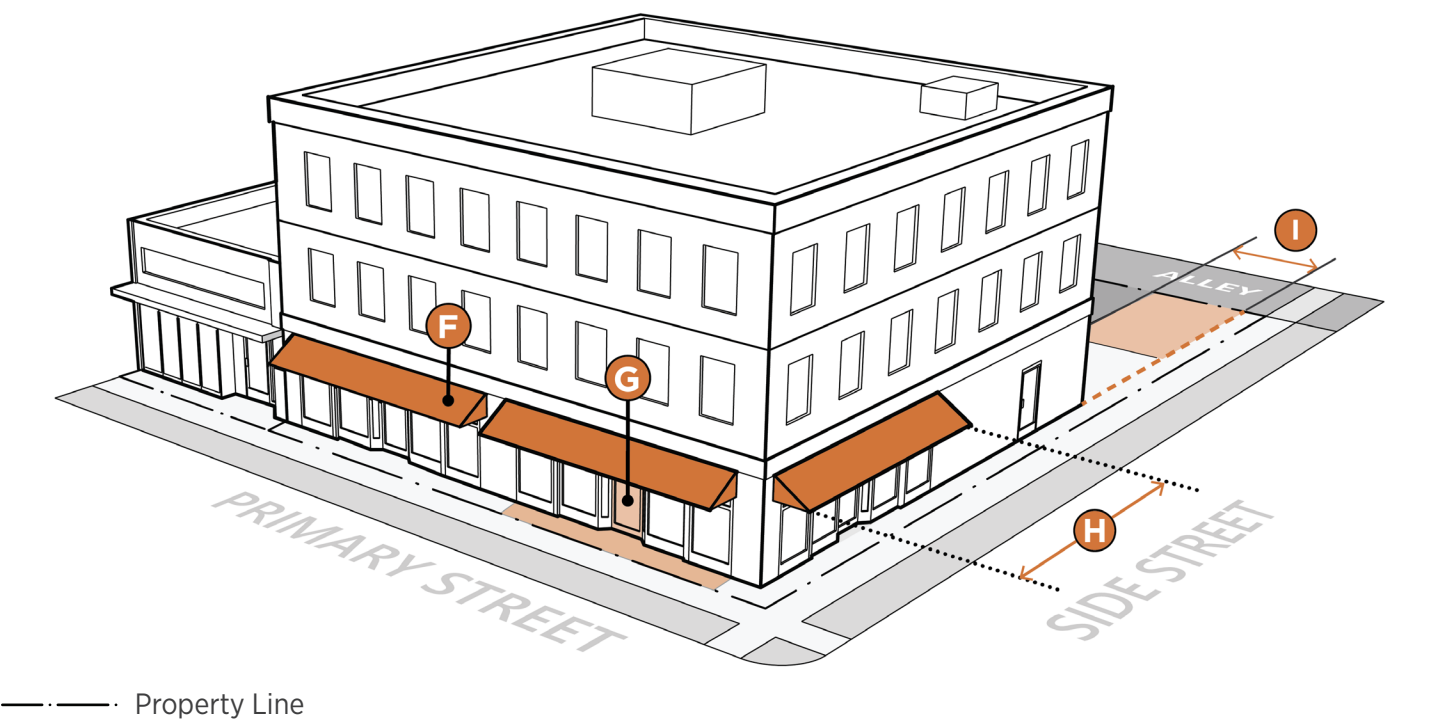


SECTION 3.2.1

Shopfront

**NOTE:**  
Previously 'Mixed-Use'  
Building Type  
See Pages 3-1 to 3-4 at the  
end of this document for  
standards carried over.

SITE ACCESS



— · — · — · Property Line

ENTRYWAYS			VEHICULAR ACCESS & PARKING	
Primary Entrance Features	Sheltering Element Required*	F	Alley Access***	Setback an additional 15' min. from the building wall I
Primary Entrance Orientation	Opens to a Connecting Walkway With Pedestrian Frontage**	G	Off-Street Parking	Shall not be located any closer to a public street right-of-way than the principal building is set back from the street.
Awning Width	No shorter than Single Storefront	H		

\*Includes clearly defined and recessed or framed element such as an awning, arcade, or portico to provide shelter.

\*\*Buildings with vehicle bays and/or service doors for intermittent/infrequent nonpublic access to equipment, storage or similar rooms (e.g., self-serve car washes and self-serve mini-storage warehouses) are exempt from this standard.

\*\*\*Any new access must obtain access from an alley when present, unless proposed alley access is deemed hazardous by the City Engineer.

SECTION 3.2.2

General

**NOTE:**  
'General' Building Type, Standards, and Content are NEW

DESCRIPTION

The general building type is a flexible, non-residential form intended to support a wide range of uses including: office, commercial, institutional, or light industrial, and others. Most design and building standards for this building type are determined by the zoning district in which it is located. This adaptability allows the general building type to respond to varied contexts throughout Fort Collins while maintaining compatibility with surrounding development and supporting pedestrian access.

ZONE DISTRICTS

The general building type is allowed in all zone districts and it varies widely based on use and zone district.

BUILDING TYPE EXAMPLES



Glacier Creek Dental



CBRE.com, Technology Parkway



BryanConstruction.com, Harmony Corporate Center



ColoProperty.com, IRES MLS

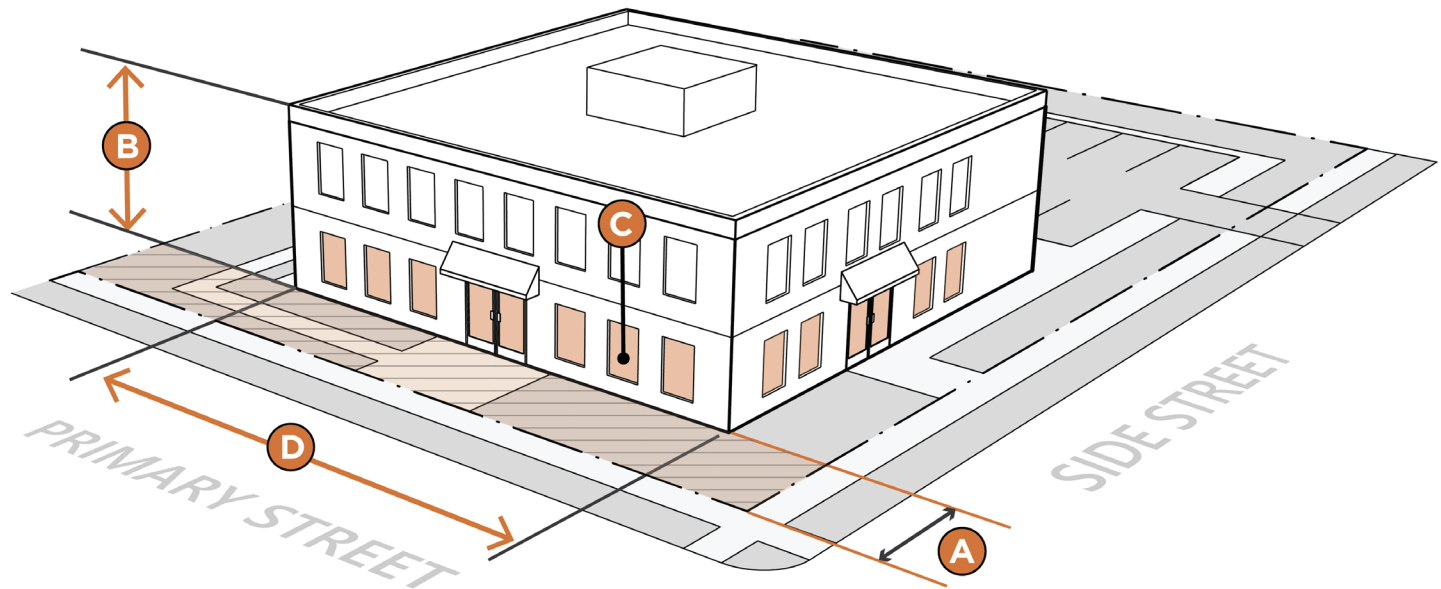


SECTION 3.2.2

General

**NOTE:**  
'General' Building  
Type, Standards, and  
Content are NEW

BUILDING STANDARDS



--- Property Line

BUILDING PLACEMENT		
Setbacks / Build-to	Varies by Zone Districts or Street Type*	A

\*See Article 2 and Section 5.15 Building Standards for additional information.

BUILDING HEIGHT		
Maximum	3-12 stories max.**	B

\*\*See Zone District standards for specific maximum height.

TRANSPARENCY (GROUND FLOOR)		
Primary Street	30-50%***	C

\*\*\*See Zone District standards for specific percentage.

MASSING & ARTICULATION		
Maximum length of unbroken façade****	50'	D

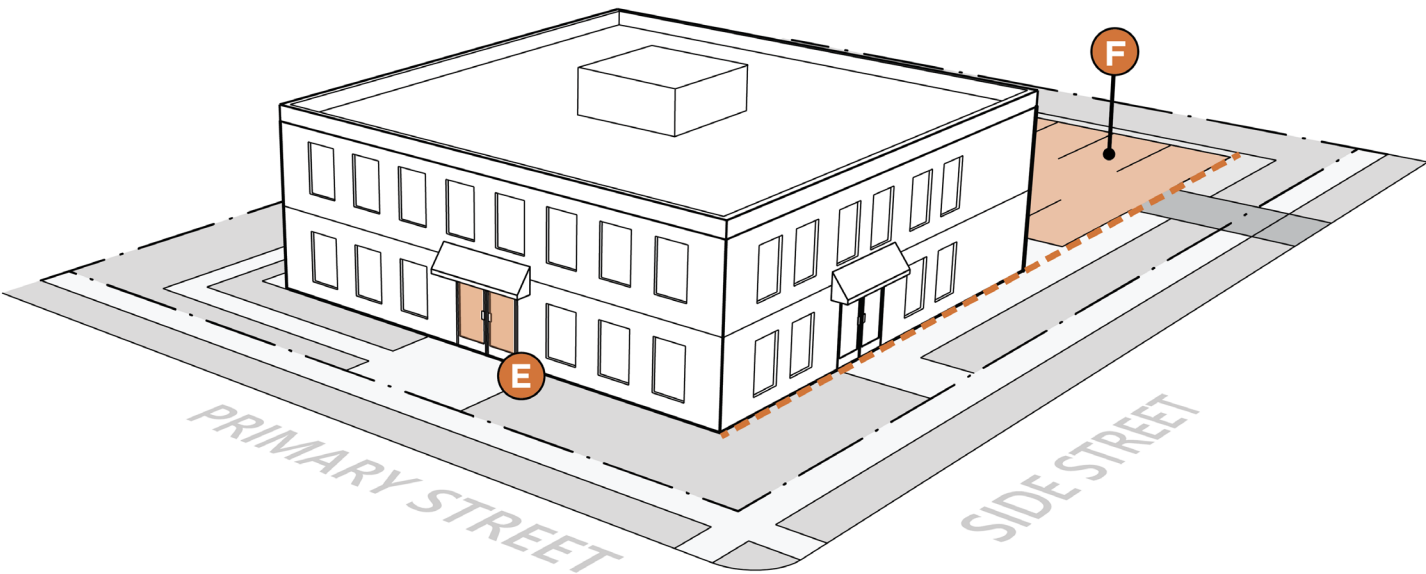
\*\*\*\*Articulation must relate to interior organization.

SECTION 3.2.2

General

**NOTE:**  
'General' Building Type, Standards, and Content are NEW

SITE ACCESS



--- Property Line

ENTRANCES <span>E</span>	
Primary Entrance Orientation	Must face a public street, plaza, shared open space, or connecting walkway

VEHICULAR ACCESS & PARKING <span>F</span>	
Off-Street Parking*	Shall not be located any closer to a public street right-of-way than the principal building is set back from the street.

\*Any new access must obtain access from an alley when present, unless proposed alley access is deemed hazardous by the City Engineer.



~~SECTION 3.1.1~~~~Mixed-Use~~~~DESCRIPTION~~

In “mixed-use” buildings, there shall be a combination of retail, office, and/or residential spaces within one or several buildings. Mixed-use buildings are usually in more urban areas and can vary in their size and number of stories. A mixed-use building type can be identified by its approachable and pedestrian friendly look. The buildings may be farther away from the street with wider sidewalk areas, street plantings, or outdoor seating.

~~BUILDING TYPE EXAMPLES~~

ColoProperty.com, IRES MLS



Myriad Condominiums, Dohn Construction



TMA CHA Architects

**NOTE:**

Now 'Shopfront' Building Type - Standards not carried over are redlined here

~~ZONE DISTRICTS~~

The following Zone Districts allow Mixed-Use building types:

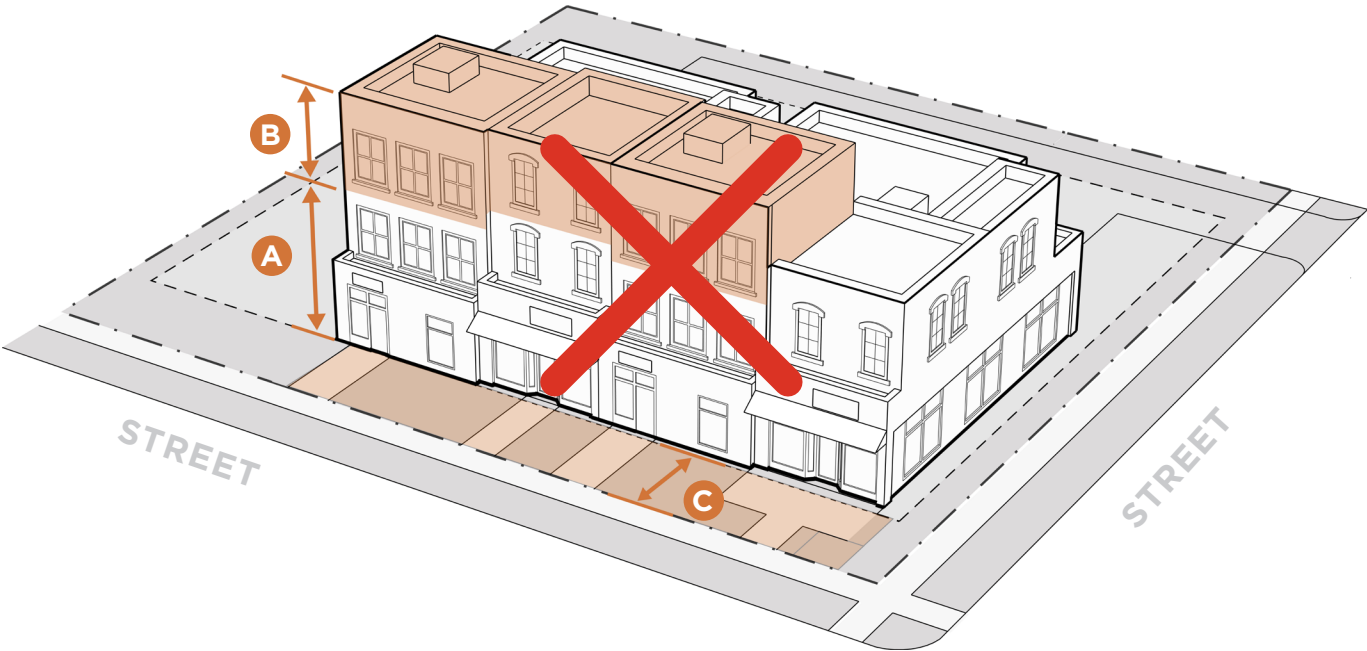
- LMN      ● CG
- MMN      ● C
- HMN      ● CL
- OT-C      ● NC
- NC      ● E
- CC      ● Overlay Districts
- CCN
- CCR
- D

SECTION 3.1.1

Mixed-Use

**NOTE:**  
Now 'Shopfront' Building Type - Standards not carried over are redlined here

BUILDING STANDARDS



BUILDING HEIGHT

Maximum	4-12 stories max.*	A
Affordable Housing Bonus	1-2 additional stories	B

\*See Zone District standards for specific maximum height.

BUILD-TO LINES

Smaller than Arterial	0'min. - 15' max.	C
On-Street Parking	0'min. - 15' max.	
Arterial or larger	10'min. - 25'max.	

BUILD-TO LINE EXCEPTIONS

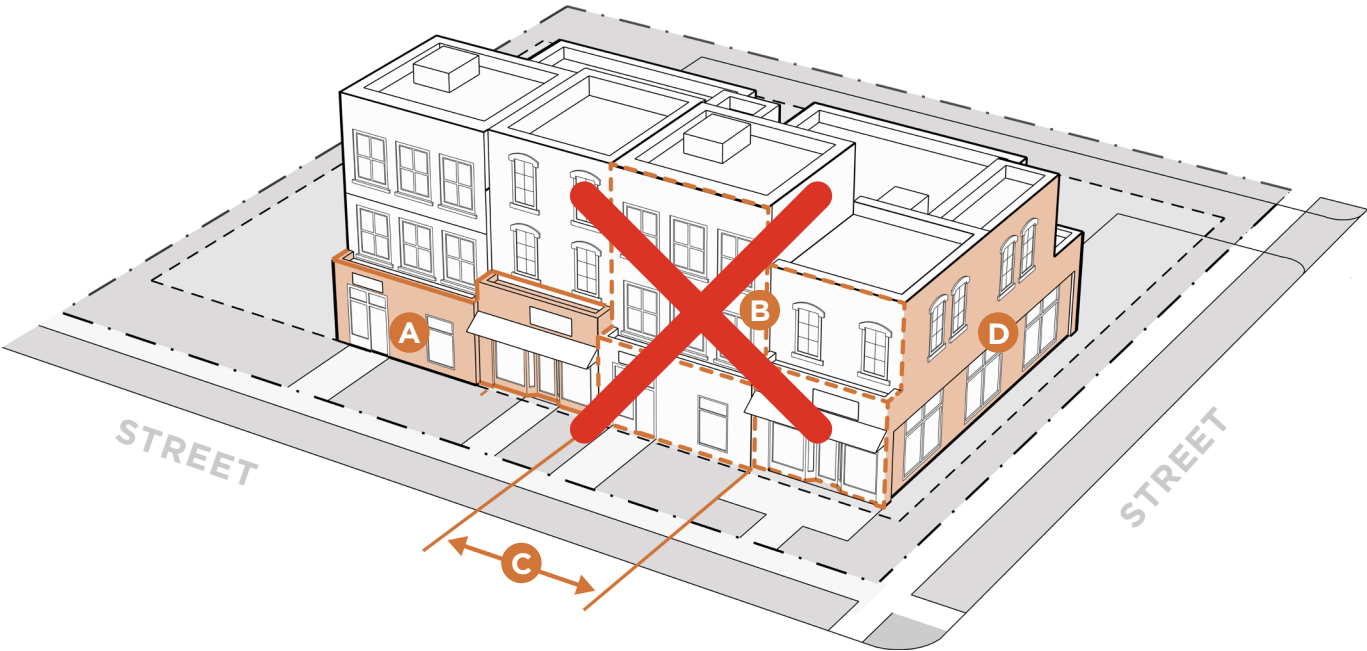
Plaza, courtyard, patio or garden	Landscaping, low walls, fencing or railings, a tree canopy and/ or other similar site improvements are required.
Easement	As required by the City to continue an established drainage channel or access drive, or other easement.
Contextual Build-To	A contextual build-to line may fall at any point between the required build-to line and the build-to line that exists on a lot that abuts, and is oriented to, the same street as the subject lot.

SECTION 3.1.1

Mixed-Use

**NOTE:**  
Now 'Shopfront' Building Type - Standards not carried over are redlined here

MASSING & ARTICULATION



**FACADE BASE**

A

- All facades shall have a recognizable “base” consisting of (but not limited to):
- thicker walls, ledges or sills;
  - textured materials such as stone or masonry;
  - integrally colored and patterned materials such as smooth-finished stone or tile;
  - lighter or darker colored materials;
  - mullions or panels; and
  - planters.

**FACADE TOP**

B

- All facades shall have a recognizable “top” consisting of (but not limited to):
- cornice treatments other than just colored “stripes” or “boards,” with integrally textured materials such as stone or other masonry or differently colored materials;
  - sloping roof with overhangs and brackets; and
  - stepped parapets.

**MASSING**

Building Bays* - Maximum Width	30'	C
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Footprints over ten-thousand (10,000) sf shall incorporate recesses/projections with bays no wider than thirty (30) ft.

\*Building bay is defined as at least two (2) of the following:

- change in plane;
- change in height;
- change in texture or masonry pattern, windows, treillage with vines; and/or
- an equivalent element that subdivides the wall into human scale proportions.

**FOUR-SIDED DESIGN**

Building Materials	Consistent with Front of Building	D
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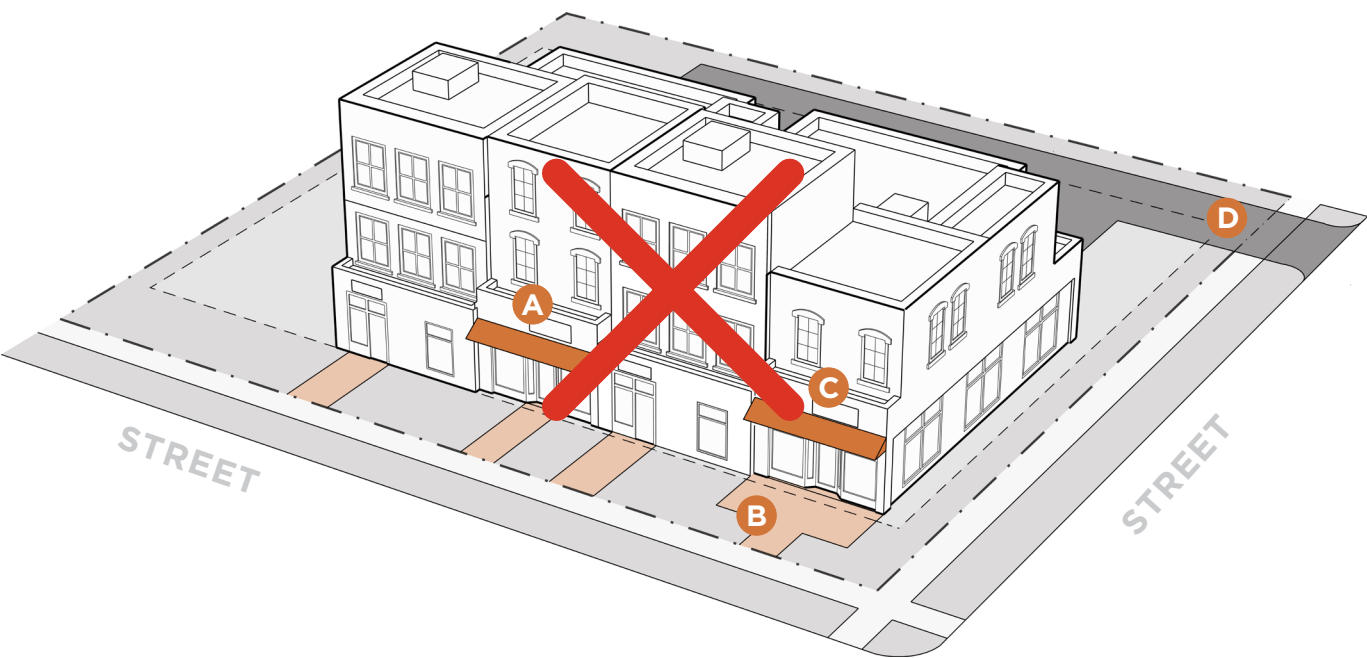
\*Standard also applies to rear facade..

SECTION 3.1.1

Mixed-Use

**NOTE:**  
Now 'Shopfront' Building Type - Standards not carried over are redlined here

SITE ACCESS



ENTRYWAYS		
Primary Entrance Features	Sheltering Element Required*	A
Primary Entrance Orientation	Opens to a Connecting Walkway With Pedestrian Frontage**	B
Awning Width	No shorter than Single Storefront	C

\*Includes clearly defined and recessed or framed element such as an awning, arcade, or portico to provide shelter.

\*\*Buildings with vehicle bays and/or service doors for intermittent/infrequent nonpublic access to equipment, storage or similar rooms (e.g., self-serve car washes and self-serve mini-storage warehouses) are exempt from this standard.

WALKWAYS	
Primary Function	Pedestrian Accommodation
Secondary Function	Vehicular Movement

VEHICULAR ACCESS & PARKING	
Alley Access***	Setback additional 15' min. from the building wall D
Off-Street Parking	Shall not be located any closer to a public street right-of-way than the principal building is set back from the street.

\*\*\*Any new access must obtain access from an alley when present, unless proposed alley access is deemed hazardous by the City Engineer.